



Condition Survey Report

200004653397-Woodbridge Art Club



NPS Property Consultants
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Condition Survey Report**Scope of Survey**

The condition survey of this property comprised an assessment of the building structure, fabric, finishes, fixed furniture and fittings and external areas for the purpose of establishing current and future maintenance requirements for a period of 15 years from date of survey. The survey was a non-intrusive visual inspection and did not include tests of drainage systems or services. The surveyor will identify where further tests or investigations are required. Roof areas have been inspected from vantage points or where the roof structure or fabric could be safely viewed from a secured 3m ladder. Roof areas have only been accessed where suitable permanent edge protection was in place at the time of survey.

Survey Data

Survey results are reported for each block or building on the site and some buildings may be split into more than one block, for example, where there are significant differences in construction type or age within the same overall building. External areas are treated as blocks and will be referenced by block number X. Total condition costs for each block are summarised by element type.

Individual work or condition items are listed in the Detail of Prioritised Works section and include location reference, element and sub-element information.

Some detail items may also carry an additional category from Further Investigation Required; Fire Risk or Fire Precautions; Health and Safety; Energy and Environmental; Accessibility or Security.

Year for Work

The year for work is linked to Priority.

Cost Estimates

All costs are calculated at 1Q2022 prices and include an allowance for contractors' preliminaries. There is no allowance for VAT, professional fees or in-house management costs within the rates.

Programmed repairs are, in the majority of instances, costed on a 'like for like' replacement basis with no allowance for improvement except where it is necessary to upgrade an element at time of replacement to comply with current regulations e.g. replacement of life expired single glazed windows with double glazed units.

Internal redecoration costs have been calculated using a standard rate applied to the gross floor area. Costs assume that external redecoration of all buildings is carried out on a 5 year cycle and internal redecoration of all buildings is carried out on a 4 year cycle to high useage areas.

KEY : Condition grading

A : Good

C : Poor

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D : Bad/Urgent work

Priority grading

1 : Immediate work required

3 : Required within 3-5 years

2 : Required within 2 years

4 : Required from 6 years onwards

Condition Survey Executive Summary

Address

Woodbridge Art Club

15 Tidemill Way
Woodbridge
IP12 1BY



Overall Condition Rating : B

Building Survey

Last surveyed by : Smith, Barry

Survey date : May 19, 2022

01 – Main Building

The property is a single storey solid brick arts club.

External doors are timber and UPVc patio doors to rear paved area. External Windows are timber double glazed.

Flooring finishers are vinyl. The ceilings are exposed panels to the underside of the main building roof and finished plasterboard to WC's and other associated rooms. The internal wall finishers are a mixture of decorated brick, decorated blockwork and plaster finishers with some wall tiling to WC's and kitchen areas.

BUILDING EXTERNALS

Externally the building is in satisfactory condition with the exception of the roof coverings which have come to the end of their life cycle.

Roof coverings consist of asbestos profiled cement panels to the main building with profiled cement panels to the studio with an area of high performance felt.

Rainwater Goods are plastic.

External Walls are decorated brick with partial timber cladding to the gable end and cladding to the studio extension.

External Windows and Doors are timber entrance door and rear fire escape door with PVUc patio door to the rear and double glazed timber windows.

BUILDING INTERNALS

The ceilings are exposed panels to the underside of the roof to the main building and decorated finished plasterboard to WC's and other associated rooms.

Walls are a mixture of brick, decorated blockwork and plaster finishers with some wall tiling to WC's and kitchen areas.

Floor Structures and Finishes. Vinyl.

Fixed furniture includes prefinished kitchen units.

Sanitary fittings are vitreous china.

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X – External Areas

The external areas are paved slabs to the rear area. The entrance is directly off the highway and external areas not surveyed as part of this condition survey.

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Site Breakdown

The following table displays details of each of the blocks on site and the construction details. The block reference should be used in conjunction with the survey details to locate elements on site

Reference	Building/Block	Construction	Construction year	GFA (m2)
01	 Main Building	Permanent	Pre 1919	

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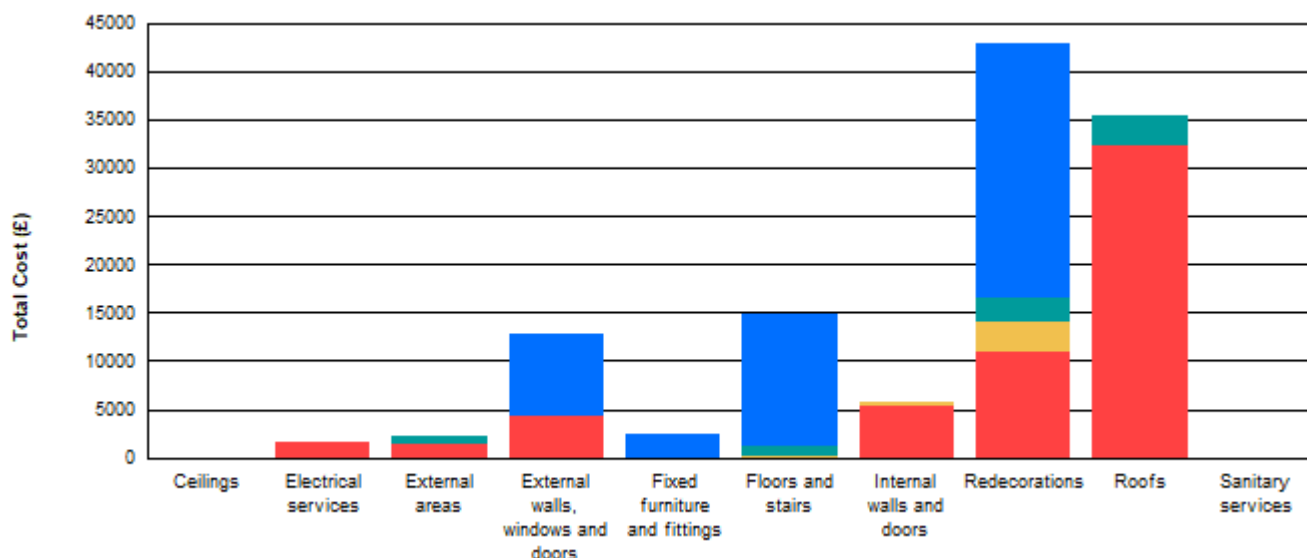
2 : Required within 2 years
 4 : Required from 6 years onwards

Total Site Prioritised Costings

The chart below displays the total forecast expenditure for the whole property. Each cost is summarised against the standard element description. The costs are subtotalled by priority 1,2,3 and 4 to indicate the urgency of the work required.

Element	Priority 1	Priority 2	Priority 3	Priority 4	Total
Ceilings	£0.00	£0.00	£0.00	£0.00	£0.00
Electrical services	£1,500.00	£0.00	£0.00	£0.00	£1,500.00
External areas	£1,400.00	£0.00	£750.00	£0.00	£2,150.00
External walls, windows and doors	£4,250.00	£0.00	£0.00	£8,500.00	£12,750.00
Fixed furniture and fittings	£0.00	£0.00	£0.00	£2,500.00	£2,500.00
Floors and stairs	£0.00	£200.00	£1,000.00	£13,743.44	£14,943.44
Internal walls and doors	£5,300.00	£500.00	£0.00	£0.00	£5,800.00
Redecorations	£11,000.00	£2,935.52	£2,641.03	£26,405.64	£42,982.18
Roofs	£32,341.46	£0.00	£3,000.00	£0.00	£35,341.46
Sanitary services	£0.00	£0.00	£0.00	£0.00	£0.00
Total costs	£55,791.46	£3,635.52	£7,391.03	£51,149.08	£117,967.08

Cost Summary Chart



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Total Prioritised Costings by Block

The table below displays the total forecast expenditure for each block within the property. Each cost is summarised against the standard element description. The costs are subtotaled by priority 1,2,3 and 4 to indicate the urgency of the work required.

01 Main Building

Element	Priority 1	Priority 2	Priority 3	Priority 4	Total
Ceilings	£0.00	£0.00	£0.00	£0.00	£0.00
Electrical services	£1,500.00	£0.00	£0.00	£0.00	£1,500.00
External walls, windows and doors	£4,250.00	£0.00	£0.00	£8,500.00	£12,750.00
Fixed furniture and fittings	£0.00	£0.00	£0.00	£2,500.00	£2,500.00
Floors and stairs	£0.00	£200.00	£1,000.00	£13,743.44	£14,943.44
Internal walls and doors	£5,300.00	£500.00	£0.00	£0.00	£5,800.00
Redecorations	£11,000.00	£2,935.52	£2,641.03	£26,405.64	£42,982.18
Roofs	£32,341.46	£0.00	£3,000.00	£0.00	£35,341.46
Sanitary services	£0.00	£0.00	£0.00	£0.00	£0.00
Total costs	£54,391	£3,636	£6,641	£51,149	£115,817

X External Areas

Element	Priority 1	Priority 2	Priority 3	Priority 4	Total
External areas	£1,400.00	£0.00	£750.00	£0.00	£2,150.00
Total costs	£1,400		£750		£2,150

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Detail of Prioritised Works

01 Main Building			Condition Grade	Priority Grade	Year reqd	P1	P2	P3
1,244,991	Accessible WC Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl (5m2)	B	4	31/32			
1,244,992	Accessible WC Redecorations-Internal - > Cyclical	Re-decorate (5m2)	A	4	31/32			
1,244,990	Accessible WC Redecorations-Internal - > Cyclical	Re-decorate (5m2)	A	4	27/28			
1,244,993	Accessible WC Redecorations-Internal - > Cyclical	Re-decorate (5m2)	A	4	35/36			
1,244,989	Accessible WC Redecorations-Internal - > Redecorate	Re-decorate (5m2)	B	2	23/24		£145	
1,244,994	Accessible WC Sanitary services-Toilet Fittings - > Satisfactory	Sanitary Ware. No foreseen works	B	4				
1,244,995	Accessible WC, WC, Main Hall, Main hall store room & Studio extension  Internal walls and doors-Walls and Partitions - > Investigate	Rectify dampness to internal walls. Recommend a specialist damp survey is carried out by a specialist contractor to all affected internal areas.	C	1	22/23	£2,000		
1,244,996	All Areas internal and external  External walls, windows and doors-Walls External Linings and Finishes - > Investigate Further Investigation Required	Sample paint finishes to all previously decorated brick wall surfaces to confirm paint finishers are breathable. It is possible that the paint finishers are not currently breathable and if confirmed they are not breathable it could be causing damp issues with the suspected soft brickwork. Carry out in line with specialists damp survey.	D	1	22/23	£300		
1,244,999	Entrance Lobby Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl (7m2)	B	4	31/32			
1,245,001	Entrance Lobby Redecorations-Internal - > Cyclical	Re-decorate (7m2)	A	4	36/37			
1,244,998	Entrance Lobby Redecorations-Internal - > Cyclical	Re-decorate (7m2)	A	4	28/29			
1,245,000	Entrance Lobby Redecorations-Internal - > Cyclical	Re-decorate (7m2)	A	4	32/33			
1,244,997	Entrance Lobby	Re-decorate (7m2)	B	3	24/25			£203

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Detail of Prioritised Works

01 Main Building	Condition Grade	Priority Grade	Year reqd	P1	P2	P3
Redecorations-Internal - > Redecorate						
1,245,002 Flat roof Replace high performance roof covering Roofs-Flat Coverings and Insulation - > Replace	B	3	26/27			£3,000
1,245,004 Front and Rear Elevation Replace timber double glazed windows External walls, windows and doors-Windows and Doors Framing - > Replace	B	4	36/37			
1,245,034 Front and Rear Elevation Allowance if required to remove any non breathable brick paint finishers back to brick before carrying out redecorations if required. Redecorations-External - > Remove Health and Safety	C	1	22/23	£5,000		
1,245,003 Front and Rear Elevation Regularly clean out gutters to aid rain water discharge Roofs-Drainage - > Maintain	C	1	22/23	£300		
1,245,007 Front Elevation Carry out redecorations to previously decorated surfaces. See recommendation to sample existing brick decoration finishers to make sure paint finishers are breathable before any redecorations are carried out. Use a breathable paint product for all future redecorations. Note cracking show on the photograph is suspected to be paint cracking opposed to brick cracking, confirm when paint is analysed to confirm if existing paint treatment is breathable. Redecorations-External - > Cyclical	B	4	27/28			
1,245,008 Front Elevation Redecorate previously decorated timber surfaces Redecorations-External - > Cyclical	B	4	29/30			
1,245,009 Front Elevation Carry out redecorations to previously decorated surfaces. Use a breathable paint product for all future redecorations. Redecorations-External - > Cyclical	B	4	32/33			
1,245,010 Front Elevation Redecorate previously decorated timber surfaces Redecorations-External - > Cyclical	B	4	34/35			

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Detail of Prioritised Works

01 Main Building		Condition Grade	Priority Grade	Year reqd	P1	P2	P3
1,245,005	Front Elevation Carry out redecorations to previously decorated surfaces. See recommendation to sample existing brick decoration finishers to make sure paint finishers are breathable before any redecorations are carried out. Use a breathable paint product for all future redecorations. Note cracking show on the photograph is suspected to be paint cracking opposed to brick cracking, confirm when paint is analysed to confirm if existing paint treatment is breathable.  Redecorations-External - > Redecorate	C	1	22/23	£3,000		
1,245,006	Front Elevation Redecorate previously decorated timber surfaces Redecorations-External - > Redecorate	C	2	23/24		£1,500	
1,245,011	Gable End The mastic seal to the top of the flood brick wall and Arts Club Building and is a possible source of water ingress which will be trapped between the Arts Club building and flood wall at low level. As a minimum replace the mastic joint, however we would recommend a more robust seal should we explored. External walls, windows and doors-Walls External Linings and Finishes - > Repair	D	1	22/23	£250		
1,245,012	Gable End Replace rotten timber cladding. Note asbestos roof capping is fixed to this timber cladding.  External walls, windows and doors-Walls External Linings and Finishes - > Replace	C	1	22/23	£1,500		
1,245,013	Internal areas Although electrical plant and equipment is outside the scope of this survey, it is noted that the fixed 5 year wiring test is out of date and should be re-tested as soon as possible.  Electrical services-Power Wiring - > Investigate	D	1	22/23	£1,500		
1,245,016	Kitchen Replace kitchen unit and sink	B	4	31/32			

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Detail of Prioritised Works

01 Main Building	Condition Grade	Priority Grade	Year reqd	P1	P2	P3
Fixed furniture and fittings-Non Teaching Kitchen - > Replace						
1,245,017 Kitchen Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl (6m2)	B	4	31/32		
1,245,015 Kitchen Redecorations-Internal - > Cyclical	Re-decorate (6m2)	A	4	29/30		
1,245,018 Kitchen Redecorations-Internal - > Cyclical	Re-decorate (6m2)	A	4	33/34		
1,245,014 Kitchen Redecorations-Internal - > Redecorate	Re-decorate (6m2)	B	3	25/26		£174
1,245,019 Loft space over WC's  Ceilings-Ground floor - > Replace	Timber ceiling board. Timber board is loose in places and require repair, however this should be replaced in line with roof replacement. Cost included in roof replacement.	D	1	22/23		
1,245,023 Main building External walls, windows and doors-Windows and Doors Framing - > Replace	Replace entrance door	B	4	36/37		
1,245,022 Main building  Roofs-Drainage - > Repair	Renew guttering systems in line with roof replacement. Note the existing guttering between the main building and studio valley is failing. (42lm)	C	1	22/23	£1,799	
1,245,020 Main building  Roofs-Pitched Coverings and Insulation - > Repair	Repair lead flashing to the Old Granary Building	D	1	22/23	£1,000	
1,245,021 Main building  Roofs-Pitched Coverings and Insulation - > Replace	Replace asbestos roof covering with a composite cladding system. Subject to agreement with the conservation planning officer. SOR + 50% for unforeseen works to wall plates etc and renewal of lead flashings. (102m2)	C	1	22/23	£19,485	
1,245,024 Main building gable end Roofs-Pitched Coverings and Insulation - > Repair	Regularly cut back buddleia from building roof line	D	1	22/23	£300	

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Detail of Prioritised Works

01 Main Building		Condition Grade	Priority Grade	Year reqd	P1	P2	P3
1,245,026	Main Hall Ceiling panels, no foreseen works, however these should be replaced in line with roof replacement. Ceilings-Ground floor - > Replace	C	1	22/23			
1,245,029	Main Hall Replace vinyl (66m2) Floors and stairs-Ground Floor Screed and Finish - > Replace	B	4	31/32			
1,245,025	Main Hall Blockwork under front benching with storage under. Tie in and repair failing blockwork. Consider installing a collision rail to help protect further damage from storage boxes  Internal walls and doors-Walls and Partitions - > Repair	C	1	22/23	£2,500		
1,245,030	Main Hall Re-decorate (66m2) Redecorations-Internal - > Cyclical	A	4	32/33			
1,245,028	Main Hall Re-decorate (66m2) Redecorations-Internal - > Cyclical	A	4	28/29			
1,245,031	Main Hall Re-decorate (66m2) Redecorations-Internal - > Cyclical	A	4	36/37			
1,245,027	Main Hall Re-decorate (66m2) Redecorations-Internal - > Redecorate	B	3	24/25			£1,914
1,245,032	Rear Elevation Ease and adjust patio door very heavy to operate  External walls, windows and doors-Windows and Doors Framing - > Maintain	C	1	22/23	£200		
1,245,035	Rear Elevation Carry out redecorations to previously decorated surfaces. See recommendation to sample existing brick decoration finishers to make sure paint finishers are breathable before any redecorations are carried out. Use a breathable paint product for all future redecorations. Redecorations-External - > Cyclical	B	4	27/28			
1,245,036	Rear Elevation Carry out redecorations to previously decorated surfaces. Use a breathable paint product for all future redecorations. Redecorations-External - > Cyclical	B	4	32/33			

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1,245,033	Rear Elevation Carry out redecorations to previously decorated surfaces. See recommendation to sample existing brick decoration finishers to make sure paint finishers are breathable before any redecorations are carried out. Use a breathable paint product for all future redecorations.  Redecorations-External - > Redecorate	C	1	22/23	£3,000		
1,245,040	Store room Re-decorate Redecorations-Internal - > Cyclical	A	4	33/34			
1,245,039	Store room Re-decorate Redecorations-Internal - > Cyclical	A	4	29/30			
1,245,038	Store room Re-decorate Redecorations-Internal - > Redecorate	B	3	25/26			£200
1,245,037	Store room Make good blockwork in line with re-decorations  Redecorations-Internal - > Repair	B	3	25/26			£150
1,245,042	Studio Replace patio doors External walls, windows and doors-Windows and Doors Framing - > Replace	B	4	36/37			
1,245,041	Studio Replace roof covering with a composite cladding system. Subject to agreement with the conservation planning officer. (35m2)  Roofs-Pitched Coverings and Insulation - > Replace	C	1	22/23	£4,457		
1,245,045	Studio extension Replace timber fire door External walls, windows and doors-Windows and Doors Framing - > Replace	C	1	22/23	£1,500		
1,245,043	Studio extension Replace failed double glazed units to fire door. Only required if replacement fire door is not replaced as recommended  External walls, windows and doors-Windows and Doors Glazing - > Replace	D	1	22/23	£500		
1,245,047	Studio extension Monitor floor screed to access door area, suspected failure of floor screed.  Floors and stairs-Ground Floor Screed and Finish - > Investigate	C	2	23/24		£200	
1,245,050	Studio extension Repair floor screed when required	B	3	26/27			£1,000

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01 Main Building	Condition Grade	Priority Grade	Year reqd	P1	P2	P3
 Floors and stairs-Ground Floor Screed and Finish - > Repair						
1,245,052 Studio extension Floors and stairs-Ground Floor Screed and Finish - > Replace Replace vinyl inline with repair to floor screed (34m2)	B	4	31/32			
1,245,044 Studio extension Dampness. Although we have included this item in the specialist damp survey we believe this water damage is from failure/poor detailing installing of the valley gutter above-Make good.  Internal walls and doors-Walls and Partitions - > Repair	C	1	22/23	£500		
1,245,048 Studio extension Repair water damaged high-level surfaces following previous water ingress from failed valley gutter in line with full decorations below.  Internal walls and doors-Walls and Partitions - > Repair	B	2	23/24		£500	
1,245,054 Studio extension Redecorations-Internal - > Cyclical Re-decorate (34m2)	A	4	35/36			
1,245,051 Studio extension Redecorations-Internal - > Cyclical Re-decorate (34m2)	A	4	27/28			
1,245,053 Studio extension Redecorations-Internal - > Cyclical Re-decorate (34m2)	A	4	31/32			
1,245,049 Studio extension Redecorations-Internal - > Redecorate Re-decorate (34m2)	B	2	23/24		£986	
1,245,046 Studio extension  Roofs-Pitched Coverings and Insulation - > Replace Replace borrowed lights in line with roof replacement	C	1	22/23	£5,000		
1,245,058 Studio store room Floors and stairs-Ground Floor Screed and Finish - > Replace Replace vinyl (9m2)	B	4	31/32			
1,245,055 Studio store room Investigate dampness to door threshold- Suspected to be leak via valley guttering above  Internal walls and doors-Doors and Glazed Screens - > Investigate Further Investigation Required	D	1	22/23	£300		
1,245,059 Studio store room Redecorations-Internal - > Cyclical Re-decorate (9m2)	A	4	31/32			
1,245,057 Studio store room Redecorations-Internal - > Cyclical Re-decorate (9m2)	A	4	27/28			
1,245,060 Studio store room Re-decorate (9m2)	A	4	35/36			

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Detail of Prioritised Works

01 Main Building	Condition Grade	Priority Grade	Year reqd	P1	P2	P3
Redecorations-Internal - > Cyclical						
1,245,056 Studio store room Re-decorate (9m2) Redecorations-Internal - > Redecorate	B	2	23/24		£261	
1,245,063 WC Replace vinyl (1.5m2) Floors and stairs-Ground Floor Screed and Finish - > Replace	B	4	31/32			
1,245,064 WC Re-decorate (1.5m2) Redecorations-Internal - > Cyclical	A	4	31/32			
1,245,065 WC Re-decorate (1.5m2) Redecorations-Internal - > Cyclical	A	4	35/36			
1,245,062 WC Re-decorate (1.5m2) Redecorations-Internal - > Cyclical	A	4	27/28			
1,245,061 WC Re-decorate (1.5m2) Redecorations-Internal - > Redecorate	B	2	23/24		£44	
1,245,066 WC Sanitary Ware. No foreseen works Sanitary services-Toilet Fittings - > Satisfactory	B	4				
Total costs for : 01 Main Building				£54,391	£3,636	£6,641

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Detail of Prioritised Works

X External Areas			Condition Grade	Priority Grade	Year reqd	P1	P2	P3
1.245.067	Rear Elevation External areas-Paths and pedestrian paved areas - > Maintain	Maintain patio slabs	D	1	22/23	£1,000		
1.245.068	Rear Elevation External areas-Paths and pedestrian paved areas - > Provide	Highlight change of levels and step nosing's to help prevent trip hazards	D	1	22/23	£250		
1.245.070	Rear Elevation External areas-Walls, fences and gates - > Repair	Replace timber fence panel	B	3	26/27			£750
1.245.069	Rear Elevation External areas-Walls, fences and gates - > Repair	Repair/Replace failing timber fence panel	C	1	22/23	£150		
Total costs for : X External Areas						£1,400		£750

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Priority 4 works

01 Main Building			Cond'n	Priority	Year reqd	P4 cost
1,245,001	Entrance Lobby Redecorations-Internal - > Cyclical	Re-decorate (7m2)	A	4	36/37	£203
1,244,999	Entrance Lobby Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl (7m2)	B	4	31/32	£749
1,244,998	Entrance Lobby Redecorations-Internal - > Cyclical	Re-decorate (7m2)	A	4	28/29	£203
1,245,000	Entrance Lobby Redecorations-Internal - > Cyclical	Re-decorate (7m2)	A	4	32/33	£203
1,245,007	Front Elevation Redecorations-External - > Cyclical	Carry out redecorations to previously decorated surfaces. See recommendation to sample existing brick decoration finishers to make sure paint finishers are breathable before any redecorations are carried out. Use a breathable paint product for all future redecorations. Note cracking show on the photograph is suspected to be paint cracking opposed to brick cracking, confirm when paint is analysed to confirm if existing paint treatment is breathable.	B	4	27/28	£3,000
1,245,008	Front Elevation Redecorations-External - > Cyclical	Redecorate previously decorated timber surfaces	B	4	29/30	£1,500
1,245,009	Front Elevation Redecorations-External - > Cyclical	Carry out redecorations to previously decorated surfaces. Use a breathable paint product for all future redecorations.	B	4	32/33	£3,000
1,245,010	Front Elevation Redecorations-External - > Cyclical	Redecorate previously decorated timber surfaces	B	4	34/35	£1,500
1,245,042	Studio External walls, windows and doors-Windows and Doors Framing - > Replace	Replace patio doors	B	4	36/37	£2,000
1,245,064	WC Redecorations-Internal - > Cyclical	Re-decorate (1.5m2)	A	4	31/32	£44
1,245,065	WC Redecorations-Internal - > Cyclical	Re-decorate (1.5m2)	A	4	35/36	£44
1,245,062	WC Redecorations-Internal - > Cyclical	Re-decorate (1.5m2)	A	4	27/28	£44
1,245,063	WC Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl (1.5m2)	B	4	31/32	£160
1,245,059	Studio store room Redecorations-Internal - > Cyclical	Re-decorate (9m2)	A	4	31/32	£261
1,245,057	Studio store room Redecorations-Internal - > Cyclical	Re-decorate (9m2)	A	4	27/28	£261
1,245,058	Studio store room Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl (9m2)	B	4	31/32	£963

KEY : Condition grading

A : Good

C : Poor

B : Satisfactory

D : Bad/Urgent work

Priority grading

1 : Immediate work required

3 : Required within 3-5 years

2 : Required within 2 years

4 : Required from 6 years onwards

200004653397-Woodbridge Art Club
Condition Survey Report

01 Main Building			Cond'n	Priority	Year reqd	P4 cost
1,245,060	Studio store room Redecorations-Internal - > Cyclical	Re-decorate (9m2)	A	4	35/36	£261
1,245,035	Rear Elevation Redecorations-External - > Cyclical	Carry out redecorations to previously decorated surfaces. See recommendation to sample existing brick decoration finishers to make sure paint finishers are breathable before any redecorations are carried out. Use a breathable paint product for all future redecorations.	B	4	27/28	£3,000
1,245,036	Rear Elevation Redecorations-External - > Cyclical	Carry out redecorations to previously decorated surfaces. Use a breathable paint product for all future redecorations.	B	4	32/33	£3,000
1,244,991	Accessible WC Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl (5m2)	B	4	31/32	£535
1,244,992	Accessible WC Redecorations-Internal - > Cyclical	Re-decorate (5m2)	A	4	31/32	£145
1,244,990	Accessible WC Redecorations-Internal - > Cyclical	Re-decorate (5m2)	A	4	27/28	£145
1,244,993	Accessible WC Redecorations-Internal - > Cyclical	Re-decorate (5m2)	A	4	35/36	£145
1,245,023	Main building External walls, windows and doors-Windows and Doors Framing - > Replace	Replace entrance door	B	4	36/37	£1,500
1,245,040	Store room Redecorations-Internal - > Cyclical	Re-decorate	A	4	33/34	£200
1,245,039	Store room Redecorations-Internal - > Cyclical	Re-decorate	A	4	29/30	£200
1,245,015	Kitchen Redecorations-Internal - > Cyclical	Re-decorate (6m2)	A	4	29/30	£174
1,245,016	Kitchen Fixed furniture and fittings-Non Teaching Kitchen - > Replace	Replace kitchen unit and sink	B	4	31/32	£2,500
1,245,017	Kitchen Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl (6m2)	B	4	31/32	£642
1,245,018	Kitchen Redecorations-Internal - > Cyclical	Re-decorate (6m2)	A	4	33/34	£174
1,245,004	Front and Rear Elevation External walls, windows and doors-Windows and Doors Framing - > Replace	Replace timber double glazed windows	B	4	36/37	£5,000
1,245,054	Studio extension Redecorations-Internal - > Cyclical	Re-decorate (34m2)	A	4	35/36	£986
1,245,051	Studio extension Redecorations-Internal - > Cyclical	Re-decorate (34m2)	A	4	27/28	£986
1,245,052	Studio extension Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl inline with repair to floor screed (34m2)	B	4	31/32	£3,636

KEY : Condition grading

A : Good

C : Poor

B : Satisfactory

D : Bad/Urgent work

Priority grading

1 : Immediate work required

3 : Required within 3-5 years

2 : Required within 2 years

4 : Required from 6 years onwards

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Condition Survey Report

01 Main Building			Condn	Priority	Year reqd	P4 cost
1,245,053	Studio extension Redecorations-Internal - > Cyclical	Re-decorate (34m2)	A	4	31/32	£986
1,245,030	Main Hall Redecorations-Internal - > Cyclical	Re-decorate (66m2)	A	4	32/33	£1,914
1,245,029	Main Hall Floors and stairs-Ground Floor Screed and Finish - > Replace	Replace vinyl (66m2)	B	4	31/32	£7,059
1,245,028	Main Hall Redecorations-Internal - > Cyclical	Re-decorate (66m2)	A	4	28/29	£1,914
1,245,031	Main Hall Redecorations-Internal - > Cyclical	Re-decorate (66m2)	A	4	36/37	£1,914
Total priority 4 costs for : 01 Main Building						£51,149

KEY : Condition grading

A : Good
C : Poor

B : Satisfactory
D : Bad/Urgent work

Priority grading

1 : Immediate work required
3 : Required within 3-5 years

2 : Required within 2 years
4 : Required from 6 years onwards

Areas that could not be accessed

The following table displays areas that could not be accessed during the course of the survey

Block	Location	Comments

KEY : Condition grading

A : Good

C : Poor

B : Satisfactory

D : Bad/Urgent work
required

Priority grading

1 : Immediate work required

3 : Required within 3-5 years

2 : Required within 2 years

4 : Required from 6 years onwards

20004653397-Woodbridge Art Club
Condition Survey Report



1244995

Rating : C1

Rectify dampness to internal walls. Recommend a specialist damp survey is carried out by a specialist contractor to all affected internal areas.



1244995

Rating : C1

Rectify dampness to internal walls. Recommend a specialist damp survey is carried out by a specialist contractor to all affected internal areas.



1244995

Rating : C1

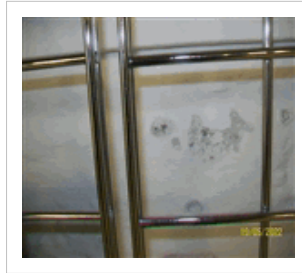
Rectify dampness to internal walls. Recommend a specialist damp survey is carried out by a specialist contractor to all affected internal areas.



1244995

Rating : C1

Rectify dampness to internal walls. Recommend a specialist damp survey is carried out by a specialist contractor to all affected internal areas.



1244995

Rating : C1

Rectify dampness to internal walls. Recommend a specialist damp survey is carried out by a specialist contractor to all affected internal areas.



1244996

Rating : D1

Sample paint finishes to all previously decorated brick wall surfaces to confirm paint finishers are breathable. It is possible that the paint finishers are not currently breathable and if confirmed they are not breathable it could be causing damp issues with the suspected soft brickwork. Carry out in line with specialists damp survey.



1244996

Rating : D1

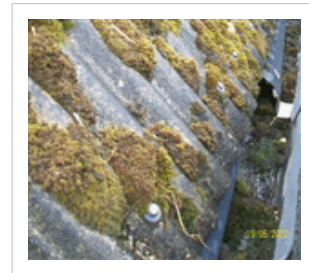
Sample paint finishes to all previously decorated brick wall surfaces to confirm paint finishers are breathable. It is possible that the paint finishers are not currently breathable and if confirmed they are not breathable it could be causing damp issues with the suspected soft brickwork. Carry out in line with specialists damp survey.



1244996

Rating : D1

Sample paint finishes to all previously decorated brick wall surfaces to confirm paint finishers are breathable. It is possible that the paint finishers are not currently breathable and if confirmed they are not breathable it could be causing damp issues with the suspected soft brickwork. Carry out in line with specialists damp survey.



1245003

Rating : C1

Regularly clean out gutters to aid rain water discharge

KEY : Condition grading

A : Good

C : Poor

B : Satisfactory

D : Bad/Urgent work

Priority grading

1 : Immediate work required

3 : Required within 3-5 years

2 : Required within 2 years

4 : Required from 6 years onwards

20004653397-Woodbridge Art Club
Condition Survey Report



1245003

Rating : C1

Regularly clean out gutters to aid rain water discharge



1245005

Rating : C1

Carry out redecorations to previously decorated surfaces. See recommendation to sample existing brick decoration finishers to make sure paint finishers are breathable before any redecorations are carried out. Use a breathable paint product for all future redecorations. Note cracking show on the photograph is suspected to be paint cracking opposed to brick cracking, confirm when paint is analysed to confirm if existing paint treatment is breathable.



1245012

Rating : C1

Replace rotten timber cladding. Note asbestos roof capping is fixed to this timber cladding.



1245013

Rating : D1

Although electrical plant and equipment is outside the scope of this survey, it is noted that the fixed 5 year wiring test is out of date and should be re-tested as soon as possible.



1245019

Rating : D1

Timber ceiling board. Timber board is loose in places and require repair, however this should be replaced in line with roof replacement. Cost included in roof replacement.



1245020

Rating : D1

Repair lead flashing to the Old Granary Building



1245021

Rating : C1

Replace asbestos roof covering with a composite cladding system. Subject to agreement with the conservation planning officer. SOR + 50% for unforeseen works to wall plates etc and renewal of lead flashings. (102m2)



1245021

Rating : C1

Replace asbestos roof covering with a composite cladding system. Subject to agreement with the conservation planning officer. SOR + 50% for unforeseen works to wall plates etc and renewal of lead flashings. (102m2)

KEY : Condition grading

A : Good

C : Poor

B : Satisfactory

D : Bad/Urgent work

Priority grading

1 : Immediate work required

3 : Required within 3-5 years

2 : Required within 2 years

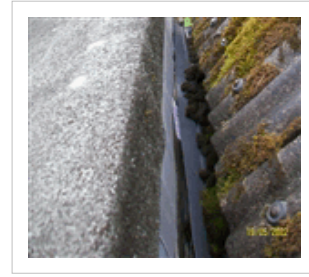
4 : Required from 6 years onwards



1245021

Rating : C1

Replace asbestos roof covering with a composite cladding system. Subject to agreement with the conservation planning officer. SOR + 50% for unforeseen works to wall plates etc and renewal of lead flashings. (102m2)



1245022

Rating : C1

Renew guttering systems in line with roof replacement. Note the existing guttering between the main building and studio valley is failing. (42lm)



1245025

Rating : C1

Blockwork under front benching with storage under. Tie in and repair failing blockwork. Consider installing a collision rail to help protect further damage from storage boxes



1245025

Rating : C1

Blockwork under front benching with storage under. Tie in and repair failing blockwork. Consider installing a collision rail to help protect further damage from storage boxes



1245032

Rating : C1

Ease and adjust patio door very heavy to operate



1245033

Rating : C1

Carry out redecorations to previously decorated surfaces. See recommendation to sample existing brick decoration finishers to make sure paint finishers are breathable before any redecorations are carried out. Use a breathable paint product for all future redecorations.



1245037

Rating : B3

Make good blockwork in line with re-decorations



1245041

Rating : C1

Replace roof covering with a composite cladding system. Subject to agreement with the conservation planning officer. (35m2)

KEY :	Condition grading	Priority grading	
	A : Good C : Poor	B : Satisfactory D : Bad/Urgent work	1 : Immediate work required 3 : Required within 3-5 years

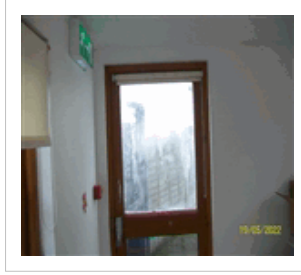
20004653397-Woodbridge Art Club
Condition Survey Report



1245041

Rating : C1

Replace roof covering with a composite cladding system. Subject to agreement with the conservation planning officer. (35m2)



1245043

Rating : D1

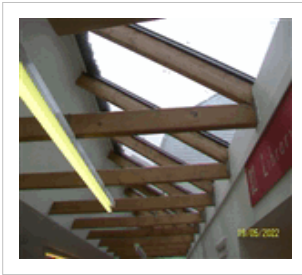
Replace failed double glazed units to fire door. Only required if replacement fire door is not replaced as recommended



1245044

Rating : C1

Dampness. Although we have included this item in the specialist damp survey we believe this water damage is from failure/poor detailing installing of the valley gutter above-Make good.



1245046

Rating : C1

Replace borrowed lights in line with roof replacement



1245047

Rating : C2

Monitor floor screed to access door area, suspected failure of floor screed.



1245048

Rating : B2

Repair water damaged high-level surfaces following previous water ingress from failed valley gutter in line with full decorations below.



1245048

Rating : B2

Repair water damaged high-level surfaces following previous water ingress from failed valley gutter in line with full decorations below.



1245050

Rating : B3

Repair floor screed when required



1245055

Rating : D1

Investigate dampness to door threshold- Suspected to be leak via valley guttering above

KEY : Condition grading

A : Good

C : Poor

B : Satisfactory

D : Bad/Urgent work

Priority grading

1 : Immediate work required

3 : Required within 3-5 years

2 : Required within 2 years

4 : Required from 6 years onwards

20004653397-Woodbridge Art Club
Condition Survey Report



1245067

Rating : D1

Maintain patio slabs



1245068

Rating : D1

Highlight change of levels and step nosing's to help prevent trip hazards



1245068

Rating : D1

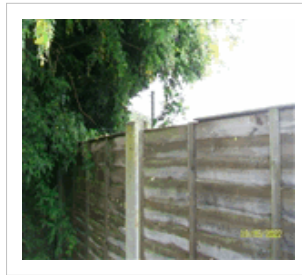
Highlight change of levels and step nosing's to help prevent trip hazards



1245068

Rating : D1

Highlight change of levels and step nosing's to help prevent trip hazards



1245069

Rating : C1

Repair/Replace failing timber fence panel

KEY : Condition grading

A : Good

C : Poor

B : Satisfactory

D : Bad/Urgent work

Priority grading

1 : Immediate work required

3 : Required within 3-5 years

2 : Required within 2 years

4 : Required from 6 years onwards