



RIDGE

SPECIFICATION DOCUMENT

**Penton Hook Lock House
147 Thames Side
Staines-upon-Thames
TW18 2JA**

Environment Agency

Phase 2 - Refurbishment / Fit Out

23 January 2025

SPECIFICATION DOCUMENT

Penton Hook Lock House

RIDGE



**PENTON HOOK LOCK HOUSE, 147 THAMES SIDE, STAINES-UPON-THAMES,
TW18 2JA**

PHASE 2 - REFURBISHMENT / FIT OUT

Environment Agency

23 January 2025

Prepared for

Environment Agency
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Prepared by

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SPECIFICATION DOCUMENT

Penton Hook Lock House - Phase 2

RIDGE

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1. PRELIMINARIES BREAKDOWN

PRELIMINARIES BREAKDOWN

Ref.	Description	£ time related	£ fixed
1.0	PRELIMINARIES BREAKDOWN		
	Works Contract Procurement		
1.1	Compliance with tender rules		
1.2	Pricing		
1.3	Site Visit		
	Works Contract Establishment		
1.4	General Information		
1.5	Programme		
1.6	Health & Safety Information		
1.7	Management & Staff		
1.8	Temporary Services		
1.9	Temporary Security, Safety & Control		
1.10	Temporary Works		
	Works Contract Management		
1.11	Supervision, Cooperation & Coordination		
1.12	Progress & Operation		
1.13	Protection From		
1.14	Method & Sequence		
	Works Contract Verification		
	Standards of Products & Executions		
	Services Generally		
	Quality Control		

PRELIMINARIES BREAKDOWN

Ref.	Description	£ time related	£ fixed
	Works Contract Administration		
	Use of Documents		
	Documents Provided by Contractor, Subcontractors & Suppliers		
	Subletting & Supply		
	Works Contract Completion		
	Notification		
	Completion Works		
	Information		
	Other		
	Insurance, Bonds, Warranties & Guarantees		
	Site Clearance & Cleaning		
	NOTE: The above relates to the project specific preliminaries and are deemed to include all definitions, procedures, policies and works detailed in this document. Where no project specific preliminaries are confirmed during the tendering stage of the project the contractor pricing the works will price the above based on the JCT Minor Works Building Contract 2016 Edition executed as a deed.		
SECTION 1 - COSTED TOTAL (Excl VAT) £			

2. CONTINGENCY SUM

SPECIFICATION DOCUMENT


Penton Hook Lock House



CONTINGENCY SUM

Ref.	Description	£	p
2.0	CONTINGENCY SUM		
2.1	The contractor is to allow a Contingency Sum of 10% of the total value of the Preliminary Breakdown & Schedule of Measured Works (Sections 1.0 & 3.0) only , as described within this specification document. This is for works of an unforeseen nature. All such works to be executed under written instructions from the Ridge & Partners LLP or the Environment Agency.		
SECTION 2 - COSTED TOTAL (Excel VAT) £			

3. SCHEDULE OF WORKS PRICING DOCUMENT

Ref.	Description	£	p
3.0	SCHEDULE OF WORKS		
3.1	INTRODUCTION		
3.1.1	The contractor is to note that the proposed works forming this schedule are for the refurbishment / fitting out works to various internal areas of Penton Hook Lock House.		
3.1.2	<p>The location of Penton Hook Lock House is shown in the Google Maps image below, as well as in more detail in Appendix A.</p> 		
3.1.3	Location of works: Penton Hook Lock House, The Towpath, Staines, TW18 2HQ.		
3.1.4	<p>The Client will be: Environment Agency Address: Kings Meadow House, Kings Meadow Road, Reading, Berkshire, RH1 8DG.</p>		
3.1.5	<p>The Client Representative will be: Ridge & Partners LLP Address: Beaumont House, 59 High Street, Theale, Reading, Berkshire, RG7 5AL.</p> <p>The contractor is to note that existing and proposed layout drawings and a general site location drawing are provided in Appendix C.</p>		
3.2	GENERAL		
3.2.1	The schedule has been prepared in order for a detailed cost breakdown to be provided, to aid the assessment of the works and to assist with progress and payments.		

Ref.	Description	£	p
3.2.2	The contractor is to take responsibility for the schedule and is to ensure its completeness with regards to the proposed scope of works. No costs incurred by the contractor during the pricing of these works will be accepted by the Employer.		
3.2.3	The contractor should note that all items of work contained within this schedule have been described in reasonable detail, but the contractor shall consider them in conjunction with material manufacturers recommendations, and actual work on site. The contractor shall include in his price for everything that is necessary in order to allow him to carry out the works in the best manner whether specifically mentioned or not. If and where approximate quantities are stated, these are for guidance only and the contractor is to make their own assessment of the actual quantities required by visiting site prior to submitting their costed return.		
3.2.4	The contractor is responsible for checking all dimensions on site. Any alterations or amendments to those detailed in this document are to be confirmed in writing by Ridge & Partners LLP.		
3.2.5	Should there be any items of work which the contractor is unclear as to what is required, then the query should be raised to Ridge & Partners LLP for clarification, during the tender process.		
3.2.6	The contractor is to price the schedule boldly in black ink, or typed to facilitate the photocopying of priced copies.		
3.2.7	The contractor is to allow to price for each item individually where ever possible. Items should not be grouped together quoting lump sums prices.		
3.2.8	No qualifications or alterations of any kind are to be made by the contractor to this schedule of works without the written agreement by the CA (Ridge & Partners LLP) or Environment Agency.		
3.2.9	The contractor is to refer to the Preliminaries section of this document for all applicable standards of all products and materials described below. Strict adherence to the requirements are required at all times.		
3.2.10	The contractor is to refer to Materials and Workmanship clauses included with the Preliminaries section of this document for all applicable standards of all products and materials described below. Strict adherence to the requirements are required at all times.		

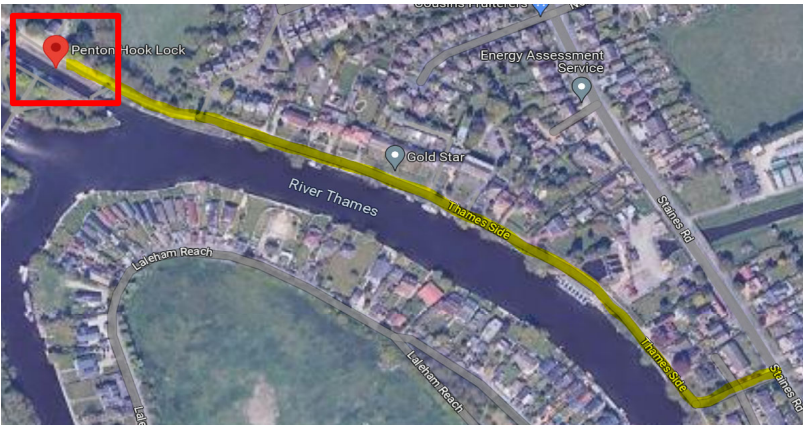
Ref.	Description	£	p
3.2.11	The contractor must examine this specification document, to ascertain all local conditions and restrictions, accessibility and visit site to ensure they have allowed for all necessary works (all labour, materials and equipment). No claims arising from the failure to do so, will be considered. The client will not be held responsible for any additional works claims which are deemed to be reasonably foreseeable which the contractor should have included for.		
3.2.12	The contractor's attention is also drawn to the Appendices detailing additional information required to complete the works. The contractor must strictly adhere to the requirements of these sections at all times while completing the works.		
3.2.13	The contractor must notify Ridge & Partners LLP upon the discovery of any discrepancies, errors or omissions within the specification documents or the works required immediately.		
3.2.14	The contractor shall be responsible for ensuring all employees including sub-contractors fully understand and work in accordance with the site's rules and procedures. All contractors must wear company clothing, ID badges and have the correct PPE provisions.		
3.2.15	Allow to submit a detailed and site specific Pre-start Health & Safety Plan for the proposed works to Ridge & Partners LLP for comment and approval.		
3.2.16	The contractor is to allow for regularly removing waste materials from site (noting that there is limited access to the property, due to its location on an island in the River Thames. Where items are to be set aside, allow to record their condition and for safe and secure storage.		
3.2.17	The contractor is to leave the working areas clean and tidy upon at the end of the each working day.		
3.2.18	The contractor is to price for all works to be undertaken during "normal working hours" unless otherwise stated. Exact timings: to be confirmed, prior to works starting on site. No weekend or Bank Holiday works is permitted. No noisy works are permitted before 8.30am.		
3.2.19	Access to the site is only permitted for working on the proposed works.		
3.2.20	The contractor shall carry out the works without undue inconvenience and nuisance and without danger to building owners, occupants and visitors.		

Ref.	Description	£	p
3.2.21	When undertaking the specified works, they are to be in accordance with manufacturer's recommendations and guidelines.		
3.3	WORKS PROGRAMMING/ PHASING		
3.3.1	The works are to be undertaken in an unoccupied residential property. Therefore the contractor is to consider the use of the site as part of phasing the works.		
3.3.2	The contractor is to outline their proposals for programming the works below. A project programme must be provided with the tender.		
3.3.3	Prior to commencing works on site, the contractor must produce detailed plans for means of access, site compound, storage facilities, means of escape and evacuation routes from the building during the course of the works. This is to be issued to Ridge & Partners LLP and the Environment Agency for approval a minimum of two weeks prior to the commencement of works.		
3.3.4	The works are to be undertaken in strict accordance with all Statutory Consents and Conditions required by the local Building Control and Planning Department where necessary. The contractor shall be responsible for ensuring all works undertaken comply with current regulations and byelaws.		
3.3.5	The successful contractor is to undertake the works utilising trades persons and operatives who have the relevant experience, competence and technical skills required to achieve the applicable standards of all works, products and materials described below.		
3.3.6	The contractor is to make a reasonable allowance for the inspection, instruction and agreement of any works by Ridge & Partners LLP during the works as necessary to complete the works to the reasonable satisfaction of Ridge & Partners LLP.		
3.3.7	The contractor is to note that all electrical works that are required to be undertaken to the property, are to be carried out by the Environment Agency's Term Electrical Contractor, such as light fittings, sockets, wiring, bathroom and kitchen extraction etc. As a result, no electrical works have been allowed for in this Schedule of Works. However, where required, allow to liaise with the electrical company and the Environment Agency accordingly. Include to make good affected surfaces (walls, floors, ceilings, joinery etc.), if and where required.		

Ref.	Description	£	p
3.4	CONSTRUCTION (DESIGN AND MANAGEMENT REGULATIONS) 2015		
3.4.1	The Construction (Design & Management) Regulations 2015 apply in full to these works. The contractor must comply with these regulations and ensure all required information is provided.		
3.4.2	Even though the building is unoccupied, the contractor must maintain safe access routes for all residents, visitors, deliveries and own workforce.		
3.5	REFURBISHMENT AND DEMOLITION ASBESTOS SURVEY		
3.5.1	The Environment Agency has provided an Asbestos Survey Report (12th November 2018) by CWE Services Limited within Appendix D of this report. The report provides R&D information relating to the internal and external areas of the property. Should any asbestos containing materials be found, the contractor is to allow for the safe removal and disposal of all asbestos containing materials as detailed within the report that are identified within the proposed works area.		
3.5.2	The contractor is to note that the asbestos containing materials that were found in the basement ceiling (included within the Asbestos Report in Appendix D) have already been safely removed. Details of this removal can be found within Appendix D.		
3.5.3	Prior to the commencement of any works on site (including any site set up etc.), the contractor is to fully review the extent of Asbestos identified in the Survey Report provided within the Appendices.		
3.5.4	The contractor is responsible for ensuring that all asbestos containing materials are correctly removed (if any are found to be present within the proposed working area), upon advice from the CA) from site by a UKAS accredited company with an approved Waste Carriers Licence and disposed of in accordance with current HSE and regulatory guidelines. Copies of disposal certificates are to be issued to Ridge & Partners LLP & the Environment Agency.		
3.5.5	During the works the contractor is to give notice immediately of suspected asbestos-containing materials if discovered during the Works and avoid disturbing such materials. Statutory risk assessments and details of proposed methods for its safe removal are to be undertaken and submitted by the contractor.		

Ref.	Description	£	p
3.5.6	The contractor is to note that all work to be carried out in accordance with Health & Safety Executive (HSE) guidelines, including The Analysts' Guide (HSG248), Asbestos: The Survey Guide (HSG264) and the Control of Asbestos Regulations 2012.		
3.6	SITE MANAGEMENT & WELFARE		
3.6.1	The contractor is to submit proposals for site set up, site accommodation and welfare facilities which will be discussed and agreed at the pre-commencement meeting. Designated space maybe provided within the grounds of the site, depending on the extent of the facilities required by the contractor.		
3.6.2	The contractor is to provide all necessary barriers; safety signage and site security required to carry out the works. This must include adequate 1800mm timber hoarding and or "Heras" type fencing, double clipped, around any external works areas and site compounds. The property must remain secure at all times and once works are complete at the end of each day. All necessary lighting, warning and prohibition signs must be provided. The contractor is to ensure that no unauthorised access is permitted within the curtilage of the site or beyond the building secured entrances.		
3.6.3	The contractor is to allow to use the existing toilet facilities on site where required. However if needed / preferred the contractor is to allow for additional on-site welfare facilities for the duration of the works. The contractor is to ensure that these are well maintained for the duration of the works. The contractor must ensure that all existing service covers, footpaths and other surfaces are adequately protected from damage from the use of site facilities during the works.		
3.6.4	The contractor shall provide and maintain all necessary mechanical equipment, plant etc. of all descriptions required for the satisfactory completion of the works and remove all, as and when required, or when directed by Ridge & Partners LLP.		
3.6.5	Due to the nature of the site all operatives must respect the surrounding area and be respectful to neighbours and members of the public.		

Ref.	Description	£	p
3.6.7	The contractor shall be responsible for obtaining any required permission from the Local Authority, Client or other bodies for the positioning of any temporary facilities or structures outside the premises required for completing the works and ensuring all works undertaken comply with current regulations and byelaws.		
3.6.8	The contractor is to allow for all necessary protection to prevent surfaces and areas adjacent to the works from being damaged by the proposed works.		
3.6.9	The use of any electrical equipment is to be strictly controlled and steps are to be taken to ensure that leads are not long enough to touch the water. All equipment should be connected to lines to prevent their accidental dropping into water causing possible electric shocks etc.		

Ref.	Description	£	p
3.7	EXISTING SERVICES		
3.7.1	No disruption of services to the building shall be allowed without written consent from Ridge & Partners LLP or the Environment Agency and without adequate notice of the disruption being provided.		
3.7.2	Adequate protection of the existing services to the building will be required and any damage shall be made good to the satisfaction of Ridge & Partners LLP, the Environment Agency and the appropriate Statutory Authority, with the minimum of delay at the contractor's expense.		
3.7.3	The contractor is to ascertain for themselves the location of all services (which shall include gas, water, electricity, telecommunications services, fibre optic, drains (foul and surface), ducts, tubes, tunnels and the like, on and adjacent to the Site (underground and over ground)), that may be affected by the carrying out of the works and is to allow for all costs in connection with upholding, protecting and, if necessary, temporarily and / or permanently diverting and reinstating these services. All costs associated with works undertaken by Statutory / Service Utility Companies, including builder's work in connection, are to be allowed for by the contractor.		
3.7.4	All chambers, manholes, draw pits, plant and the like shall be adequately protected and any damage shall be made good at the contractor's expense.		
3.7.5	The contractor is note that the rising main is located in the cupboard under the kitchen sink.		
3.8	ACCESS AND GENERAL NOTES		
3.8.1	It should be noted that, due to the location of Penton Hook Lock House, there is limited vehicle access to the property, via the towpath - see yellow line on map below, (access via an Environment Agency key access gate). This may limit the type of plant and equipment etc. that can be carried to the property. The contractor is to visit site prior to works starting.		
			

Ref.	Description	£	p
3.8.2	When painting and / or spray cleaning is being carried out in the vicinity of members of the public, the contractor is to display adequate warning notices.		
3.8.3	The contractor is to submit proposals for all high level access measures including risk assessments and method statements along with details of any proposed specialist sub contractor.		
3.8.4	The contractor is to familiarise themselves with the Environment Agency, Constructing a Better Environment - Safety, Health, Environment and Wellbeing, Code of Practice prior to works starting on site. This document provides guidance on working methods around the water. This is provided within Appendix E.		
3.8.5	When working near or over the water, the contractor must undertake works in accordance with the rules and requirement stated by the Environment Agency.		
3.8.6	The contractor is to record photographs of the works throughout the entirety of the project.		
3.8.7	The contractor is to note that this works package forms the Phase 2 scope of works to the property, Preparation for these works has been undertaken as part of Phase 1. It would be beneficial to the successful contractor to have an understanding of the works carried out in Phase 1, and a copy of the Schedule of Works will be made available when necessary.		
3.8.8	The contractor is to note that the Environment Agency framework electrician will be required to return to site to complete the second fix, once decoration has been completed.		
3.9	INTERNAL FABRIC WORKS		
3.9.1	REDECORATIONS, JOINERY & RADIATORS		
3.9.1.1	The works carried out as part of the Phase 1 project will have left the internal walls with a plastered finish, where additional insulation has been installed. Prior to decorating, the contractor is to allow to protect surfaces, floor finishes and all fixtures and fittings where required, allow to take down light fittings, switches & the like prior to decorating.		

Ref.	Description	£	p
3.9.1.2	The contractor is to allow to prepare and decorate all internal walls where a lime plastered finish has been left during the Phase 1 works. This includes the external walls within the living room, hallway, ground floor toilet, staircase, bathroom and Bedroom 1. Contractor is to use Earthborn Claypaint, or similar approved. Allow to apply a mist coat of 50/50 paint and water mix and a minimum of two full coats in line with manufacturers recommendations. Colour to be approved by the Environment Agency.		
3.9.1.3	The contractor is to allow to prepare and decorate all internal walls, and boxing where a new plastered finish has been left during the Phase 1 works (<i>including the basement staircase, excluding the basement, kitchen and bathroom</i>). Allow to prepare walls with mist coat to all previously unpainted plaster of 50/50 paint and water and minium two full coats of paint in line with the paint manufacturers guidelines. Allow to apply Dulux Trade Vinyl Matt including all necessary base coats. Include for all undercoat and preparation works as required and recommended by the manufacturer. Colour to be confirmed by the Environment Agency.		
3.9.1.4	The contractor is to allow to prepare and decorate all internal ceilings (<i>including the basement staircase, excluding the basement, kitchen and bathroom</i>). Allow to prepare the ceilings in line with the paint manufacturers guidelines and apply Dulux Trade Vinyl Matt Emulsion including mist coat to all previously unpainted plaster, of 50/50 paint and water and minium two full coats of paint as required and recommended by the manufacturer. Colour to be confirmed by the Environment Agency.		
3.9.1.5	In the bathroom, the contractor is to allow to prepare and decorate the bathroom walls, boxing and ceiling. Allow to prepare walls in line with the paint manufacturers guidelines; apply Dulux Trade Mouldshield Fungicidal Eggshell bathroom paint, including all necessary base coats. Include for all preparation works, a mist coat to all previously unpainted plaster of 50/50 paint and water and minium two full coats as required and recommended by the manufacturer. Colour to be confirmed by the Environment Agency.		
3.9.1.6	In the kitchen, the contractor is to allow to prepare and decorate the kitchen walls, boxing and ceiling (including the area of the former pantry which was removed as part of the Phase 1 scope). Allow to prepare walls in line with the paint manufacturers guidelines and apply Dulux Trade Mouldshield Fungicidal Eggshell Kitchen paint to all walls and ceilings, including mist coat to all previously unpainted plaster, of 50/50 paint and water. Apply a minimum of two full coats of paint as required and recommended by the manufacturer. Colour to be confirmed by the Environment Agency.		

Ref.	Description	£	p
3.9.1.7	The contractor is to supply and install new joinery to all areas where this is missing. Sections of skirting and architraves have been set aside and retained as part of the Phase 1 works; the contractor is to assess the viability of these sections for re-installment. Where new sections of joinery are required, allow to install new timber joinery. Once installed, allow to prepare and decorate new and existing joinery with primer, followed by two top coats of Dulux Satin paint (or similar approved). Include for all preparation works as required and recommended by the manufacturer. Colour to be confirmed by the Environment Agency.		
3.9.1.8	The contractor is to allow to prepare and decorate all newly installed and retained timber doors, frames and linings with two coats of Dulux Satin paint (or similar approved). Include for all preparation works as required and recommended by the manufacturer. Colour to be confirmed by the Environment Agency.		
3.9.1.9	The contractor is to allow to decorate all new and previously (decorated) retained pipework etc., where visible to the ground and first floors. Include for all preparation works as required and recommended by the manufacturer and a minimum of 1 etching undercoat and 2 top coats. Colour to be confirmed by the Environment Agency.		
3.9.1.10	Allow to decorate all existing radiators throughout and associated pipework with two coats of Dulux radiator paint (or similar approved). Include for all preparation works as required and recommended by the manufacturer. Colour to be confirmed by the Environment Agency.		
3.9.1.11	Allow to replace all TRVs to radiators throughout. All replacement and installation works are to be done in accordance with the manufacturers guidelines.		
3.9.1.12	Supply and install new wall tile splashback within the ground floor toilet, to match all former areas of wall tiling. Ensure that the tile abuts onto surrounding surfaces. At present tiles are to comprise 600m x 300mm rectangular semi-gloss white tiles fixed with white mould and mildew resistant tile adhesive and grout (final width of splashback is to match the width of the wash hand basin. Include to supply and install new mastic (colour: white) around surrounding surfaces (where required). Ensure a watertight finish throughout. Final range and style of wall tiling is to be confirmed by the Environment Agency.		
3.9.2	FLOOR COVERINGS		

Ref.	Description	£	p
3.9.2.1	All floor coverings within the ground and first floors and the staircase, including all remaining adhesive, gripper rods etc., will have been removed as part of the Phase 1 scope of works. The contractor is to prepare surfaces and leave ready for new covering. Allow to sweep, clear and clean the floor, in readiness for the new floor covering to be installed.		
3.9.2.2	Allow to supply and install new carpet to the first floor bedrooms, landing and staircase. Carpet to be wool twist pile carpet with suitable underlay. Pembroke Wool Carpet - Chrome or Storm Cloud colour (https://www.cormarcarpets.co.uk/carpet-ranges/wool-twist/pembroke/).		
3.9.2.3	Allow for luxury vinyl tiles (LVT) to be provided to Entrance Hall (with large recessed choir mat to wider area between front door and wall to WC. LVT also to be fitted to the kitchen, bathroom, ground floor toilet, dining room and living room. Contractor to use Polyflor Expona Commercial Wood Pur: Blue Salvaged Wood throughout.		
3.9.2.4	All floor coverings to be in strict accordance with manufacturer's instructions, including all new fixings, gripper rods, underlay etc. Range, colour and style to be confirmed by Environment Agency.	<i>no cost required</i>	<i>no cost required</i>
3.9.3	KITCHEN		
3.9.3.1	See drawing attached in Appendix C for the proposed kitchen layout and design. The contractor must take responsibility and be liable for checking over the kitchen design compatibility before undertaking the fit out. Ensure all products as per the <i>Howdens</i> kitchen design are used for the fit out.		
3.9.3.2	As stated in item 3.9.2.3 (<i>do not quote the LVT in this item also</i>), LVT should be provided to the kitchen. Upon completion allow to seal the perimeter of the floor with clear silicone ready for new skirting boards. Include for <i>Altro Everlay A Fibreglass underlay</i> .		
3.9.3.3	The Contractor is to include for sealing all plinths and the sink with clear silicone.		
3.9.4	BATHROOM		
3.9.4.1	The contractor is to make reference to the proposed bathroom layout plan, found within Appendix C.		

Ref.	Description	£	p
3.9.4.2	Supply and install new w/c, wash hand basin, pedestal and bath. Include for all fittings and accessories. The new bath installation is to be a full-sized straight unit. Include for all alterations to the existing hot and cold water supply pipework and waste pipework to suit the new installation. All proposals for new units will need to be approved by Ridge or the Environment Agency.		
3.9.4.3	Allow to install a new separate shower unit along the wall of the chimney breast (refer to the proposed bathroom layout plan for further details), allow for new electric shower including riser rail. Shower to be Mira Advance Flex 9.8kW - Include for all installation and connections with the existing services. Supply and install a 1200mm x 800mm bespoke shower tray. Where the shower tray extends past the chimney breast, allow to stud out the "triangle" shape up against the chimney breast and leave ready to add shelving. The contractor is to propose an appropriate shower tray and enclosure for the new shower, which must be confirmed by the Environment Agency. The width of the chimney breast wall is approx 1560mm.		
3.9.4.4	The contractor is to supply and install new bathroom wall tiling to match the locations of the existing tiling. Ensure that the shower tray and the bath are tiled down onto and the toilet and wash hand basin are tiled behind. At present tiles are to comprise 600mm x 300mm rectangular semi-gloss white tiles fixed with white mould and mildew resistant tile adhesive and grout (in brickwork course pattern). Include to supply and install new mould resistant mastic (colour: white) around the sanitaryware and surrounding surfaces (where required). Ensure a watertight finish throughout. <i>Final range and style of wall tiling is to be confirmed by the Environment Agency.</i>		
3.9.4.5	Allow to install new floor covering to the bathroom as stated in item 3.9.2.3. Do not cost for this item here; include as part of cost for item 3.9.2.3. Where required allow for a latex levelling screed to be applied throughout. Provide mastic sealant to the edges, where the floor abuts the walls / surfaces. All works to be in accordance with manufacturer's recommendations and guidelines. Final - colour and style to be confirmed by Environment Agency.	<i>cost not required</i>	<i>cost not required</i>
3.9.5	GROUND FLOOR TOILET		
3.9.5.1	Allow to install new floor covering to the bathroom as stated in item 3.9.2.3. Do not cost for this item here; include as part of cost for item 3.9.2.3. Where required allow for a latex levelling screed to be applied throughout. Provide mastic sealant to the edges, where the floor abuts the walls / surfaces. All works to be in accordance with manufacturer's recommendations and guidelines. Final - colour and style to be confirmed by Environment Agency.	<i>cost not required</i>	<i>cost not required</i>

Ref.	Description	£	p
3.10	CLEANING & COMPLETION		
3.10.1	The contractor is to leave the property clear, debris free and tidy on completion of the works, to the satisfaction of Ridge & Partners LLP, including the removal of all debris, materials plant and equipment etc., ready for inspection and handover.		
3.10.2	The contractor is to note that when undertaking any upgrades to the insulation within the building (walls, roof voids etc.) the contractor is to allow to undertake a photographic record of the works being carried out. This is to include photographs with a ruler in the picture showing the thickness of the insulation being installed so that the Environment Agency can keep these as records and show as evidence for future EPCs. Allow to issue all photographs to the EA and Ridge in a suitable report at the end of the project.		
3.10.3	The contractor is to clean all the window and door glazing and frames internally and externally throughout.		
3.10.4	Allow for providing all necessary installation certification and warranties for all materials and installations included within the works. All certification and testing must be undertaken by a nationally qualified specialist.		
3.10.5	The contractor is to provide and ensure Health and Safety File and Building Manual for the works has been issued for comment 1 week prior to completion. The Health and Safety File is to include all O&M information for the works. Where required, allow to liaise with the Environment Agency's chosen electrical Term Contractor, to ensure all the correct information is provided.		
3.10.6	Upon completion ensure that 2 No. A4 sized paper copies of the Health and Safety file and as built drawings are provided to Ridge & Partners LLP for issue to the Environment Agency one week after Practical Completion. A full and completed electrical copy is also to be provided.		
3.10.7	The contractor is to ensure that upon completion of the works, all the insurance backed guarantees covering the external works, including the installation and workmanship etc., are to be handed to Ridge & Partners LLP and included within the O&M Manuals for the works.		
SECTION 3 - COSTED TOTAL (Excl VAT) £			

4. COLLECTION PAGE

SPECIFICATION DOCUMENT

Penton Hook Lock House

RIDGE

COLLECTION PAGE

Ref.	Description	£	p
4.0	COLLECTION PAGE		
4.1	PRELIMINARIES BREAKDOWN		
4.2	SCHEDULE OF WORKS		
4.3	CONTINGENCY SUM (10%)		
	SUB TOTAL		
4.4	MAIN CONTRACTOR OVERHEADS & PROFIT		
	Add a percentage to cover all Main Contractor overheads and profits based on the value of this tender Submission. The percentage is to allow for all adjustments to the net value of work (including Main Contractor Discount). No other adjustments shall apply.		
	Insert Percentage.....		
	TOTAL		
	Contractor :		
	Address :		
		
		
		
		
	Date :		
TOTAL PRICED SUBMISSION (Excl VAT) £			

5. FORM OF TENDER

Penton Hook Lock House

FORM OF TENDER

Tender For: Phase 2 - Refurbishment / Fit Out at Penton Hook Lock House

TENDER RETURNS ARE TO BE ISSUED TO:

To: Kathryn Forster
Environment Agency
Kings Meadow House
King's Meadow Road
Reading
Berkshire
RG1 8DQ

From:
.....
.....
.....
.....

We have examined the following documents:

- Specification & Pricing Document
- All appendices included within the Specification & Pricing Document
- All drawings listed in the Specification & Pricing Document

We offer to carry out the whole of the Works described in accordance with the documents referred to above;

for the sum of £ (in words)

£ (in figures) exclusive of any VAT chargeable

within weeks from acceptance of our tender, comprising a period of:

..... weeks from acceptance to the Date of Possession and

..... weeks from the Date of Possession to the Date for Completion.

For the purposes of the warranties and guarantee requirements mentioned in the Specification & Pricing Document, We have reviewed the contents of the Specification & Pricing Document and accept, without amendment, the wording set out in the appendices.

Penton Hook Lock House

FORM OF TENDER

Tender For: Phase 2 - Refurbishment / Fit Out at Penton Hook Lock House

We enclose our fully priced document in the separate envelope provided and marked with our name.

We agree that if any obvious errors in pricing or errors in arithmetic are discovered in the priced document before acceptance of this offer, they shall be dealt with in accordance with the Alternative 2 procedure set out in the latest JCT Practice Note.

We undertake in the event of your acceptance to execute with you a formal contract embodying all the conditions and terms contained in this offer within 21 days of being required to do so by the Employer.

This tender remains open for acceptance for 90 days from the latest date fixed for the submission of tenders.

We confirm that this tender is submitted at our expense and agree that the Employer need not necessarily accept the lowest or any other tender.

I/We confirm the following Principle Domestic Sub Contractors will be employed on this project. I/We confirm their sub contract tenders have been used within our tender and, where necessary, all these domestic sub contractors have accepted the wording of

Our list of proposed sub-contractors are;

•
•
•

Penton Hook Lock House

FORM OF TENDER

Tender For: Phase 2 - Refurbishment / Fit Out at Penton Hook Lock House

Certificate of Bona Fide Tender

The essence of selective tendering is that the client shall receive bona fide competitive tenders from all those tendering. In recognition of the principle, I certify that this is a bona fide tender, intended to be competitive, and that we have not fixed or adjusted the amount of the tender by or under or in accordance with any agreement or arrangement with any other person. I also certify that we have not done and we undertake that will not do at any time before the hour and date specified for return of this tender any of the following acts:-

- a. Communication to a person other than the person calling for those tenders the amount or approximate amount of the proposed tender, except where the disclosure, in confidence, of the approximate amount of the tender was necessary to obtain insurance premium quotations required for the preparation of the tender.
- b. entering into any agreement or arrangement with any other person that he shall refrain from tendering or as to the amount of any tender to be submitted.
- c. offering or paying or giving or agreeing to pay or give any sum of money or valuable consideration directly or indirectly to any person for doing or having done or causing or having caused to be done in relation to any other tender or proposed tender for the said work any act or thing or sort described above.

In this certificate the word "person" includes any person any body or association, corporate or unincorporate and "any agreement or arrangement" includes any such transaction, formal or informal, and whether legally binding or not.

**Signed by or on
behalf of :**

Signature :
duly authorised to sign

Position :

Date :

Note: The completed Form of Tender together with the information requested must be received at the above address no later than the agreed time and date set out in the tender invitation.

APPENDIX A

Location Plan of Penton Hook Lock House

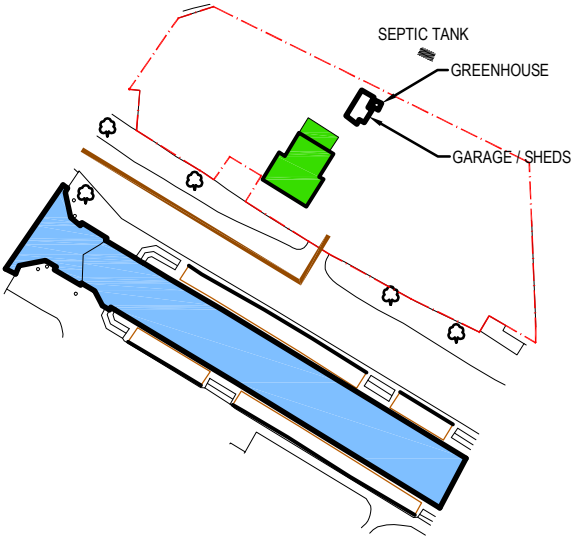
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REFERENCE

- DOMESTIC BUILDINGS
- ACCESS ROUTE TO DWELLING
- RIVER THAMES
- CONCESSION TRADING
- BOUNDARY OF DWELLING AND GARDEN



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DRAWING

Penton Hook Lock

Location Plan

PROJECT

Condition and PPM Survey

CLIENT

Environment Agency

RIDGE

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READING, RG7 5AL
Also at Oxford, Bristol, London and Leicester

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FAX: 01993 815002
www.ridge.co.uk

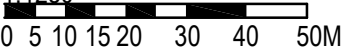
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FILE REFERENCE:

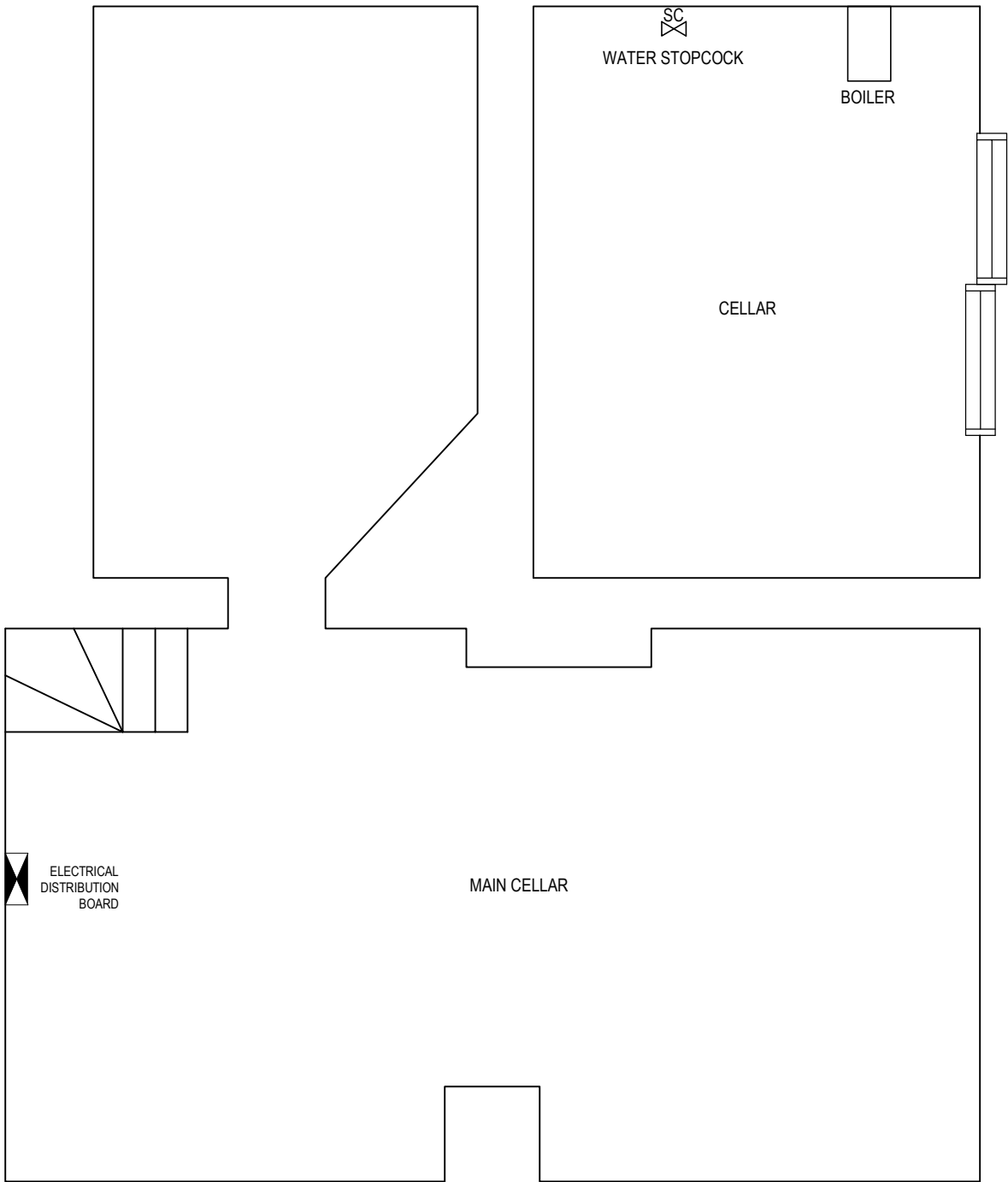
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1:1250



APPENDIX B

Existing and Proposed Layout, Kitchen Design



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Penton Hook Lock

Basement Plan

PROJECT
Condition and PPM Survey

CLIENT
Environment Agency

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DRAWING				

Penton Hook Lock

Ground Floor Plan

PROJECT
Condition and PPM Survey

CLIENT
Environment Agency

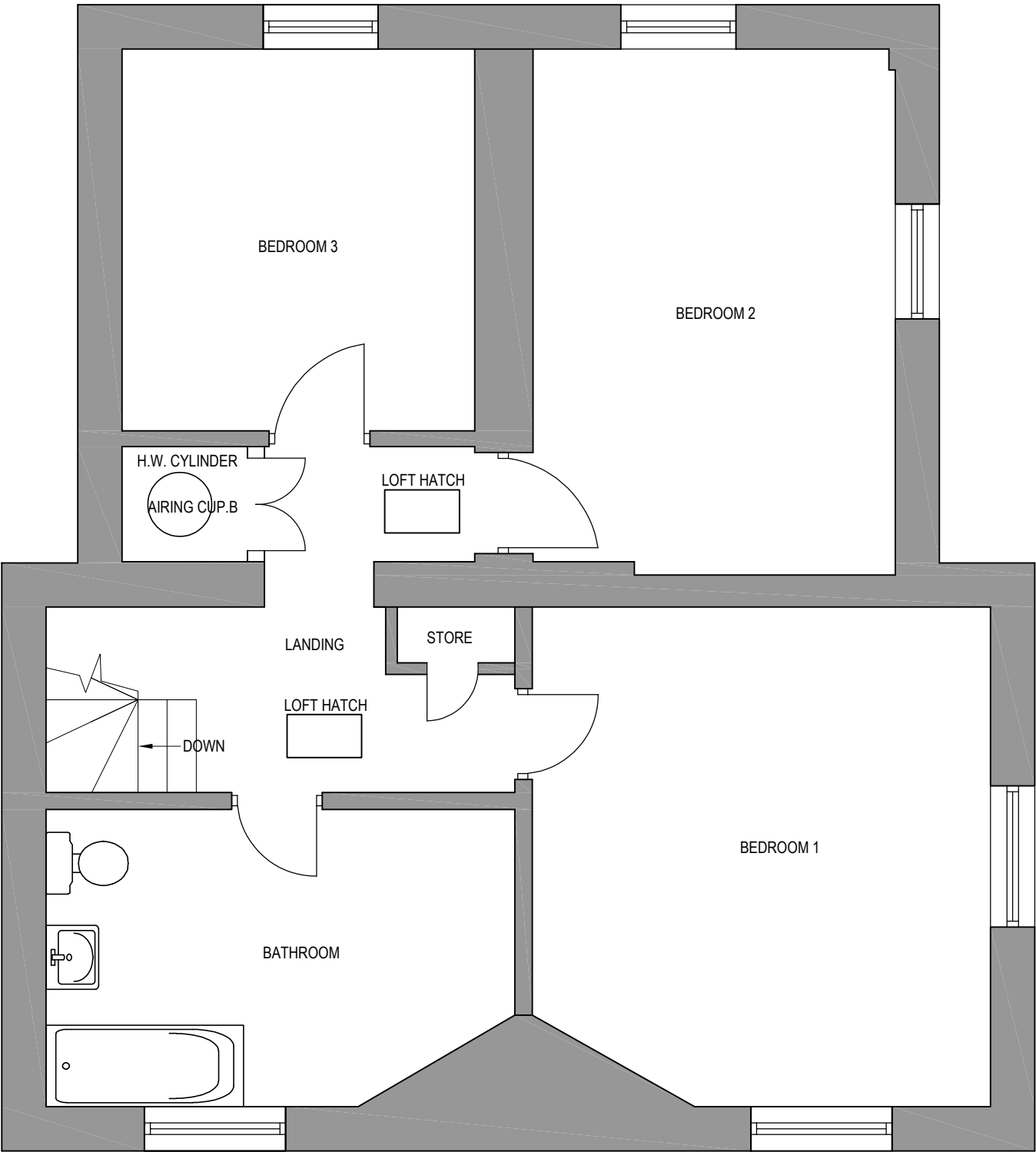
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DRAWING				

Penton Hook Lock

First Floor Plan

PROJECT
Condition and PPM Survey

CLIENT
Environment Agency

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XREF FILE REFERENCE:



Kitchen Design Pack

Need changes to your plan?

If you require any changes to your kitchen plan or, for any further assistance regarding this plan, please contact your local depot using the contact information below:

Howdens Joinery - Howdens - Reading South

Tel: 0118 987 4058

Plan: Jul/05/J2903639842_DJ29_1720186917

Designer:

Range: Clerkenwell Gloss White

Please Note

Drawings and images contained in this pack are computer representations indicating layout.

Please check that all room dimensions detailed are correct.

Consult the quotation for a list of items included.

Please also ensure a Gas Safe registered engineer is engaged with regards to any gas appliances.

Scan QR to view this
plan online.



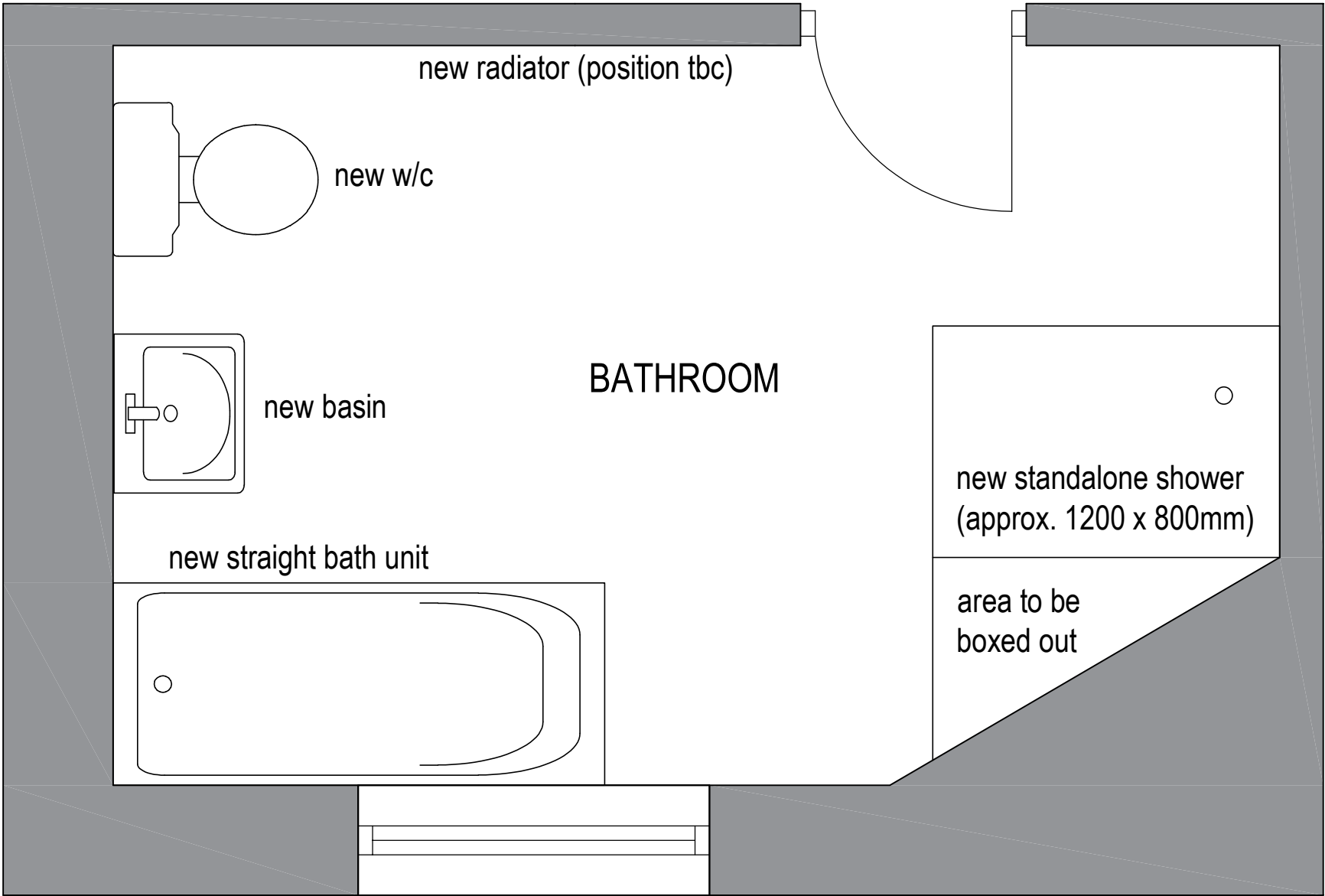








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PENTON HOOK LOCK HOUSE - PROPOSED BATHROOM LAYOUT

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Penton Hook Lock

Proposed Bathroom Layout

PROJECT

Phase II - Refurbishment / Fit-Out

CLIENT

Environment Agency

RIDGE

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READING, RG7 5AL

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APPENDIX C

R&D Asbestos Survey Report (12.11.2018)

ASBESTOS SURVEY REPORT



Client : **Ridge and Partners LLP**
Site Ref : **N/A**
Site Address : **147 Thames Side
Staines-upon-Thames
Middlesex
TW18 2JA**
Survey Date : **1st November 2018**
Report Issue Date : **12th November 2018**
Report Reference : **J002724**
Survey Type : **Refurbishment Survey**



Asbestos Consultancy Practice

Asbestos Management Surveys
Asbestos Refurbishment Surveys
Asbestos Demolition Surveys
Asbestos Re-Inspection Surveys
Asbestos Air Monitoring and Four Stage Clearances / Certificates of Reoccupation
Asbestos Removal Management
Asbestos Project Management
Asbestos Consultancy

This report and the contents therein form the opinions and results of CWE Services Limited. All aspects of the production of this report have been done in strict adherence to documented inhouse procedures and to the current HSE HSG264 Asbestos: The Survey Guide. The content of this report may not be amended or altered in any manner by a third party without the express prior consent of CWE Services Limited. Any further duplication of this survey must be done in its entirety. All relevant liabilities (actual, assumed or otherwise) under such circumstances will be withdrawn forthwith.

Please note CWE Services Limited cannot be held responsible for the way in which the client may interpret or act upon the results of this report

Section A

Client	Ridge and Partners LLP
Site Ref	N/A
Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Survey Date	1st November 2018
Report Reference	J002724

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CWE Services Limited
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Congresbury
North Somerset
BS49 5EB

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enquiries@cwegroup.co.uk
Company Registration No. 4070169
Document Ref : ID031.V4



Section A

Client	Ridge and Partners LLP
Site Ref	N/A
Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Survey Date	1st November 2018
Report Reference	J002724

Report Details

Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Client	Ridge and Partners LLP
Client Contact	Sarah Astbury
Client Address	Beaumont House, 59 High St, Theale, Reading, RG7 5AL
Survey Date	1st November 2018
Report Reference	J002724
Survey Carried Out By	Martin Chard
Analytical Laboratory	Asbestos Laboratory Services

Report Reviewed and Checked by : Duncan Riddell

Signature :



Report Authorised by (Lead Surveyor) : Martin Chard

Signature :



Report Issue Date : 12th November 2018



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Section A

Client	Ridge and Partners LLP
Site Ref	N/A
Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Survey Date	1st November 2018
Report Reference	J002724

Introduction

This report details the findings of an asbestos survey commissioned by the client. The main aim and objectives of the survey were as follows:

- To identify areas where asbestos is present.
- To identify the type and extent of asbestos material where present.
- To assess the state of repair and condition of asbestos containing materials in order to provide a material risk assessment.

Unless otherwise stated the survey was conducted in order to enable compliance with regulation 4 of The Control of Asbestos Regulations 2012. All work was conducted with strict adherence to documented in-house procedures (PM001), the current HSE HSG264 Asbestos: The Survey Guide methodology, together with our standard terms and conditions.

The scope of work requested was limited to the areas identified by the client.

Where the client made site plans available for this survey we have, where possible, incorporated them into this report. Where site plans were not made available by the client for this survey, CWE have produced outline plans of the areas surveyed for the purposes of this report.

This report only relates to the situation on the day of the site visit and cannot take into account subsequent changes in circumstances.

Site Details

- A Building Type**
Domestic
- B Approx Age of Construction**
1800's
- C Number of Floors/Levels**
4
- D Building Construction Type**
Brick/block with pitched roof

Please note: The information detailed in items B & D have been supplied by the client or clients representative. CWE cannot take responsibility for inaccuracies of the supplied information



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Section B

Client	Ridge and Partners LLP
Site Ref	N/A
Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Survey Date	1st November 2018
Report Reference	J002724

Executive Summary

General Notes / Limitations of Survey

Internal notes – A general refurbishment survey was carried out to the property as instructed by S Astbury. We are advised that no specific refurbishment works are planned for the property. Further investigation may be required if definitive refurbishment works are planned.

Limited inspection under glue fixed flooring without causing irreparable damage, apply caution.

Although none were identified during the course of this survey, asbestos containing packers may be present in the general construction, apply caution.

External notes – Limited inspection above 4m, apply caution.

The aim of this section is to provide a quick overview of all identified ACMs, presumed or strongly presumed. The full details for each item within this summary can be found in the Asbestos Register in Section C.

Prior to the completion of a Priority Risk Assessment, the Material Risk Assessment shown in the table below provides guidance on prioritising those materials which may require remedial action. As outlined in the Risk Assessment section the following risk assessment categories have been used.

Items greater or equal to **10** should be regarded as **High Risk**, with a significant potential to release fibres if disturbed. Items between **7** and **9** should be regarded as **Medium Risk**. Items between 5 and 6 should be regarded as **Low Risk** and equal to **or less than 4** should be regarded as **Very Low Risk**.

The following table contains a summary of each of the positively identified ACMs. They have been identified by a combination of bulk sampling, identification of visually identical materials, and by presumption or strong presumption.



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Section B

Client Ridge and Partners LLP
Site Ref N/A
Site Address 147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Survey Date 1st November 2018
Report Reference J002724

Asbestos Register Summary Table

Item	Level	Building / Location	Material Description / Product Type	Quantity	Condition (Damage)	Material Risk	Inspection	Recommendation
16	Basement	Cellar	Asbestos insulating board high level panels to ceiling	24m ²	Low Damage	Medium	Identified	Remove under asbestos controlled conditions if affected by works or encapsulate and manage in accordance with current asbestos legislation



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Section B

Client	Ridge and Partners LLP
Site Ref	N/A
Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Survey Date	1st November 2018
Report Reference	J002724

Areas of No Access

Areas where no access has been gained are as follows

Level	Building / Location	Reason For No Access
All areas within the scope of this survey were accessed		



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Section C

Client	Ridge and Partners LLP
Site Ref	N/A
Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Survey Date	1st November 2018
Report Reference	J002724

Asbestos Register




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North Somerset
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Tel : 0871 2000 900
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Company Registration No. 4070169
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Section C


Client Ridge and Partners LLP
 Site Ref N/A
 Site Address 147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
 Survey Date 1st November 2018
 Report Reference J002724


Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
1	Roof Void	Loft Space 1	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			Limited inspection due to volume of insulation.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
Review Period								
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
2	Roof Void	Loft Space 2	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			Limited inspection due to volume of insulation and accessibility, apply caution. Plastic water tanks. Foam wrapped pipework.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
Review Period								
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Section C


Client Ridge and Partners LLP
 Site Ref N/A
 Site Address 147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
 Survey Date 1st November 2018
 Report Reference J002724

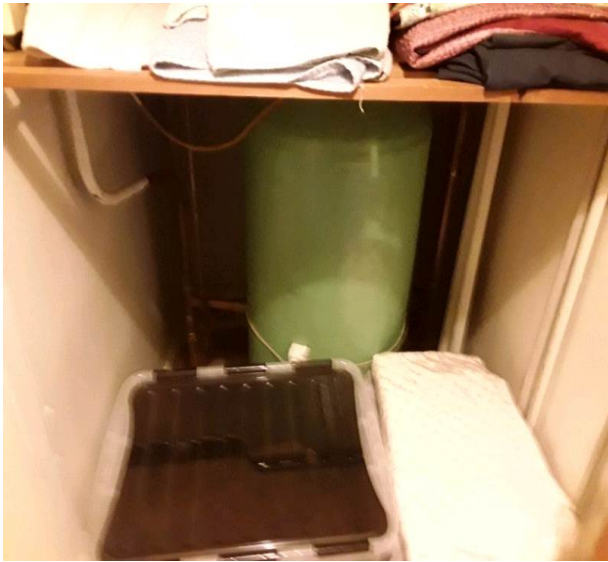
Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
3	First Floor	Bedroom 1	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			UPVC windows. Non asbestos timber doors.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
					Review Period			
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
4	First Floor	Bedroom 2	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			UPVC windows. Non asbestos timber doors.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
Review Period								
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Section C


Client Ridge and Partners LLP
 Site Ref N/A
 Site Address 147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
 Survey Date 1st November 2018
 Report Reference J002724


Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
5	First Floor	Bedroom 3	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			UPVC windows. Non asbestos timber doors.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
Review Period								
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
6	First Floor	Airing Cupboard	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			Copper tank with foam jacket. Non asbestos timber doors.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
Review Period								
		-						
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Section C

Client Ridge and Partners LLP
 Site Ref N/A
 Site Address 147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
 Survey Date 1st November 2018
 Report Reference J002724


Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
7	First Floor	Bathroom	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			UPVC windows. Plastic bath panel. Ceramic toilet cistern. Non asbestos vinyl flooring. Limited inspection below fixed glue fixed vinyl flooring without causing irreparable damage, apply caution.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
-		-						
		Review Period						
		-						
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
8	First Floor	Stairs/ Landing and Cupboard	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			UPVC windows. Non asbestos timber doors. Timber trap hatch.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
-		-						
		Review Period						
		-						
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Section C


Client Ridge and Partners LLP
 Site Ref N/A
 Site Address 147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
 Survey Date 1st November 2018
 Report Reference J002724


Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
9	Ground Floor	Hall	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			UPVC front door. Non asbestos timber doors.		Score - Material Risk			
					-	-		
			Recommendations		Accessibility			
			-		-			
Review Period								
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
10	Ground Floor	Toilet	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			UPVC windows. Ceramic toilet cistern. Non asbestos vinyl flooring. Limited inspection below fixed glue fixed vinyl flooring without causing irreparable damage, apply caution.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
Review Period								
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Section C


Client Ridge and Partners LLP
 Site Ref N/A
 Site Address 147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
 Survey Date 1st November 2018
 Report Reference J002724


Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
11	Ground Floor	Parlour	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			UPVC windows. Non asbestos timber doors. Timber infill panel to fireplace. No access within fireplace, apply caution.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
-		-						
		Review Period						
		-						
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
12	Ground Floor	Lounge	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			UPVC windows. Non asbestos timber doors. No access within fireplace, apply caution.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
Review Period								
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Section C


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Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
13	Ground Floor	Kitchen	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
					-	-	-	-
			Additional Information		-	-	-	-
			UPVC windows. Non asbestos timber doors. Non asbestos vinyl flooring. Timber boxing. Non asbestos damper pad to sink. Limited inspection below glue fixed vinyl flooring without causing irreparable damage, apply caution.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
Review Period								
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity				
14	Ground Floor	Kitchen Store	Refurbishment	Visual Inspection	-				
			Material Description / Location		Material Risk				
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type	
					-	-	-	-	
			Additional Information		-	-	-	-	
			UPVC windows. Non asbestos timber doors. Non asbestos vinyl flooring.		Score - Material Risk				
					-		-		
			Recommendations		Accessibility				
			-		-				
Review Period									
-									
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed			
-		-		-		-			

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Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
15	Basement	Main Cellar	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			Non asbestos timber doors. Non asbestos fuseboard. Limited inspection due to stored Items, apply caution.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
			-		-			
Review Period								
-								
Inspection Level		Analysis Result		Product Type		Licensed / Non-Licensed		
-		-		-		-		

Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
16	Basement	Cellar	Refurbishment	AH000065	24m²			
			Material Description / Location		Material Risk			
			Asbestos insulating board high level panels to ceiling		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		2	1	2	2
			High level unencapsulated ceiling panels. Non asbestos Vaillant boiler. Limited inspection due to stored items, apply caution.		Score - Material Risk			
					7		Medium	
			Recommendations		Accessibility			
Remove under asbestos controlled conditions if affected by works or encapsulate and manage in accordance with current asbestos legislation		High						
		Review Period						
		Annual						
Inspection Level		Analysis Result	Product Type		Licensed / Non-Licensed			
Identified		Chrysotile + Amosite	Asbestos Insulating Board		Licensable			

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Item	Level	Building Name / Location / Room Number	Survey Type	Sample Reference	Quantity			
17	External	External Elevations	Refurbishment	Visual Inspection	-			
			Material Description / Location		Material Risk			
			No suspect materials observed within surveyed area		Product Type	Extent of Damage	Surface Treatment	Asbestos Type
			Additional Information		-	-	-	-
			Cast soil pipe. Plastic rainwater goods. Limited inspection above 4m, apply caution.		Score - Material Risk			
					-		-	
			Recommendations		Accessibility			
-		-						
		Review Period						
		-						
Inspection Level		Analysis Result	Product Type		Licensed / Non-Licensed			
-		-	-		-			

Section D

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Areas Surveyed / General Information

Areas that have been surveyed are as follows

Item Number	Level	Building / Location	Details of location
1	Roof Void	Loft Space 1	MMMF loft insulation on plasterboard flooring
2	Roof Void	Loft Space 2	MMMF loft insulation on plasterboard flooring
3	First Floor	Bedroom 1	Fixed plastered ceiling. Plastered block walls and partitioning. Carpet over timber.
4	First Floor	Bedroom 2	Fixed plastered ceiling. Plastered block walls and partitioning. Carpet over timber.
5	First Floor	Bedroom 3	Fixed plastered ceiling. Plastered block walls and partitioning. Carpet over timber.
6	First Floor	Airing Cupboard	Fixed plastered ceiling. Plastered block walls and partitioning. Timber flooring.
7	First Floor	Bathroom	Fixed plastered ceiling. Plastered block walls and partitioning. Vinyl flooring over timber.
8	First Floor	Stairs/ Landing and Cupboard	Fixed plastered ceiling. Plastered block walls and partitioning. Carpet over timber.
9	Ground Floor	Hall	Fixed plastered ceiling. Plastered block walls and partitioning. Carpet over timber.
10	Ground Floor	Toilet	Fixed plastered ceiling. Plastered blockwalls and partitioning. Vinyl flooring over timber.
11	Ground Floor	Parlour	Fixed plastered ceiling. Plastered blockwalls and partitioning. Carpet over timber.
12	Ground Floor	Lounge	Fixed plastered ceiling. Plastered block walls and partitioning. Carpet over timber.



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Item Number	Level	Building / Location	Details of location
13	Ground Floor	Kitchen	Fixed plastered ceiling. Plastered block walls and partitioning. Vinyl flooring over timber.
14	Ground Floor	Kitchen Store	Fixed plastered ceiling. Plastered blockwalls and partitioning. Vinyl flooring over timber.
15	Basement	Main Cellar	Fixed timber and plastered ceiling. Plastered block walls and partitioning. Carpet over stone.
16	Basement	Cellar	Ceiling panels. Plastered blockwalls. Concrete floor.
17	External	External Elevations	Limited inspection above 4m, apply caution.



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SURVEY TYPE – REFURBISHMENT SURVEY

This type of survey is required before any refurbishment or demolition work is carried out and is used to locate and describe, as far as reasonably practicable, all ACMs in the area where the refurbishment work will take place or in the whole building if demolition is planned. The survey is fully intrusive and involves destructive inspections, as necessary, to gain access to all areas, including those that may be difficult to reach and may need to penetrate all parts of the building structure. Material assessments (although not required for this type of survey) of the various ACMs and their ability to release fibres into the air if they are disturbed in some way are provided on the individual item inspections. Sampling procedures are as described above. Any areas not accessed are listed in Section B and must be presumed to contain asbestos. These will be required to be accessed prior to any works taking place. Any caveats/restrictions to the Refurbishment and Demolition survey are listed Section B – General Notes/ Limitations of Survey.

Where there has been significant destruction reassurance air monitoring may be required. Measurements provided are for guidance only and are not to be used as the basis for removal quotations.

SURVEY METHODOLOGY

All accessible areas within the site as indicated by the client have been inspected in order to determine the presence of asbestos containing materials.

The Surveyor(s) have accomplished all tasks necessary to identify asbestos containing materials as far as is reasonably practicable.

The inspection included, but was not necessarily limited to, the following:

- A thorough on-site visual inspection. During the inspection, the Surveyor(s) identified and quantified suspected ACMs.
- All areas of homogenous material have been identified, based upon previous experience of laboratory bulk analysis results.
- Identified all locations where ACMs may be present but cannot be inspected, with the reason it could not be inspected.
- Completing a Survey Summary of suspect ACMs, whether later proven to contain asbestos or not.
- Where the Surveyor(s) suspected a material containing asbestos, a sample was taken for analysis.
- The samples were chosen as being representative of the material under investigation.
- All sampling was undertaken following the HSE guidance note HSG264, causing the minimum possible disruption and potential risk to the health of building occupants and visitors.
- All bulk sample analysis, swab sample analysis and air reassurance testing (if applicable) was carried out by a UKAS Accredited laboratory.
- The Surveyor(s) assessed the risk of fibre release before carrying out the survey.
- Investigation was carried out incorporating the shadow vac technique using an H type vacuum in order to minimise potential fibre release.
- Where fibre release was assessed to be of sufficiently high risk, a polythene enclosure was erected and suitable PPE utilised.



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LIMITATIONS OF THE SURVEY

General

This report contains findings based upon initial visual inspection during the course of the survey. All reasonable efforts were made to identify the presence of materials containing asbestos within the surveyed areas.

Asbestos is sometimes concealed within the fabric of buildings or within sealed building voids, so it is not always possible to regard the findings in any survey as being definitive. It must always remain a possibility that further asbestos containing materials may be found during any alteration, refurbishment or demolition works.

Asbestos containing packers may be present in the general construction and may not have been identified during the course of this survey. Caution should be applied during any proposed works.

Areas of reported “**no access**” have attempted to be re-accessed on one further occasion, if the survey duration was of two days or more. No further access attempt has been made for surveys of one day or less. For all types of survey where “**no access**” is reported, outlining the reasons why access was not available indicates that the area specified was not accessible at the time of the survey. The client’s attention is drawn to the possibility that further ACMs may be in the area and consequently caution should be applied. Areas not identified in this report should be considered as **not accessed**. Further investigation may be required to these areas.

Where the Surveyor(s) identified **actual** or **presumed** asbestos containing material, no further inspection behind such material was possible. No account has been made for materials located behind unknown voids and spaces. Should the presumed or identified material be subsequently proven not to contain asbestos following bulk sample analysis, then further inspection work should be conducted at the formal request of the client.

The quantification stated in this report, are based on the Surveyor’s estimates. They are intended to indicate approximate size and volume of asbestos based material and should not be used for contractual purposes alone. A further site visit may be prudent for estimation/contractual purposes.

Manufactured products containing asbestos have been extremely diverse. CWE have done all that is reasonably practicable to identify such materials. Certain decorative coatings and plasters may contain very small quantities of asbestos. In situ, these coatings are often composed of different batches of product or may have been repaired or patched at different times. It is, therefore, possible that any “Artex” samples taken may not be representative of the entire coating. Recent research suggests that, in some cases, the fibres may have diameters below 0.1µm. These may not be visible by the optical microscopy method described in HSE publications HSG248.



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SPECIFIC

Unless specifically requested by the client and agreed by CWE, access to the following has not been achieved (where applicable).

Fragile or pitched roof structures

Inspection has not been undertaken on pitched roofs. Flat roofs with little or no edge protection have only been inspected as far as deemed safe. No access has been made closer than 2.5 metres from exposed edges.

Open sewers or drains

Areas such as open sewers or drains that have a known biological hazard, together with the potential for fast flowing water, etc have not been inspected.

Areas of chemical or biological hazard

Areas that have a known chemical or biological hazard have not been inspected.

Confined spaces or areas of potential hazard

Representative access only has been made to risers, ducts above slab level and boxing, where the anticipated hazard and level of risk from the process of inspection is sufficiently low enough to proceed. We have not reported on concealed spaces, flues, ducts, voids or any similarly enclosed areas, which would have necessitated the use of specialist equipment or tools.

Service ducts with no visible means of access

Inspection has not been undertaken to any service ducts or similar voids that exist within the fabric of the building where the extent or presence is not evident due to inaccessibility or insufficient knowledge of the structure at the time of the survey.

Lift, hoist machinery and open shafts

Lifts, lift shafts, hoists or similar which require the attendance of a specialist engineer have not been inspected without a competent engineer being present. These areas are excluded from the report. The provision and arrangement of such specialist engineers are at the expense of the client.

Access within plant, machinery and other similar fixtures and fittings has not been attempted, unless by prior agreement of CWE and the client.

Live machinery, including lift machinery and escalators

Inspection of electrical systems and subsystems etc has not been attempted if the Surveyor(s) were unsure as to their state of isolation. All electrical systems which require inspection by the client require confirmation that the electrical system has been isolated by a competent person (for example, an electrical engineer).

Enclosed floor voids, ceiling voids and similar spaces

CWE is unable to report on any asbestos that may be present in any enclosed floor voids, ceiling voids and similar spaces where their presence is not made known to CWE Services Ltd. No responsibility is accepted for the presence of asbestos in voids (under floor, floor, wall or ceiling) other than those opened up during the investigation.



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Joints, seals, lagging within equipment, pipework etc that may impact upon the structural integrity of the item

A limited inspection only has been carried out on valves, flanges, ovens, etc. where pipework is concealed by overlying non-asbestos insulation, Inspection of pipework has been restricted primarily to the insulation visible.

Areas of insect and animal infestation, including areas with animal excreta

We have not inspected any areas or surfaces that, prior to investigation, require the removal of animal excreta, carcasses and other such biological hazards.

Sampling

Samples have not been taken where the act of sampling would endanger the Surveyor(s) or affect the functional integrity of the item concerned. For example, fuses within electrical boxes, gaskets, fire doors, ropes associated with heating, glazing or power plant, etc.

Sample/s have been taken of materials suspected to be asbestos in the building, to the requisite density only.

Bulk samples have been taken from all materials which, upon visual inspection, appeared likely to contain asbestos.



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RISK ASSESSMENT

Risk assessment covers two areas:

- o **Material Risk Assessment:** Material risk assessment relates directly to the material and its current condition.
- o **Priority Risk Assessment:** Priority risk assessment relates to the material (risk assessment) within its environmental surroundings. It takes into account further factors such as occupancy levels and maintenance activity in order to produce a risk figure.

A more detailed explanation of each is available in the following sections.

Material Risk Assessment

The four main parameters which will determine the amount of fibres released from an ACM when subject to a standard disturbance are:

- o product type
- o extent of damage or deterioration
- o surface treatment
- o asbestos type

Each parameter is scored as: High = 3, Medium = 2 or Low = 1; two categories also allow a nil score. The value assigned to each of the four parameters is added together to give a total score of between 2 and 12.

Presumed or strongly presumed asbestos containing materials are scored as Crocidolite (3), unless analysis of similar samples from the building show a different asbestos type, or if there is a reasoned argument that another type of asbestos was almost always used.

An overview of the risk categories can be seen in the following table.

Score	Comments
>10	High Risk Such items should be regarded as high risk, with a significant potential to release fibres if disturbed
7 – 9	Medium Risk
5 – 6	Low Risk
4 or less	Very Low Risk



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Examples of scoring for each parameter are given in the table below.

Material Assessment Algorithm		
Sample Variable	Score	Examples of scores
Product type (or debris)	1	Asbestos reinforced composites (plastics, resins, mastics, roofing felts, vinyl floor tiles, semi - rigid paints or decorative finishes, asbestos cement etc.).
	2	Asbestos insulating board, millboards, other low density insulation boards, asbestos textiles, gaskets, ropes and woven textiles, asbestos paper and felt. Asbestos insulating board, millboards, other low density insulation boards, asbestos textiles, gaskets, ropes and woven textiles, asbestos paper and felt.
	3	Thermal insulating (e.g. pipe and boiler lagging), sprayed asbestos, loose asbestos, asbestos mattresses and packing
Extent of damage/ deterioration	0	Good condition: no visible damage.
	1	Low damage: a few scratches or surface marks; broken edges on boards, tiles, etc.
	2	Medium damage: significant breakage of materials or several small areas where material has been damaged revealing loose asbestos fibres.
	3	High damage or de-lamination of materials, sprays and thermal insulation. Visible asbestos debris.
Surface treatment	0	Composite materials containing asbestos: Reinforced plastics, resins, vinyl tiles.
	1	Enclosed sprays and lagging, AIB (with exposed face painted or encapsulated), asbestos cement sheets etc
	2	Unsealed AIB, or encapsulated lagging and sprays.
	3	Unsealed lagging and sprays
Asbestos type	1	Chrysotile
	2	Amphibole asbestos excluding Crocidolite.
	3	Crocidolite.
Total		

'High' Risk Category

Materials in the 'high' category require **urgent** consideration. Factors to be taken into account include future use of the building, company policy and available finance. The following options may be appropriate:-

- o Complete removal.
- o Encapsulation, sealing or other protection including marking with appropriate warning labels.
- o Decontamination works.
- o Close monitoring of condition and potential for persons to be exposed to airborne asbestos fibres. (These may involve air sampling adjacent to the material to determine whether airborne asbestos fibres are being produced).

'Medium' Risk Category

The condition of any material in the 'medium' category requires regular monitoring and a programme of management. Encapsulation or removal may well be appropriate in the medium to long term.

'Low' Risk and 'Very Low' Risk Category

'Low' risk and 'Very Low' risk category materials are generally of a cement, resin or plastic based material and are not considered to cause any immediate concern as these are unlikely to present any significant risk under reasonably foreseeable circumstances. Periodic condition monitoring under a management regime is advisable.



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Priority Risk Assessment

In addition to that identified by the 'material assessment' score, consideration must also be given to the other users activities in and around the building. This Duty Holders Priority Assessment method and score is detailed in the HSE guidance A Comprehensive Guide to Managing Asbestos in Premises (HSG227). This score is added to the HSG264 Material Assessment Score. The higher the Total Risk Score, the greater the risk of exposure to occupants.

The priority risk assessment looks at the likelihood of someone disturbing the ACM. The factors taken into account are listed below:

Factor	Comments
Maintenance activity	Type of maintenance and frequency of maintenance
Occupant activity	Main activity and Secondary activities
Likelihood of disturbance	Location, accessibility and extent/amount
Human exposure potential	Number of occupants, frequency of use of the area and average time area is in use

This survey does not provide a "Priority" risk assessment.

The responsibility for such risk assessments being conducted is that of the Duty holder responsible for the property concerned. CWE Services Ltd can assist with the implementation and auditing of risk management systems on the client's behalf although this does not fall within the scope of our UKAS Accreditation. For further assistance and technical advice, please contact a CWE Technical Manager.



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RECOMMENDATIONS

The following risk categories provide the three classifications of risk used within this survey. In general: **The higher the number the higher the risk.**

The recommendation given against each recorded material is derived from the material assessment for each recorded instance of asbestos and the initial risk assessment made by the Surveyors during the survey. Details of the scoring system utilised can be found in the previous section.

The recommended actions have been confined to a limited number of key actions. They can be seen in the following table.

Recommendation	Comments
Remove	Removal of asbestos containing materials is recommended on the basis that its condition and location could result in exposure to persons, spread of asbestos, or release to the environment.
Repair / Encapsulate	Repair or complete encapsulation is recommended as an alternative to removal, where reasonably safe and possible to do so.
Environmental Clean	Recommended where contamination from existing or removed asbestos containing materials could result in exposure, spread, or release of asbestos into the environment.
Air Monitoring	Recommendations where the risk of exposure of persons to airborne asbestos fibre may be or may have been possible, and determination of such exposure is warranted.
Restrict Access	Access to be restricted to personnel working under controlled circumstances, with protection where determined.
Prohibit Access	Prohibit access to all personnel pending remedial action.
Manage in accordance with current asbestos legislation	Management of asbestos containing materials is recommended on the basis that its condition and location would not easily result in exposure to persons, spread of asbestos, or release to the environment.

Where the recommended action for a material is to encapsulate or label and manage in situ, the client should be aware that these materials **must** be removed prior to any works or activity likely to cause disturbance to the material. A risk assessment should be made as part of the management regime in advance of any planned works, maintenance or similar.

Any activity involving the removal, encapsulation or disposal of licensable asbestos containing materials must be done in accordance with the provisions of The Control of Asbestos Regulations 2012.

The client should be aware that the findings of this report do not constitute either a full risk assessment or a management plan.

Where any doubt may exist regarding management measures to be implemented, then either the most cautious route should be adopted, or more detailed risk assessment undertaken. CWE Services Ltd can assist with the implementation and monitoring of management systems on the client's behalf. For further assistance and technical advice, please contact a CWE Technical Manager.



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DUTY TO MANAGE ASBESTOS

Regulation 4 of The Control of Asbestos Regulations 2012, prescribes duties that must be complied with when managing the risk from asbestos in non-domestic premises. Under Regulation 4(3) duty holders must ensure that a suitable and sufficient assessment is made to determine whether asbestos is present or liable to be present in a premise. During such an assessment, Regulation 4(5) states that account should be taken of any plans, the age, and other relevant information about the building.

Regulation 4(4) requires reasonable steps to be taken when making the assessment, and the condition of any asbestos present or assumed to be considered.

Regulation 4(10) states that measures must be taken to:

- a. Review and revise the management plan.
- b. Implement the measures specified in the plan.
- c. Record such implementation.

The client or duty holder is wholly responsible for implementing measures or management of asbestos identified or presumed within the premises, and reviewing the plan as under Regulation 4(10).

We would recommend that a full risk assessment, including priority assessment, is carried out to the requirements of HSG 227 – A Comprehensive Guide to Managing Asbestos in Premises – as issued by the Health and Safety Executive. On completion of a risk assessment, a plan to manage asbestos can then be prepared.

Monitoring the condition of identified asbestos, containing materials is recommended at least every six months to a year, or at shorter intervals as advised, to enable compliance with regulation 4 (9) of The Control of Asbestos Regulations 2012.

CWE Services Ltd can assist with the preparation and implementation of such a plan to enable full compliance with the regulations. For further assistance and technical advice please contact a CWE Technical Manager.



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SITE PLANS



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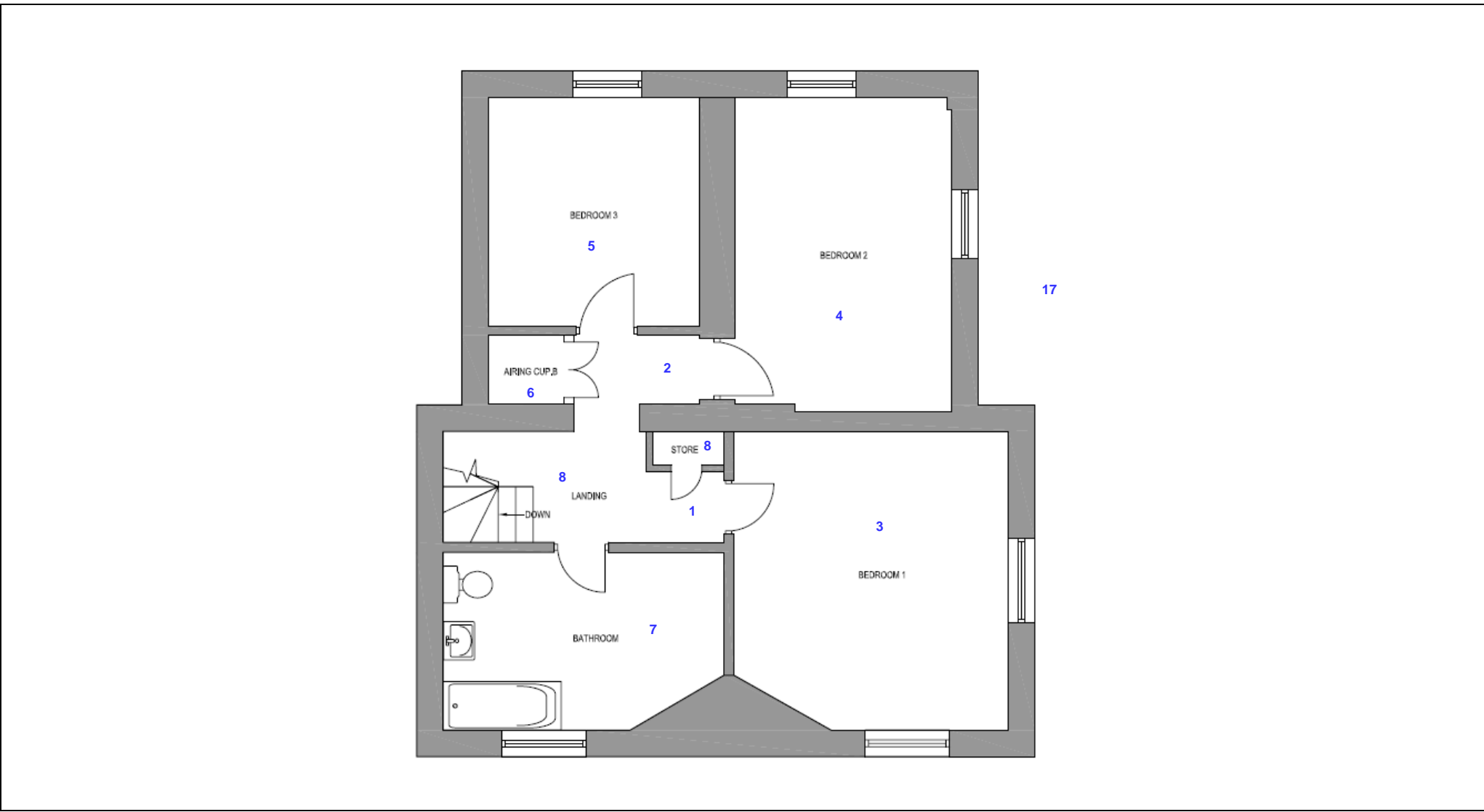


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NOT TO SCALE

ALL LOCATIONS ARE APPROXIMATE

THIS SITE PLAN SHOULD BE READ IN CONJUNCTION WITH THE FULL ASBESTOS SURVEY REPORT

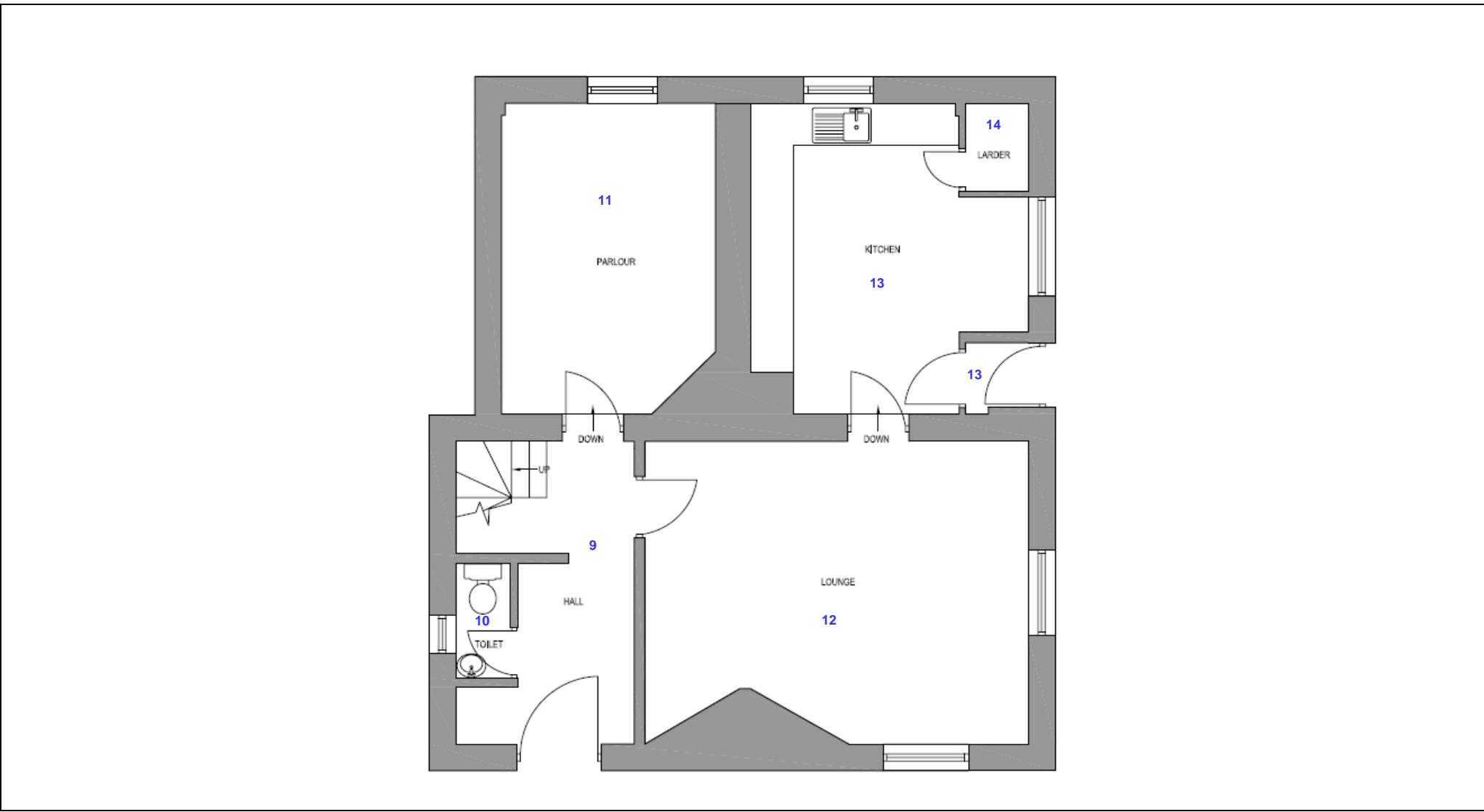


Client :	Ridge and Partners LLP	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA	Level :	Ground Floor	SITE PLAN Page 2 of 3
Report Ref :	J002724		Area :	All Areas	

NOT TO SCALE

ALL LOCATIONS ARE APPROXIMATE

THIS SITE PLAN SHOULD BE READ IN CONJUNCTION WITH THE FULL ASBESTOS SURVEY REPORT

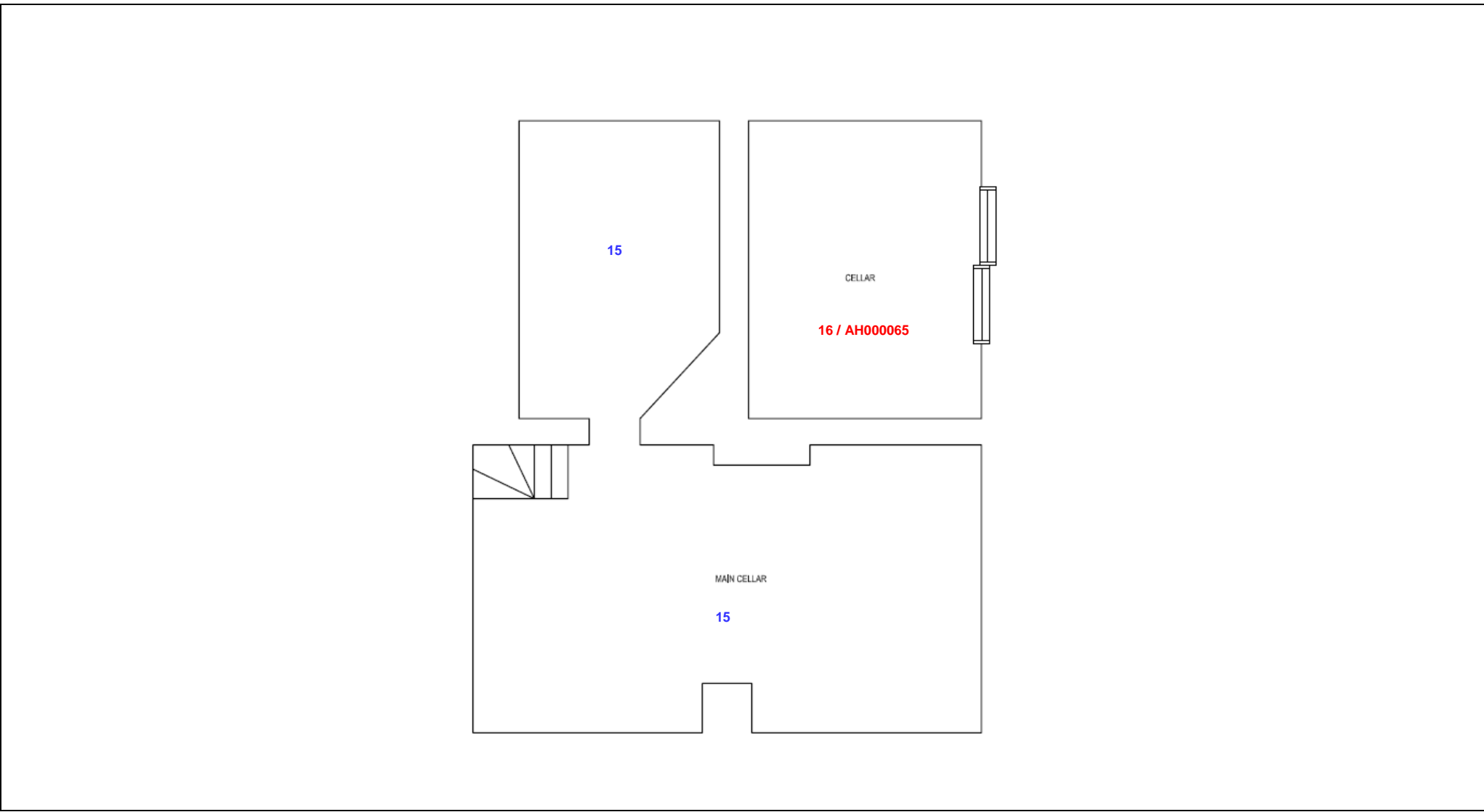


Client :	Ridge and Partners LLP	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA	Level :	Basement	SITE PLAN Page 3 of 3
Report Ref :	J002724		Area :	All Areas	

NOT TO SCALE

ALL LOCATIONS ARE APPROXIMATE

THIS SITE PLAN SHOULD BE READ IN CONJUNCTION WITH THE FULL ASBESTOS SURVEY REPORT



Key (Item/ Sample Numbers) : <div>Positive or Presumed Items</div> <div>Non Asbestos</div> <div>No Access</div>	Limitations of reported information :- The information contained within this report of the locations of asbestos containing materials (ACMs) should not be treated as either exhaustive or definitive. It should always be assumed that there may be other ACMs present, hidden or undetected within the fabric of the building. Further investigations may be necessary when carrying out works likely to disturb the fabric of the building.
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Section G

Client	Ridge and Partners LLP
Site Ref	N/A
Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Survey Date	1st November 2018
Report Reference	J002724

Certificate of Analysis



CWE Services Limited
The Barn, Oak Farm
Weston Road
Congresbury
North Somerset
BS49 5EB

Tel : 0871 2000 900
enquiries@cwegroup.co.uk
Company Registration No. 4070169
Document Ref : ID031.V4



Section G

Client Ridge and Partners LLP
 Site Ref N/A
 Site Address 147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
 Survey Date 1st November 2018
 Report Reference J002724

Ground Floor
 Sycamore Court
 North Leigh Business Park
 North Leigh
 Oxfordshire, OX29 6SW

Tel: 01993 868636
 www.asbestoslabs.co.uk



CERTIFICATE OF ANALYSIS FOR ASBESTOS FIBRES

Report Number: ALS/J031133

Client	CWE Services Ltd	Attention	Jack Bobruk
Client Address	The Barn, Oak Farm, Weston Road, Congresbury, North Somerset, BS49 5EB		
Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA		
Site Ref	J002724 / 23087/MC	No. of Samples	1

Date Received	06/11/2018	Date of Analysis	07/11/2018	Report Issue Date	07/11/2018
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Samples of material(s) [detailed below] have been examined to determine the presence of asbestos fibres, using Polarised Light Microscopy together with dispersion staining based on the HSE's guidance document HSG248 and Asbestos Laboratory Services documented method. If samples have been delivered to the laboratory, the site address and sample location is reported as provided by the client. Asbestos Laboratory Services are not responsible for the accuracy or competence of the sampling by third parties. Under these circumstances Asbestos Laboratory Services cannot be held responsible for the interpretation of the results shown. Opinions and interpretations are outside the scope of the UKAS accreditation. All entries under 'Fibre Type Detected' that contain (*) indicate that the sample was found to be deviating from policies defined in document TPS63 (UKAS Policy on Deviating Samples). As a result, the test result(s) may be invalid.

The Determination of Asbestos Content Report shall not be reproduced except in full, without written approval of the laboratory.
 (V2), or subsequent "V" numbers, after the report number signifies that the original certificate (or previous amended certificate) has been replaced.

Lab Ref.	Client Sample Number	Sample Location	Sample Description	Fibre Type Detected
BS140913	AH000065	Z-Sub Level 1, Cellar, To Ceiling	High Level Panels	Chrysotile + Amosite

KEY – FIBRE TYPE DETECTED

NADIS = No Asbestos Detected in Sample
Amosite = Brown Asbestos
Anthophyllite, Tremolite & Actinolite = Uncommon asbestos fibre types
Chrysotile = White Asbestos
Crocidolite = Blue Asbestos

Note: All samples will be retained for a minimum of six months.

Analysed By	Peter Timms
Analyst Signatory	

Approved By	Wai-fung Kuet
Approver Signatory	

ALS14A

Issued by: Quality Manager

Page 1 of 1

Issue Date: 11/09/2018

Issue No. 5



CWE Services Limited
 The Barn, Oak Farm
 Weston Road
 Congresbury
 North Somerset
 BS49 5EB

Tel : 0871 2000 900
 enquiries@cwegroup.co.uk
 Company Registration No. 4070169
 Document Ref : ID031.V4



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Appendix A

Client	Ridge and Partners LLP
Site Ref	N/A
Site Address	147 Thames Side, Staines-upon-Thames, Middlesex, TW18 2JA
Survey Date	1st November 2018
Report Reference	J002724

United Kingdom Accreditation Service

ACCREDITATION CERTIFICATE



INSPECTION BODY
No. 0156

CWE Services Ltd

is accredited as a Type C body in accordance with the recognised International Standard ISO/IEC 17020:2012
Conformity assessment – Requirements for the operation of various types of bodies performing inspection.

This accreditation demonstrates technical competence for a defined scope as detailed in and at the locations
specified in the schedule to this certificate.

The schedule to this certificate is an essential accreditation document and from time to time may be revised and
reissued by the United Kingdom Accreditation Service. The most recent issue of the schedule of accreditation,
which bears the same accreditation number as this certificate, is available from the UKAS website
www.ukas.com

This accreditation is subject to continuing conformity
with United Kingdom Accreditation Service requirements. The absence of a schedule on the UKAS website
indicates that the accreditation is no longer in force.

A handwritten signature in black ink, likely belonging to the Accreditation Manager of the United Kingdom Accreditation Service.

Accreditation Manager, United Kingdom Accreditation Service

Initial Accreditation date
31 October 2001

This certificate issued on
26 March 2014

UKAS is appointed as the sole national accreditation body for the UK by The Accreditation Regulations 2009 (SI No 3155/2009) and
operates under a Memorandum of Understanding (MoU) with the Department for Business, Innovation and Skills (BIS).






CWE Services Limited
The Barn, Oak Farm
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North Somerset
BS49 5EB


Tel : 0871 2000 900
enquiries@cwegroup.co.uk
Company Registration No. 4070169
Document Ref : ID031.V4



Health and Safety File

Project Name:	Penton Hook Cellar Asbestos Removal
Date of Works:	w/c 20/3/2023 3 days
Work Carried Out	<p>Works were undertaken at Environment Agency, Penton Hook Lock House, 147 Thames Side, Stains Upon Thames, TW18 2JA</p> <p>Work is to the basement ceiling and involves the licensed removal & disposal of nail fixed asbestos Insulating Board (AIB) panels 24m2 using handheld tools and shadow vacuum / light wetting techniques under fully controlled enclosure conditions. Following the removal works and final clean down, a 4-stage air clearance testing to be carried out by client appointed UKAS accredited laboratory.</p> <p>Isolation of heating system and electrics prior.</p>
Project Team	<p>CDM Client/Project Manager</p> <p><u>CDM Client</u></p> <p>Environment Agency, Kathryn Forster, Kathryn.forster@environment-agency.gov.uk, 07795 883547</p> <p>Principal Designer</p> <p>Jacobs(Callsafe), John Ellis, 2nd Floor Cottons Centre, Cottons Lane, London, SE1 2QG, john.ellis@callsafe-services.co.uk, 07388 994376</p> <p>Designer</p> <p>Not applicable</p> <p>Principal Contractor</p> <p>Amicus Environmental Ltd, Rob Morrison, Manager Amicus Environmental Ltd, rob@amicusenvironmental.co.uk, 01993 869320</p> <p>Contractor</p> <p>Vintec Environmental Management, Andy Stirrat, Building Research Establishment, Bucknalls Ln, Bricket Wood, Watford WD25 9XX</p>
As Built Records	None - clearance certificates included below
Service Information	<div>   </div> <p>23 02 21 Penton Hook - boiler isolation FW_Penton Hook Lock House electrical</p>
Important Health and Safety Information	<div>  </div> <p>Penton Hook Cellar Confined Space Asses</p>
O+M Manuals	Not applicable

Certification	 23 04 03 asbestos clearance certs photo  Windsor Waste Management WCL Exl  Biffa Redhill Permit.pdf
Photographs	Included in certification document above

HSF Handed Over	CDM Client, Kathryn Forster, Environment Agency	
		
	_____	_____ Signature
	Kathryn Forster	Name
	_____	Date 06/04/23
	Principal Designer:	
		
	_____	Signature
	John Ellis	Name
	03/04/2023	Date