



PORTERHOUSE

Tender Documents - Gardens Adjacent The Close

05.08.21

COVER

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TENDER EDITION

PRELIMINARIES

Close Gardens - Preliminaries

ITEM	DESCRIPTION	COST
	<p><u>The Employer</u></p> <p>Saffron Walden Town Council The Town Hall, Market Place, Saffron Walden, Essex CB10 1HR</p> <p><u>Project Name</u></p> <p>Adj Close Garden - removal of trees & foliage and the rebuilding of the retaining wall and railings.</p> <p><u>Project Location</u></p> <p>Adj Close Garden / corner of High Street / Castle Street, Saffron Walden.</p> <p><u>The Works Comprise</u></p> <p>Cutting down of a mature tree & foliage, the demolition & rebuilding of the retaining wall, new steps and railings including associated works.</p> <p><u>Form of Contract</u></p> <p>The Contract shall be the JCT Minor Works Building Contract 2016.</p> <p>Nothing contained within or implied in the contract and any other documentation contained or referenced within, shall relieve the contractor of his statutory rights and obligations under law.</p> <p>Upon entering into contract, the contractor is accepting responsibility for compliance with relevant statute law and no additional costs will be sought from the employer for compliance with same where the contractor has not made provision. Non-compliance with statutory law will be deemed non-compliance with the contract and the contract provision will be used to determine the course of action under the contract, but will not limit the contractor's responsibility under law.</p> <p>The term "employer" within the contract shall be deemed the same as the "employer" where the term is used within the contract documents.</p> <p>The term "consultant" within the contract shall be deemed the same as the "contract administrator" where the term is used within the contract documents.</p> <p><u>Contract Documents</u></p> <p>The contract documents will include the below listed documentation:</p> <p>The Contract (JCT), the priced Preliminaries, Materials and Workmanship, Schedules of Work, and Structural Engineer's design pack.</p> <p><u>Consultants</u></p> <p>Contract Administrator: Porterhouse, The Old Forge, London Road, Wendens Ambo, Essex CB11 4JL Contact: William Porch Email: william.porch@porterhouseconsult.com</p> <p>Structural Engineer: Banners Gate Structural Engineers ,10-11 Birmingham St, Halesowen B63 3HN; Contact Tony Ayliffe</p>	

Close Gardens - Preliminaries

ITEM	DESCRIPTION	COST
	<p><u>Health and Safety / Construction (Design) and Management Regulations 2015</u></p> <p>The Contractor will be responsible for providing a "Construction Phase Health and Safety Plan" to the Principal Designer who will confirm satisfactory development to allow works to commence on site. The Contractor will be responsible for updating and developing the Plan during the course of the works, as well as their statutory responsibilities under the Regulations.</p> <p>It is a requirement that the contractor provide explicit evidence of the person(s) responsible for advising on compliance with the regulations. For clarification, this shall be either an inhouse person who can provide third party accreditation of such, or the appointment of a consultant "Health and Safety Consultant" whose terms of engagement shall be provided to the contract administrator / principal designer as part of the contractor's Health and Safety Plan. Failure to make timely provision of this shall be deemed a breach under the contract including but not limited to the commencement of the works and any impact on the agreed completion date to which the remedy shall be as detailed within the contract.</p> <p>The project is not considered notifiable.</p> <p>In addition to the requirements imposed by the Construction (Design and Management) Regulations as described above, the Contractor is to comply with the Health and Safety at Work Act 1974 and the Building (Safety Health and Welfare) Regulations 1966 and subsequent amendments having effect under the Factories Act 1961 including the Construction Regulations 1966, COSHH Regulations 1988, and other all relevant and currently applicable EC directives, UK Acts of Parliament, and any other Regulations (Statutory or local) relevant to the carrying out of the works;</p> <p><u>Building Regulations</u></p> <p>Where applicable a building notice will be submitted by the contract administrator to building control. The details of the appointed building control officer will be provided to the contractor prior to commencement. The contractor is to submit notice of commencement to Building Control and make further notice as the works progress. Report any variations in the work required by building control to the contract administrator prior to undertaking the works (any variation will be dealt with under the provisions of the contract.)</p> <p><u>Site Management</u></p> <p>A suitably qualified person in charge is to be constantly on site and shall remain throughout the period of the contract. A site and / or mobile telephone will be provided on which the foreman can be contacted and a number supplied to the contract administrator. The contractor will also identify a senior member of staff to act as local resident liaison officer, to conduct and maintain communications with all local building occupants, and respond to any queries or complaints which may be put forward.</p> <p><u>Storage & Accommodation on Site</u></p> <p>The Contractor may use the extent of the site for the purposes of storage and accommodation. The responsibility for assessing the of suitability of services shall be assessed by the contractor and allowed for. Any additional provision of welfare services, temporary services, accommodation, and the like shall be assessed and provided by the Contractor.</p>	

Close Gardens - Preliminaries

ITEM	DESCRIPTION	COST
	<p><u>Asbestos Survey</u></p> <p>No asbestos survey is provided as part of this tender documentation. If asbestos materials are found present, the contractor is to notify the client and a survey, or an inspection will be undertaken. Following the issue of a report which recommends the work to be undertaken, the contractor shall provide a quotation to the contract administrator and shall await further instruction from the contract administrator before proceeding.</p> <p><u>Hoardings, Fences and Screens</u></p> <p>The Contractor shall make provision for the installation of temporary protection and hoardings to the site and shall maintain throughout the period of the works and clear upon completion.</p> <p><u>Co-ordination of Sub-Contractors, Suppliers</u></p> <p>The contractor is to be responsible for supervision and administration of all sub-contractor's and supplier's and is to arrange and monitor a programme for each sub-contractor, supplier, local authority and statutory undertaker and obtain and supply information as necessary for the co-ordination and timely completion of the works. The contractor is to promptly obtain and submit to the contract administrator duplicate drawings of sub-contractor's and supplier's works, including builder's work details. No nominated or named sub-contractors are proposed as part of this contract. The Contractor will be required to provide names and details of all domestic sub-contractors to be used to the CA before works start. The contractor will be responsible for ensuring the competence / compliance of all sub-contractors. This includes ensuring they have adequate insurances to comply with all aspects of the contract.</p> <p><u>Progress Meetings & Contractors Programme / Progress Reports</u></p> <p>The contract administrator will call such meetings as he considers necessary. The contractor (including his contract manager and site foreman) shall arrange and attend the meeting and shall arrange for sub- contractors to attend when required. The frequency of these meetings will be at the contract administrator's discretion, but will be assumed to be weekly for regular site inspections, and every four weeks for a formal progress meeting (to which a representative of the employer may also be invited). The contractor is to provide progress statements/reports to the contract administrator at least two working days before each formal monthly meeting detailing progress in relation to programme, including an updated bar chart.</p> <p><u>Maintenance of Specific Temperature and Humidity Levels</u></p> <p>Provide all temporary equipment, fuel, attendance and protection required for the proper drying out of the works including the control of humidity. All materials must be properly stored to ensure protection in respect of temperature and moisture content. Fixing shall only be undertaken in suitable conditions (e.g. avoiding frost & damp, maintaining correct moisture content & ambient conditions for timber.)</p> <p><u>Use of Existing Facilities</u></p> <p>The Contractor will not be permitted to use the town's existing welfare facilities. The contractor shall allow for all welfare facilities, including a temporary w.c with temporary connections to the permanent drainage system.</p> <p><u>Protection of Site Elements</u></p> <p>The existing site and neighbouring buildings shall be protected from damage arising out of the contractor being on site to complete the works. Provision of temporary protection shall be assessed and allowed for by the contractor;</p>	

Close Gardens - Preliminaries

ITEM	DESCRIPTION	COST
	<p><u>Security/Safety/Protection</u></p> <p>The Contractor shall make suitable security provisions against access and damage by unauthorised persons as far as is reasonably expected for the nature of the works. This shall include any temporary fencing as well as responsibility for ensuring the site is secure outside of working hours.</p> <p><u>Fire Prevention</u></p> <p>The Contractor shall undertake all reasonable provision as far as their responsibility under the contract and common law. This shall include the provision of temporary prevention and portable firefighting equipment.</p> <p><u>Maintenance and Cleaning the Site</u></p> <p>The Contractor is regularly to remove from site all unrequired materials, debris and rubbish and is to always keep the works and the site clean and tidy. Thoroughly protect by means of dust sheets, tarpaulins, temporary timbering, softwall boarding and polythene sheeting where appropriate the whole of all finished work. Repair or replace or clean, if necessary, any damaged work/property and leave perfect on completion. Any work considered by the contract administrator as unacceptable due to improper or insufficient protection shall be replaced at the contractor's expense.</p> <p>The contractor is, on completion, to clean the works thoroughly inside and out, flush (and if necessary expose, rod and jet) all drains and gullies, touch up decorations, remove temporary markings, coverings and protective wrappings (unless otherwise instructed) and leave the whole of the works and the site clean and in a condition ready for handover to the employer.</p> <p><u>Pricing & Unpriced Items</u></p> <p>Costs relating to items which are not priced will be deemed to have been included elsewhere, and no additional payments will be made in respect of such works. Where and if any such items are not priced and are omitted from the contract, the contract administrator will make an appropriate deduction from the contract sum. All items of work will be deemed to include for the supply and fixing / installation of all materials required to complete the item, whether or not supply is specifically stated in the item.</p> <p>Where the price of work is described as "provisional sum" the contractor will provide either a fixed cost or estimate of anticipated price to the contract administrator for their acceptance prior to commencing that element of the work (including ordering or pre-survey where cost commitment is required.)</p> <p>The term "prime cost" shall be deemed the cost to the contractor to purchase the relevant element or works item. The contractor shall demonstrate associated costs to the contract administrator for acceptance and approval prior to placing orders. The contractor should make provision for their additional profit, overheads, and the base material cost within the cost submitted for approval.</p> <p><u>Emergency Contacts</u></p> <p>The Contractor shall provide a 24-hour contact and call out service for any emergency works under their control for the duration of the contract. This must be a permanently manned telephone line, not an answer phone, and the number must be provided to all parties before commencement.</p>	

Close Gardens - Preliminaries

ITEM	DESCRIPTION	COST
	<p><u>Scaffolding/Hoardings/Lighting</u></p> <p>The contractor shall provide all scaffolding, access equipment, hoardings and lighting required to complete the works. The contractor is responsible for all associated costs including obtaining all necessary licenses and approvals to carry out the works.</p> <p><u>Valuations</u></p> <p>The Contractor shall prepare and present to the contract administrator periodic interim assessments of the value of works completed at periods of not less than 4 week intervals following the commencement of the works. Within 10 working days of presentation, the contract administrator will accept or reassess the value and issue a certificate for that sum to the employer and the contractor. The contractor shall then issue their invoice to the employer. The sum shall be payable within 30 days of the employer's receipt of the invoice.</p> <p>The above valuations shall be subject to the provision of a 5% retention of the gross sum of the valuation. This retention sum shall be reduced to 2.5% upon the completion of the works on site and as acknowledged as such by the Contract Administrator in writing. The final sum shall be released back to the Contractor no earlier than 3 months following the completion of works on site and once any notified remedial action by the contractor and due under the contract is completed to the satisfaction of the contract administrator.</p> <p><u>Inclusive Pricing of Works</u></p> <p>All necessary tools, scaffolding, vehicles and appliances, and everything also required for the proper execution of the work are to be supplied by the contractor.</p> <p>The contractor is to allow for all costs in respect of (but not limited to) the following:</p> <ul style="list-style-type: none"> • Plant, tools, and vehicles • Scaffolding, trestles, platforms, and the like • Site administration and security • Transport for workpeople • Protecting the works from inclement weather • Water for the works including temporary storage, distribution and water company's charges • Lighting and power for the works including temporary distribution, lamps, and the electricity authority's charges • Temporary accommodation for use by the contractor • Temporary telephones for use by the contractor • Traffic regulations • Safety, health and welfare of workpeople • Disbursements arising from the employment of workpeople • Maintenance of public and private roads • Removing rubbish, protective casings and coverings and cleaning the works on completion • Drying and controlling and humidity of the works • Temporary fencing, hoardings, screens, fans, planked footways, guardrails, gantries, sign boards and similar items • Control of noise pollution and all other statutory obligations 	

MATERIALS AND WORKMANSHIP

Close Gardens - Materials Workmanship

ITEM	DESCRIPTION	COST
	<p>All works must be executed by properly skilled and experienced persons equipped with all necessary tools, plant and equipment. Workmanship shall, as a minimum, comply with the recommendations of the current relevant British Standards, including BS 8000 and British Standard Codes of Practice where such exists and/or the workmanship clauses contained within the current edition of the National Building Specification. Where there is a conflict in standards between these documents or any other workmanship standards laid down within any of the documents and/or publications referred to within these requirements, the higher standards shall apply. In any case, workmanship shall be in accordance with good building practice and of a standard suitable for the purpose of the work stated in, or reasonably inferred from the contract documents.</p> <p>All the components of a particular element of the works must insofar as is possible, come from the same manufacturer. The use of different manufacturers to provide identical products but for different elements of the works is not allowed.</p> <p>Materials and components, where no other higher standard is stated elsewhere within these documents shall, as a minimum, comply with the relevant and current British Standards. All materials shall be obtained from approved manufacturers and suppliers and properly stored and protected from water, frost and inclement weather. Any damage or defective materials shall not be incorporated in the works but removed from site and replaced with sound.</p> <p>All materials shall be installed as per the manufacturer's recommendations. This shall include all necessary preparation, regardless of whether this is included within the measured works sections.</p> <p>All materials shall be as specified unless express permission for the use of alternative products / materials is granted by the contract administrator.</p> <p>Where materials / products are specified as "or equal" the contractor will be required to provide reasonable information to the contract administrator that the proposed alternative materials / products are acceptable as equal prior to installation. The contract administrator will have the final say on acceptance of alternative materials / products.</p> <p>For the sake of clarity, "equal" products shall be assessed on:</p> <ul style="list-style-type: none"> • Appearance (if applicable) • Integrity • General quality • Health and Safety; including designer's risk assessment (if applicable) • Procurement; provision of guarantees / warranties, design liability / restrictions (if applicable) <p>Unless the Contractor has specifically advised, the acceptance of alternative materials / products will be deemed not to have an increase in cost nor an increase on programme time.</p> <p>In proposing alternative materials / products, the contractor should note that this may incur an additional liability as a "designer" under the CDM Regulations.</p> <p>MATERIALS AND FINISHING SCHEDULE</p> <p>All materials and workmanship to be fit for purpose and meet relevant BS standards of performance, building regulations, BBA certificates, and material manufacturers specifications.</p> <p>PRIOR TO ORDERING ANY FINISHING MATERIALS THE CONTRACTOR IS TO SEEK CONFIRMATION FROM THE CONTRACT ADMINISTRATOR THAT THE CURRENTLY SPECIFIED MATERIALS ARE STILL AS REQUIRED</p>	

SCHEDULE OF WORKS

Close Gardens - Schedule of Works

ITEM	DESCRIPTION	COST
	<p>ENABLING WORK</p> <p>Prior to commencing any works, allow for the provision, and maintenance through the contract period, of suitable fencing to the perimeter of the site. Minimum provision to consist of 2m high weld mesh panels to meet the HSG 151 standard for protection of the public.</p> <p>Prior to commencing works, make necessary enquiries and obtain necessary permits for the placement of protective fencing, for the temporary location of any plant necessary for the works and for diversion or closure of footpaths / roads as necessary. The contractor will pay all fees and place all deposits as required to comply with this condition. THE EMPLOYER WILL NOT BE RESPONSIBLE FOR OBTAINING ANY ESSEX HIGHWAY PERMISSIONS.</p> <p>Prior to commencing any works, undertake a thorough investigation of any below ground services that may be present on and around the site area using a cable and pipe detector. Record and provide to the contractor administrator a drawn record of the services located identifying, type, location, and depth. Notwithstanding the findings of the site-based scan, make necessary enquires of the respective highways and local services providers as to any services present on and around the site. The contractor is to observe any "safe to dig" guidance provided.</p> <p>Prior to commencing any works, undertake a record survey of the site to identify the existing site boundaries, the retained / to be re-built features, step positions and provide a copy to the Contract Administrator.</p> <p>Obtain necessary permissions and carefully remove any street furniture / signs necessary for the undertaking of the works. Reinstate to same position upon completion.</p> <p>CLEARANCE OFF SITE</p> <p>Following completion of the enabling works, carefully cut back and down the trees within the site. All tree reduction and removal work to be undertaken by a suitably qualified arborist. Dispose of all risings from site; refer to planning permission granted ref: UTT/21/2129/TCA.</p> <p>Following removal of the trees above ground, allow to cut back the roots to the site boundary, i.e. cut at the site boundary so removal does not disturb surfaces outside of the site. Remove the steps and the substantial roots from the site and dispose.</p> <p>Cut down above ground and clear from site all remaining flora; refer to planning permission granted UTT/21/2129/TCA.</p> <p>DEMOLITION</p> <p>Carefully remove the existing estate style guard railing and set aside for further instruction by the contract administrator.</p> <p>Extra over to the above for disposal from site if required.</p> <p>Carefully take down brick retaining walls between the road and the site (wall to rear of site to be retained). Set aside all steps and copings for further instruction by the contract administrator.</p> <p>Extra over to the above for disposal from site.</p>	

Close Gardens - Schedule of Works

ITEM	DESCRIPTION	COST
	<p>GROUND WORKS</p> <p>Cut back surface (road) finishes to the extent of the new foundation trench as detailed within the structural engineer's design. NOTE: the face of the existing wall is to be the setting out position for the trench foundation. All setting out to be agreed with the contract administrator prior to works commencing.</p> <p>Excavate and rake back soil to allow the wall and steps to be re-built.</p> <p>Excavate the foundation trench to the extent detailed on the structural engineer's drawing. Allow for any necessary temporary support, protection, and dewatering. To the position of the existing gully on the public highway confirm with the contract administrator if any works are required to the gully to facilitate the works.</p> <p>Ensure that the trench is protected from collapse when open. This will include the provision of adequate protection and diverting traffic from the location of the trench.</p> <p>Pour new concrete foundation to the extent of the new wall as detailed on the structural engineer's drawings. Provide all necessary protection whilst curing.</p> <p>RETAINING WALL & STEPS</p> <p>Construct the new retaining wall as detailed on the structural engineer's drawings incorporating wall ties, weep holes etc. Provide sample bricks for selection by the contract administrator. Allow a PC Sum of £1,200.00 after MCD per 1000 for the supply of the bricks.</p> <p>Construct the base to the steps as per the structural engineer's drawings (finishes measured separately.)</p> <p>Supply and lay new reconstituted cast stone copings to wall including the stair returns. Provide sample bricks for selection by the contract administrator. Allow the PC Sum of £75.00 after MCD per meter run for the supply of the copings.</p> <p>To the newly prepared base, supply and lay reconstituted stone steps including riser backs and bull nose treads. Ensure all are laid to falls. All steps and riser backs are to be formed from single lengths, no joints. Allow the PC Sum of £250.00 after MCD per for the supply of a set of 1 riser and 1 tread.</p> <p>GUARDRAIL</p> <p>Supply purpose made matching guardrail to match existing. Allow the PC Sum of £150.00 per meter run. Full specification to be agreed with the contract administrator prior to works commencing on site. The fixing will be as detailed on the structural engineer's drawings. All old handrail not used must be returned to the Town Council in a clean condition.</p> <p>BACKFILLING & PLANTING</p> <p>To the internal face of the retaining wall, supply and backfill with clean granular fill as per the structural engineer's drawings.</p> <p>Supply and backfill the remaining ground with imported clean organic based topsoil, with the grade to suit the profile of the retaining wall. Allow for settlement and provide necessary temporary retention top soil whilst settling.</p> <p>Provide the provisional sum of £2,500.00 for planting / landscaping as may be further instructed by the contract administrator;</p>	<p>£ 2,500.00</p>

SUMMARY

Allow within this section a summary of all tender costs including all costs and activities that may reasonably be expected to carry out the works described within this tender document whether specifically described herein or not.

Close Gardens - Summary

ITEM	DESCRIPTION	COST
	<p>SUMMARY</p> <p>Preliminaries:</p> <p>Schedule of Works:</p> <p>TOTAL CONTRACT SUM (excluding VAT)</p> <p>The above is the total price submitted to complete the works (before adjustment of variation as applicable) and will be entered into the contract as the Contract Sum.</p> <p>Show here a provisional assessment of the value of VAT chargeable on the above sum:</p>	

APPENDIX A PROPOSED FORM OF CONTRACT

PROPOSED FORM OF CONTRACT & AMMENDMENTS

The Contract shall be the JCT Minor Works Building Contract 2016.

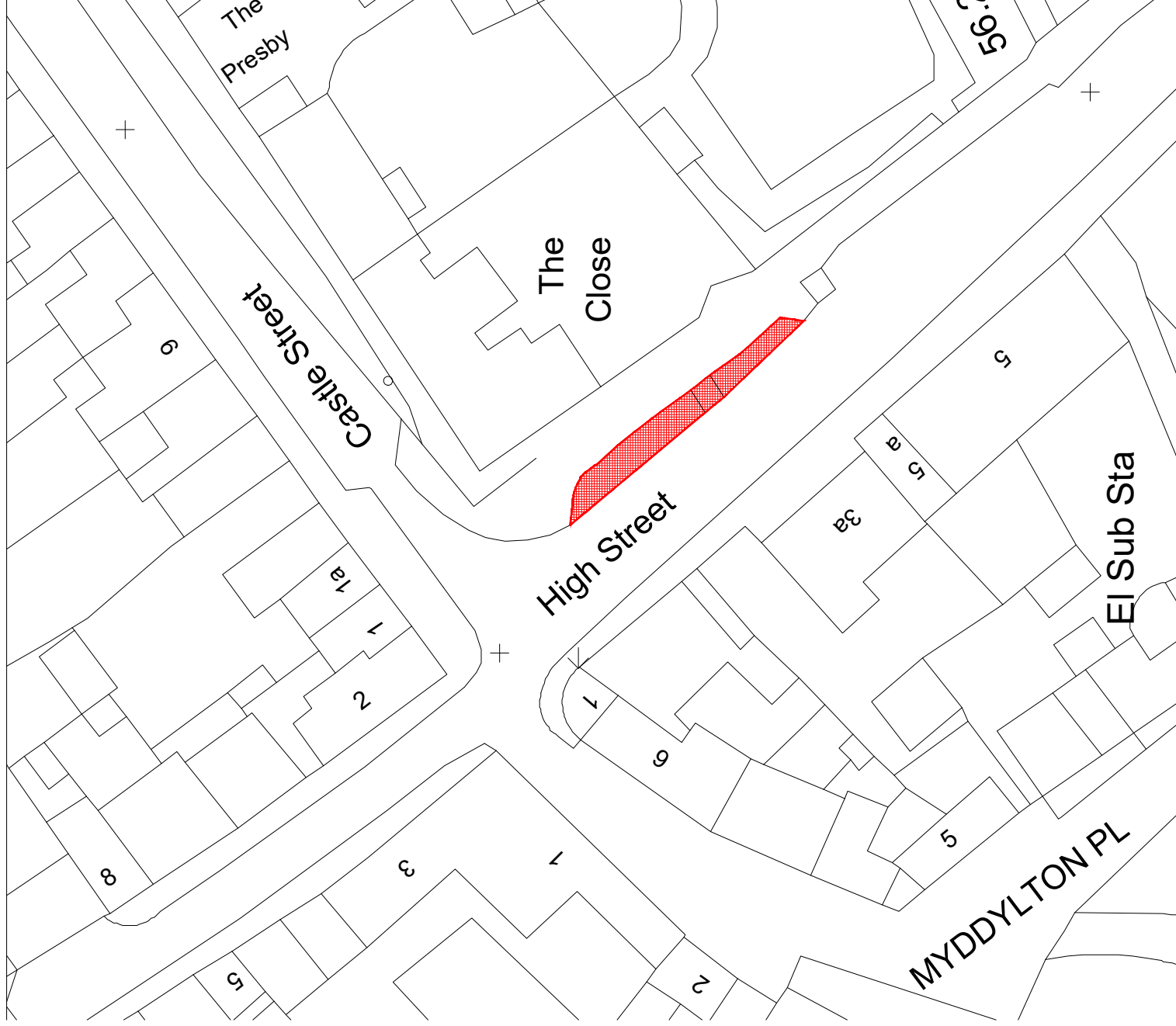
There are no proposed amendments from the standard form save as for the following:

Payment terms will be as detailed herein.

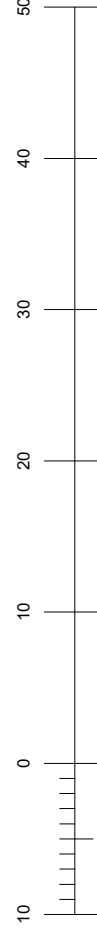
Liquidated damages will be £250 per week or part thereof

APPENDIX B STRUTURAL ENGINEER'S PACK

553600

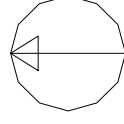


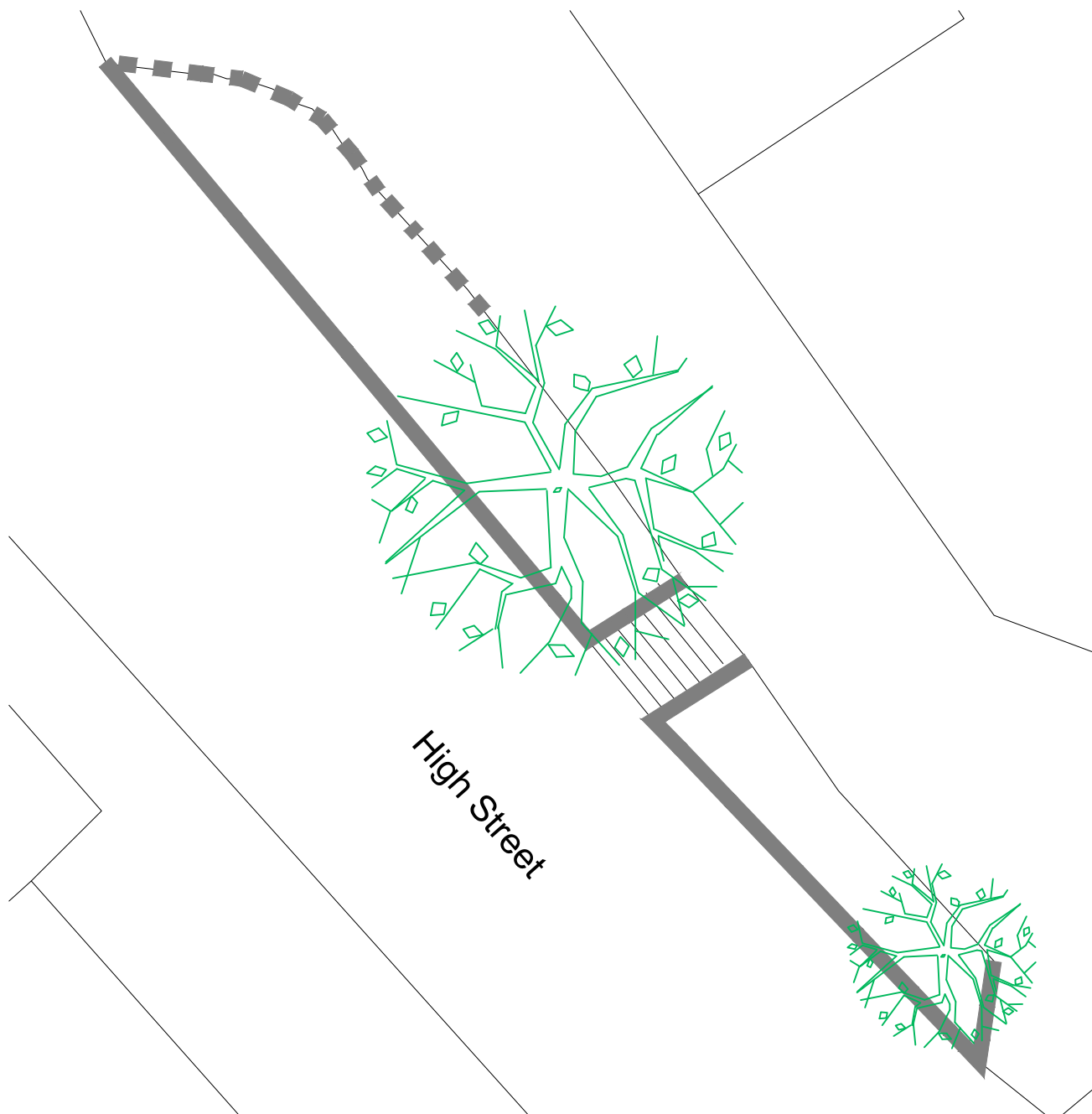
553600



Serial number: 218272

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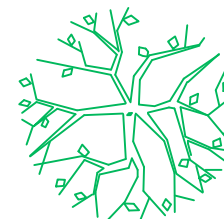




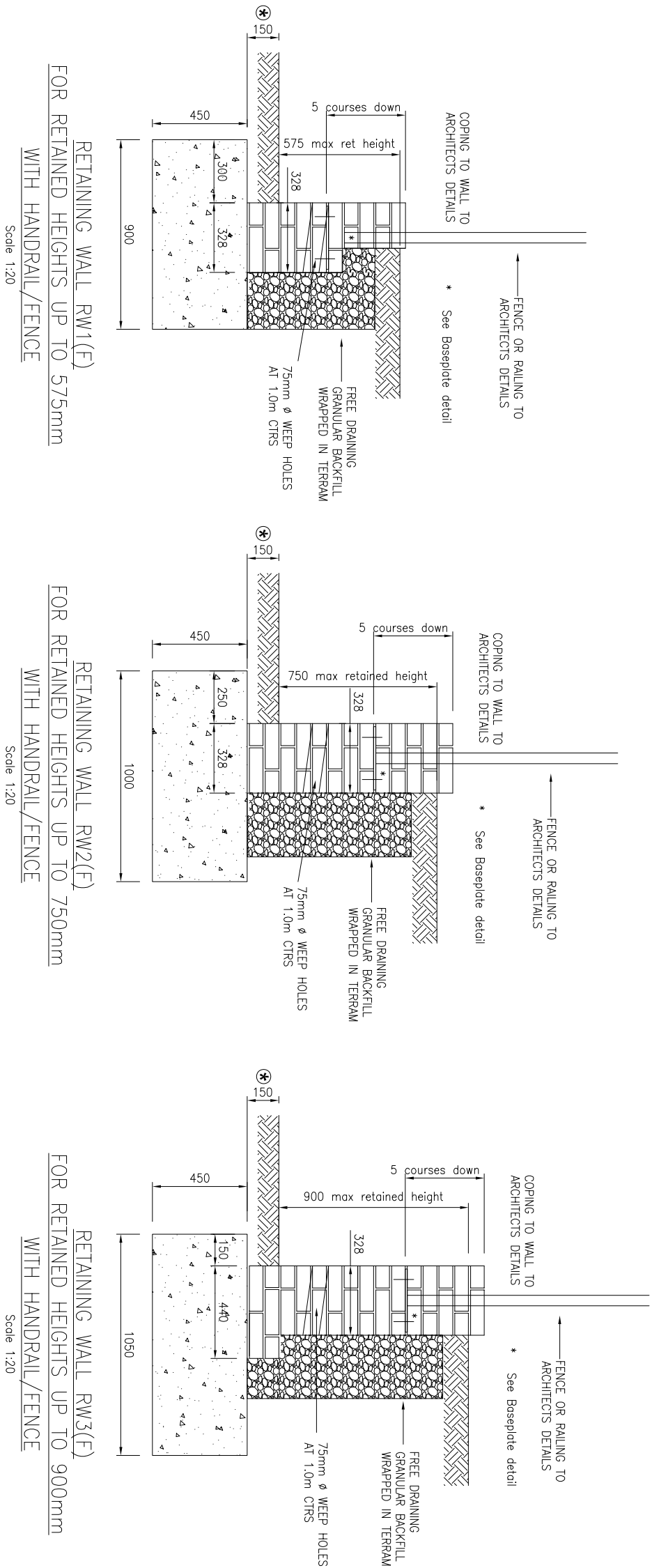
Wall only to be rebuilt from 1 course
below ground / 1 brick thick



Wall to be rebuilt inc foundation



Trees to be cut down



RETAINING WALL RW1(F)
FOR RETAINED HEIGHTS UP TO 575mm
WITH HANDRAIL/FENCE

RETAINING WALL RW2(F)
FOR RETAINED HEIGHTS UP TO 750mm
WITH HANDRAIL/FENCE

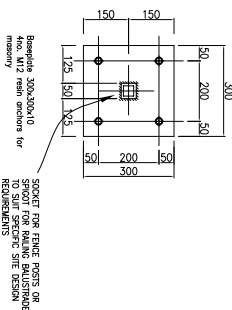
RETAINING WALL RW3(F)
FOR RETAINED HEIGHTS UP TO 900mm
WITH HANDRAIL/FENCE

Scale 1:20

Scale 1:20

Scale 1:20

⊗ DIMENSION FROM ROAD SURFACE TO TOP OF CONCRETE BASE TO BE CONFIRMED TO TAKE ACCOUNT OF THE DEPTH OF CARRIAGEWAY CONSTRUCTION REQUIRED




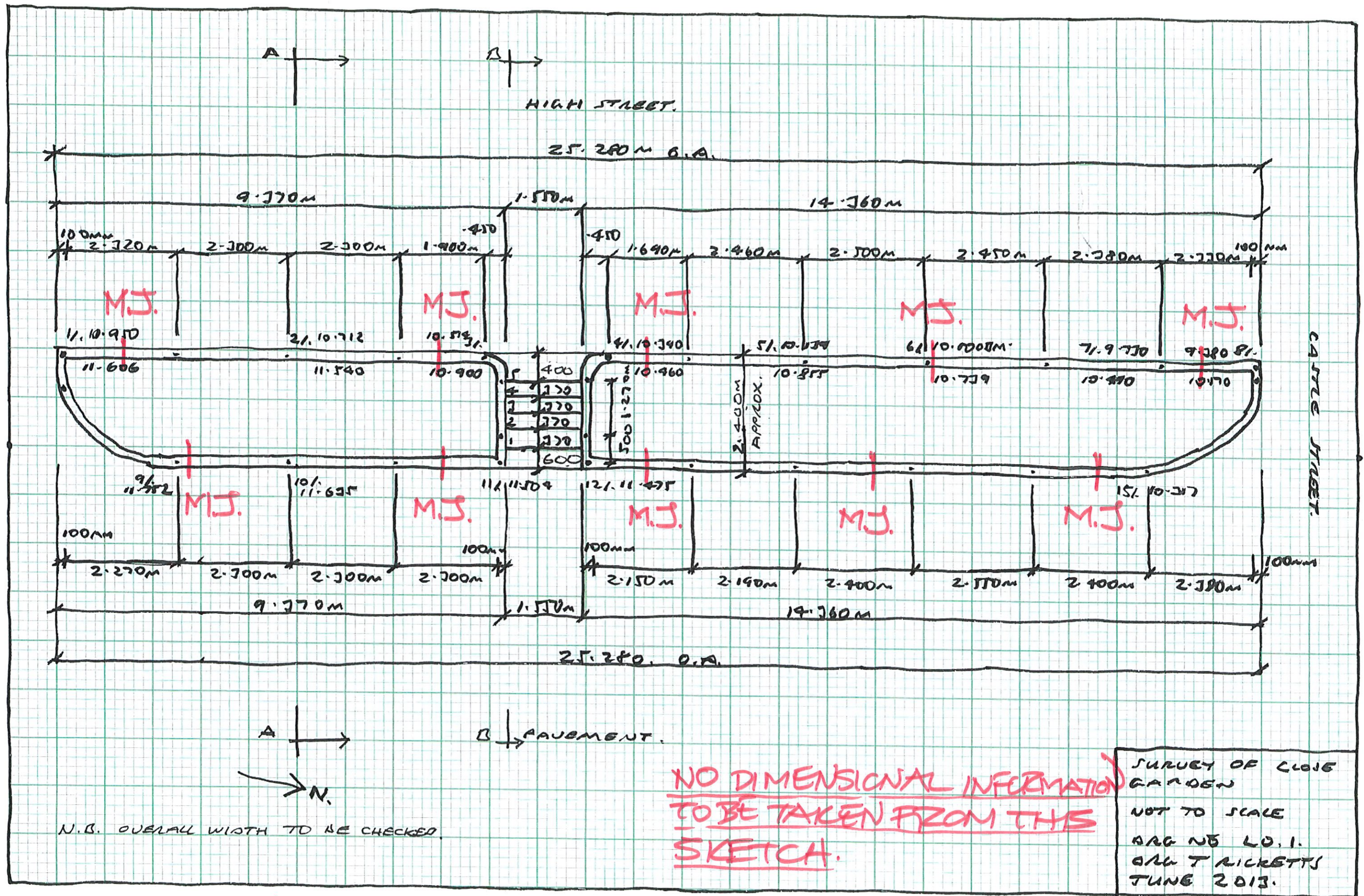
Baseplate detail

WALL TO BE CONSTRUCTED IN ACCORDANCE WITH CLAUSE 10.1.2.5 OF BS5628 PART 2, WITH THE CORRECT MASONRY CLASSIFICATION BEING USED TO SATISFY THE PLACING OF MASONRY IN EXTERNAL ENVIRONMENTS, AND WALL TIES TO BE PROVIDED IN ACCORDANCE WITH CLAUSE 10.4 OF BS5628 PART 2

CONCRETE TO BASE TO BE RC28/35 WITH 20mm MAX SIZE AGGREGATE.

HEALTH AND SAFETY NOTE
Imposed load behind walls to be limited to 5kN/m².
Particular consideration to be given
at construction stage when backfilling behind wall.
Mechanical rollers MUST NOT be used

Client	PORTERHOUSE CONSULT		
	Rev.	Description	Date By
	A	Further retained heights added to suit site conditions	20.07.21 JAA
Project	CLOSE GARDEN - HIGH STREET SAFFRON WALDEN		
	REPLACEMENT RETAINING WALL ADJACENT CARRIAGEWAY		
Title			
CIVIL, STRUCTURAL & ARCHITECTURAL DESIGN SERVICES			
10-11 Birmingham Street, Halesowen, West Midlands B63 3HN			
Tel: 0121 687 1500 Fax: 0121 687 1501			
E-mail: mail@bannersgate.com			
			
BANNERS GATE			
Scale	1:20	Drawn	TA
Date	May 2021	Checked	JAA
File	21103	Drawing	500 A



21103-SK1. INDICATIVE POSITION OF MOVEMENT JOINTS IN THE RETAINING / DWARF WALLS.

Calculation Sheet



BANNERS GATE
CIVIL, STRUCTURAL AND
TRANSPORTATION ENGINEERS

Project: **SAPRON WALDEN** Sheet Number: **SK2** of:

Project Number: **21103** Prepared by: **Jag** Date: **07/21**

Element: **GULLY DETAIL** Checked by: Date:

Data	Calculation	Results
	<p><u>CONSTRUCTION DETAIL</u> <u>AT EXISTING GULLY POSITION</u></p> <p>ELEVATION.</p> <p>ROAD</p> <p>CONC FOOTING STOPPED EITHER SIDE OF GULLY POSITION</p> <p>BRIDGE CREATED USING PRESTRESSED CONCRETE LINTELS BELOW GROUND LEVEL.</p> <p>ROAD</p> <p>DIAGRAMMATIC GULLY</p> <p>ELEVATION</p>	

PROFILE OF A TYPICAL BLOCKWORK

700mm O.A.

500mm

900mm

500

850 O.A.

250

100mm

100mm

PAVEMENT.

600mm
VARIES



500

850 D.A.

200

100mm

100mm

PAVEMENT.

SECTION THROUGH
STAIRCASE OF
GARDEN.
SCALE 1:20
ORG. NO. 405.
ORG. T. KICKETTS
JUNE 2013.

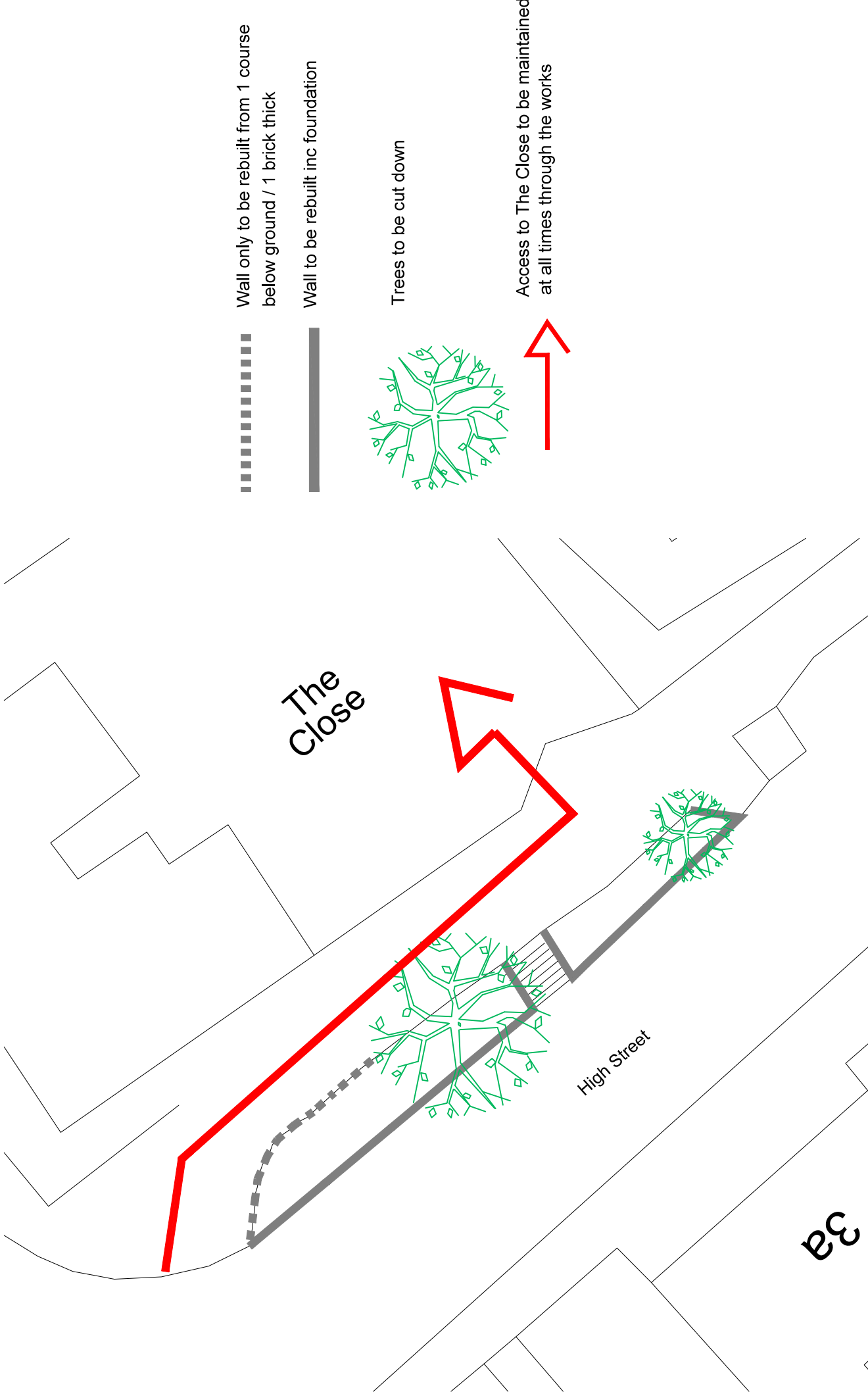
APPENDIX C DESIGNERS RISK ASSESSMENT

Close Gardens - Designers Risk Assessment

ITEM	DESCRIPTION	COST
	<p>DESIGNERS RISK ASSESMENT</p> <p>The below items have been identified as site and project specific risks associated with the proposed works to the site. In accordance with the CDM Regulations, the below are communicated as risks needing review, removal, or mitigation by the highlighted party.</p> <p>The below is not an exhaustive list of risks associated with the site or the works. The principle contractor must fulfil his duties under the CDM Regulations in identifying and communicating risks as well as ensuring that appointed sub-contractors and suppliers are made aware of any risks and fulfil their duties under the CDM Regulations.</p> <p>RISK ELEMENT 1</p> <p>RISK: Restricted and shared access to the site.</p> <p>EXISTING MITIGATION: The site is on the junction of a B-road crossroads to the edge of the town.</p> <p>PROPOSED MITIGATION: site fencing and hoarding, partial road closure as highways authority licensing requirements.</p> <p>RISK OWNER: Principle contractor.</p> <p>RISK ELEMENT 2</p> <p>RISK: Potential buried services.</p> <p>EXISTING MITIGATION: None.</p> <p>PROPOSED MITIGATION: Contractor to undertake enquiries of service providers and undertake surface CAT scans to identify and map detail prior to commencement.</p> <p>RISK OWNER: Principle contractor.</p> <p>RISK ELEMENT 3</p> <p>RISK: Collapse of structure / trenching adjacent road during the works.</p> <p>EXISTING MITIGATION: None.</p> <p>PROPOSED MITIGATION: Diversion of traffic to within a safe distance of the works and as agreed with the highway's authority.</p> <p>RISK OWNER: Principle Contractor.</p>	

APPENDIX D ACCESS REQUIREMENTS

The contractor is to maintain uninterrupted access to all neighbouring properties throughout the works and should allow for all costs associated with this requirement. Please see drawing over which highlights a known access route that will need to be maintained.



APPENDIX E FORM OF TENDER

LAND ADJACENT CLOSE GARDENS

**for
Saffron Walden Town Council**

FORM OF TENDER

To:

I/We having read the Conditions of Contract and the Specification and Drawings delivered to me/us do hereby offer to execute and complete the whole of the works described for the following Sum for

(£) (plus VAT at prevailing rate)

I/We undertake in the event of your acceptance to execute with you a Form of Contract embodying all the conditions and terms contained in this offer.

I/We understand that the cost of preparing this tender is to be borne entirely by the Contractor.

I/We agree that this is a wholly bona-fide tender and the tender price will not be divulged to any person or body before the time for the submission of the tender.

I/We agree that the Employer will observe the general principles contained in the JCT Tendering Practice Note 2017, Alternative 2.

I/We undertake to complete the Works within ____ calendar weeks.

I/We understand that the lowest or any tender will not necessarily be accepted.

I/We understand that this tender remains open for consideration for 90 days from the date fixed for the submission of tenders.

Dated this _____ day of _____ 2021

Name of Contractor _____

Registered Office _____

Signature of Contractor _____



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or email william.porch@porterhouseconsult.com