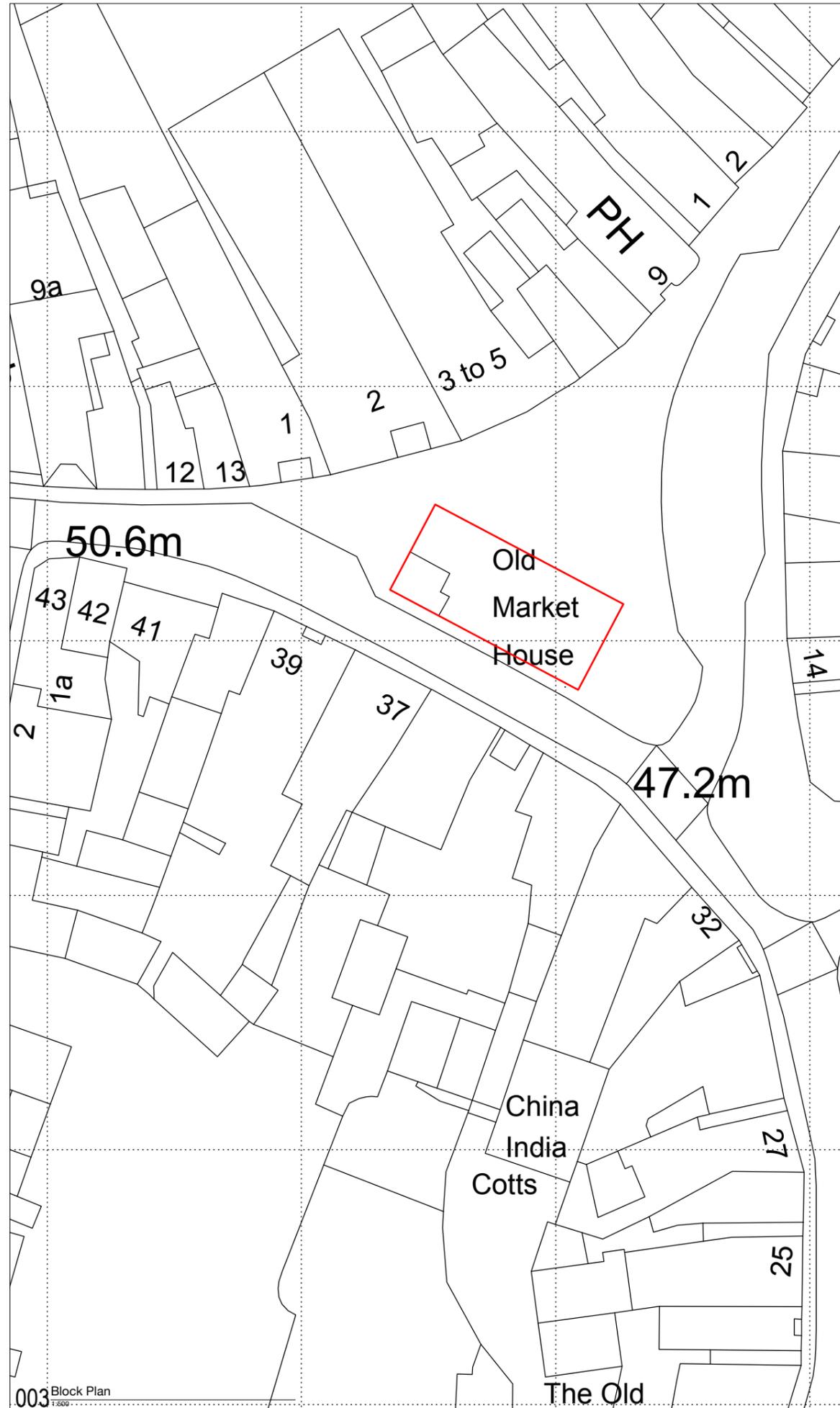


001 Site Location Plan
1:1250



002 Aerial Site Photograph
NTS



003 Block Plan
1:650

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Revision	Description	Date	Check	Rev



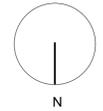
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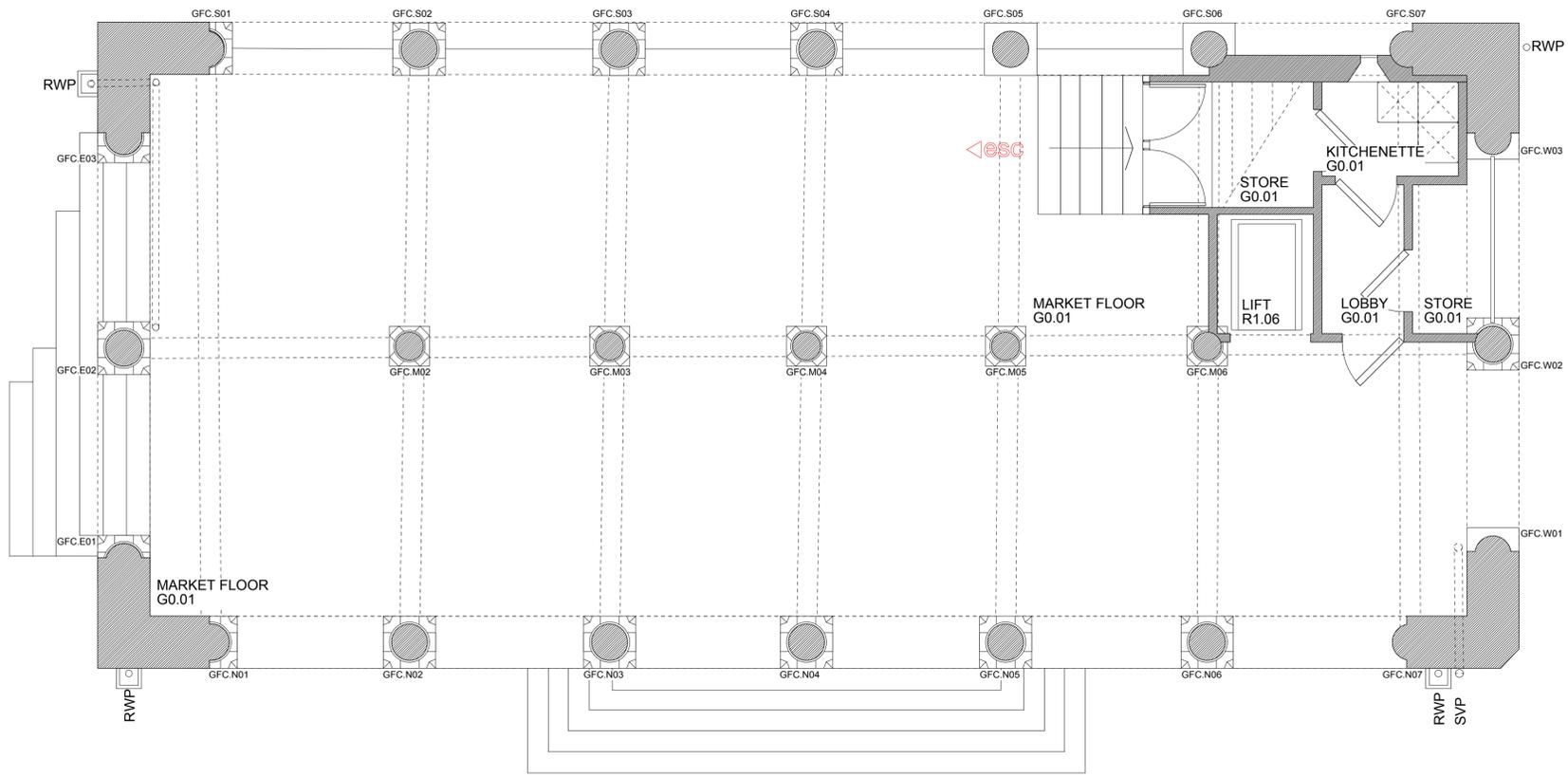
Client
Ross on Wye Town Council
Project
The Market House
Ross-on-Wye Town Council
Herefordshire
Drawing Title
Location and Site Plan

Status	Date	Drawn By
Local Authority	Feb 18	FH
Scale	Drawing Number	Revision
1:1250+500 @ A3	2453T(0)001	-

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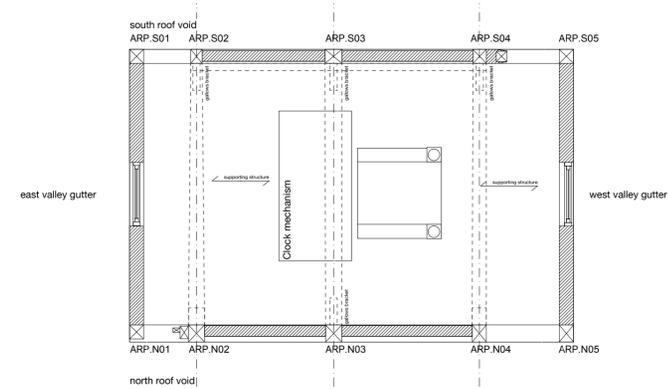
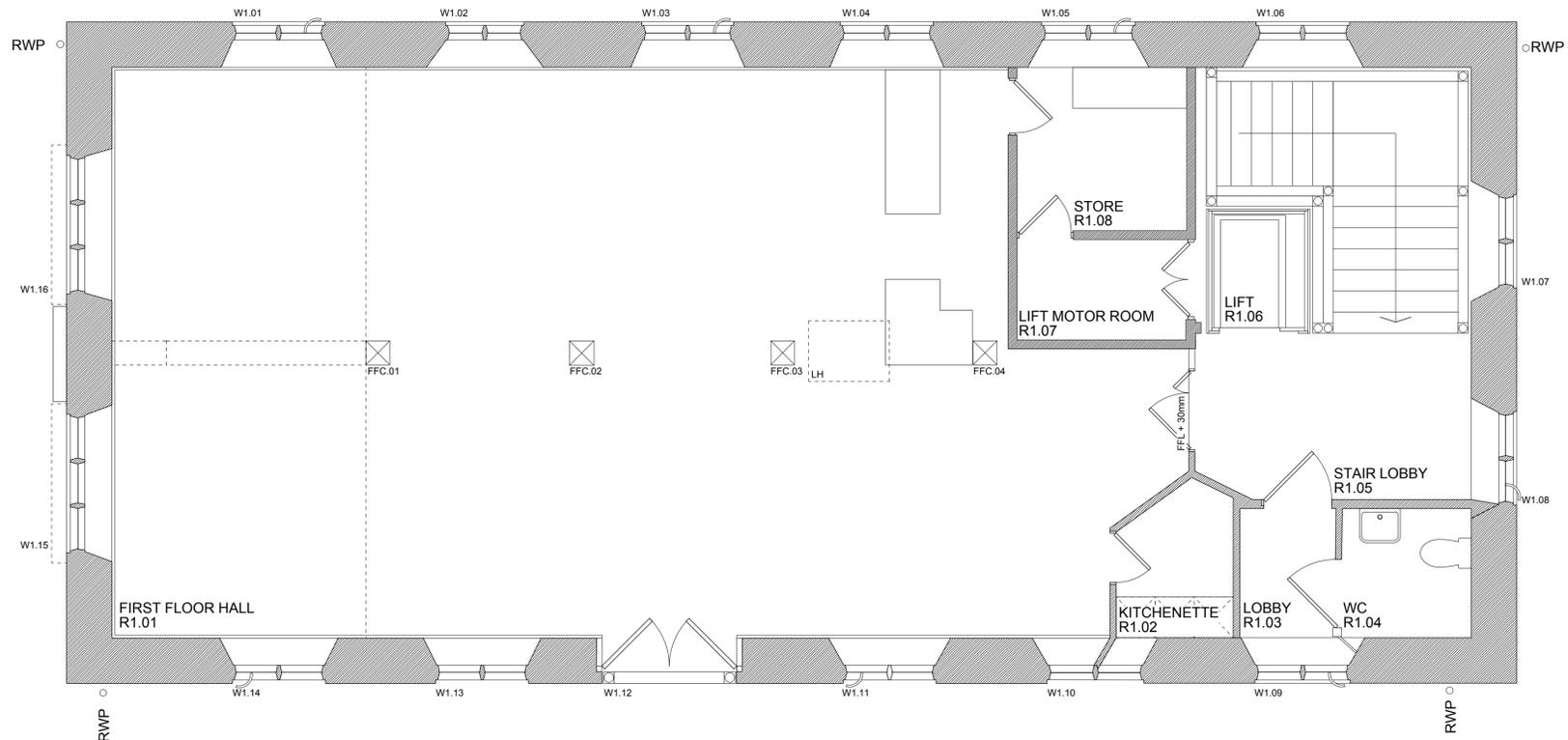
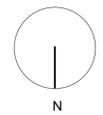
Client
 Ross-on-Wye Town Council

Project
 The Market House
 Ross-on-Wye Town Centre
 Herefordshire

Drawing Title
 Existing Ground Floor Plan

Status Preliminary	Date Feb 18	Drawn By FH
Scale 1:50@A1/ 1:100@A3	Drawing Number 2453P(0)200	Revision -

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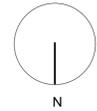
Client
Ross-on-Wye Town Council

Project
**The Market House
 Ross-on-Wye Town Centre
 Herefordshire**

Drawing Title
Existing First Floor & Attic Plan

Status Preliminary	Date Feb 18	Drawn By FH
Scale 1:50@A1 1:100@A3	Drawing Number 2453P(0)201	Revision -

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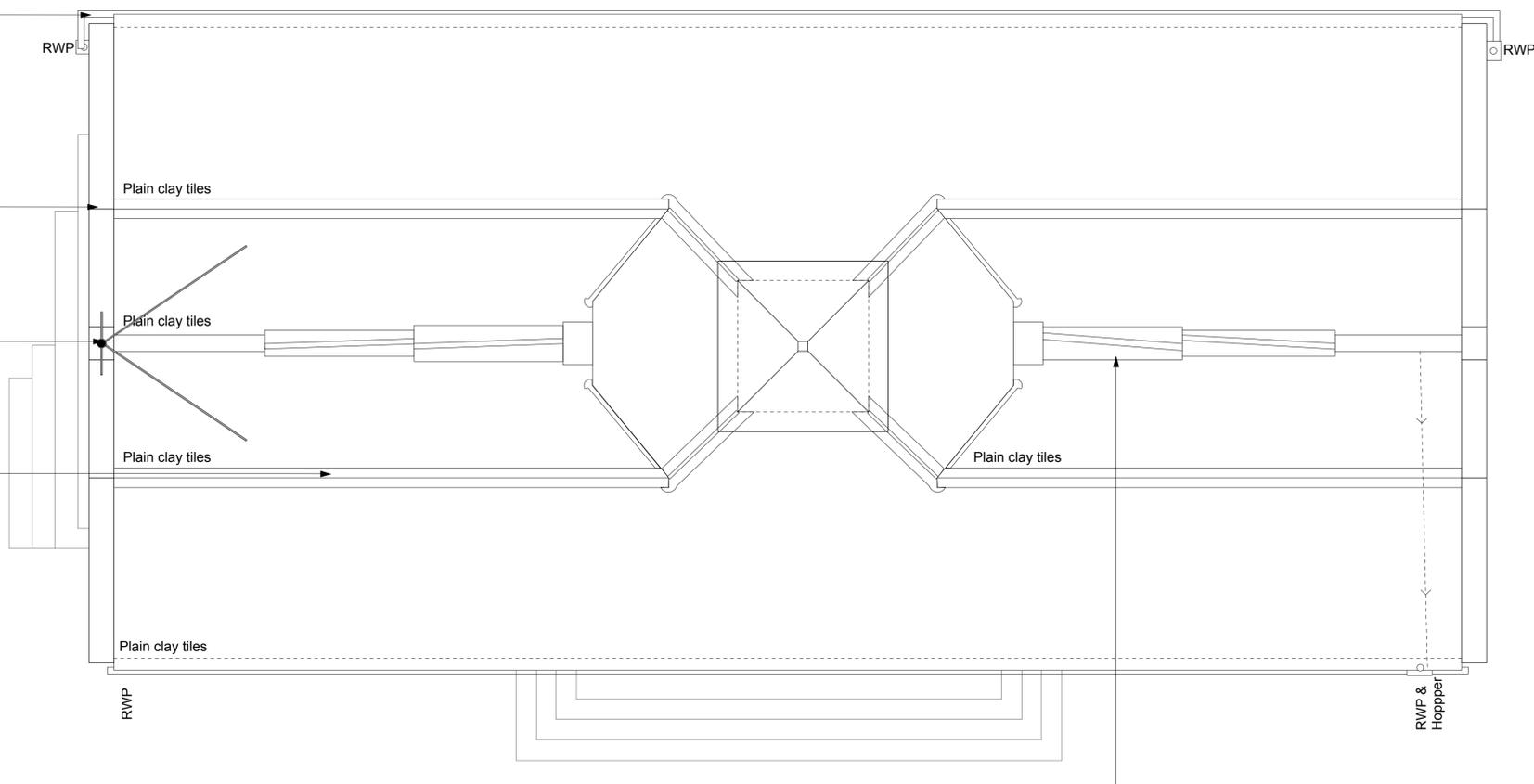
RAINWATER GOODS
Existing cast iron rainwater gutters are in a poor condition and failing in multiple areas.
In some areas rainwater pipes are unsupported.
Cast iron rainwater hoppers to be retained and instated post remedial works.

EXISTING COPING STONES
Existing flat coping stones are incorrectly laid with open joints.

FLAG POLE
In a rusted condition

RIDGE TILES
Clay ridge tiles are broken in places with open joints.

WEST VALLEY GUTTER
Poor workmanship to existing leadwork which has been sealed with mastic.



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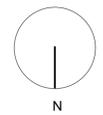
Client
Ross-on-Wye Town Council

Project
**The Market House
Ross-on-Wye Town Centre
Herefordshire**

Drawing Title
Existing Roof Plan

Status Preliminary	Date Feb 18	Drawn By FH
Scale 1:50@A1/ 1:100@A3	Drawing Number 2453P(0)202	Revision -

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PROTECTION TO EXISTING COLUMNS
Provide 100mm softwood framework with 18mm plywood boxing over existing column bases. Set into position x3 layers of corrugated plastic around column. Ensure no fixings into stonework.

COMPOUND ADAPTATION WORKS
Line of adapted contractors compound once works to access steps has been completed.

PROTECTION TO EXISTING TIMBER STAIRCASE ENCLOSURE
Set into position 18mm plywood to face of timber staircase enclosure. Ensure no fixings to existing timberwork.

CONTRACTORS COMPOUND
Subject to agreement with Ross Town Council and contractor. Access to first floor via lift and store cupboard to remain insitu throughout the duration of the works.

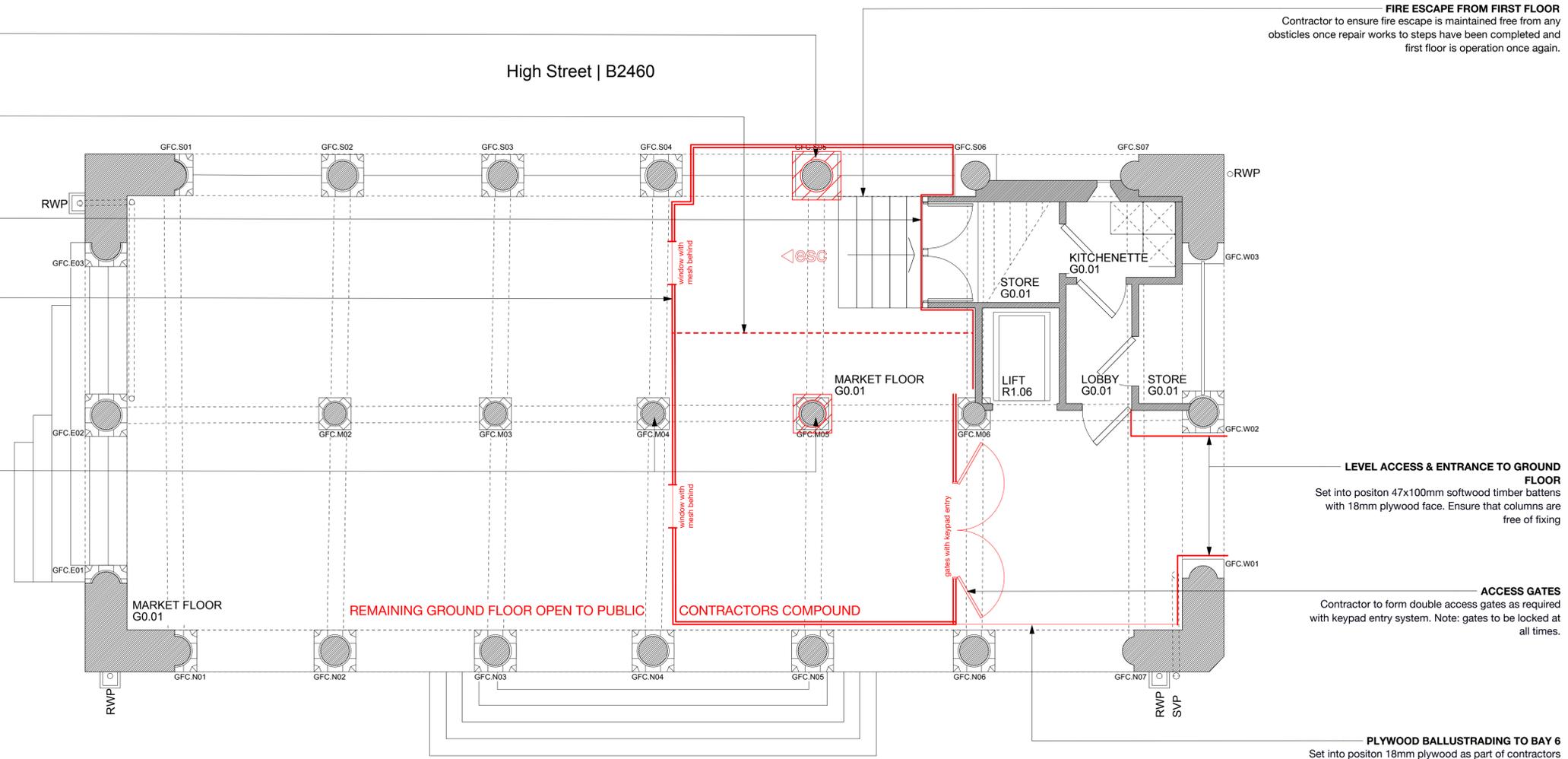
Contractor to make allowance for x2 interpretation boards 1200x800mm printed on 5mm foamex boards. Artwork to be agreed with Architect prior to works commencing.

Contractor to allow for the formation of x2 1200x800mm windows with steel mesh secured to internal face. 125x22mm plywood boarder with edges sanded to be prevent splinters.

PROTECTION TO EXISTING COLUMNS
Provide 100mm softwood framework with 18mm plywood boxing over existing column bases. Set into position x3 layers of corrugated plastic around column. Ensure no fixings into stonework.

GENERAL
Contractor to submit method statement for approval by architect for temporary works and site scaffolding as part of tender return.

FIRE ESCAPE FROM FIRST FLOOR
Contractor to ensure fire escape is maintained free from any obstacles once repair works to steps have been completed and first floor is operation once again.



LEVEL ACCESS & ENTRANCE TO GROUND FLOOR
Set into position 47x100mm softwood timber battens with 18mm plywood face. Ensure that columns are free of fixing

ACCESS GATES
Contractor to form double access gates as required with keypad entry system. Note: gates to be locked at all times.

PLYWOOD BALLUSTRADING TO BAY 6
Set into position 18mm plywood as part of contractors compound at 1200mm high to prevent falling.

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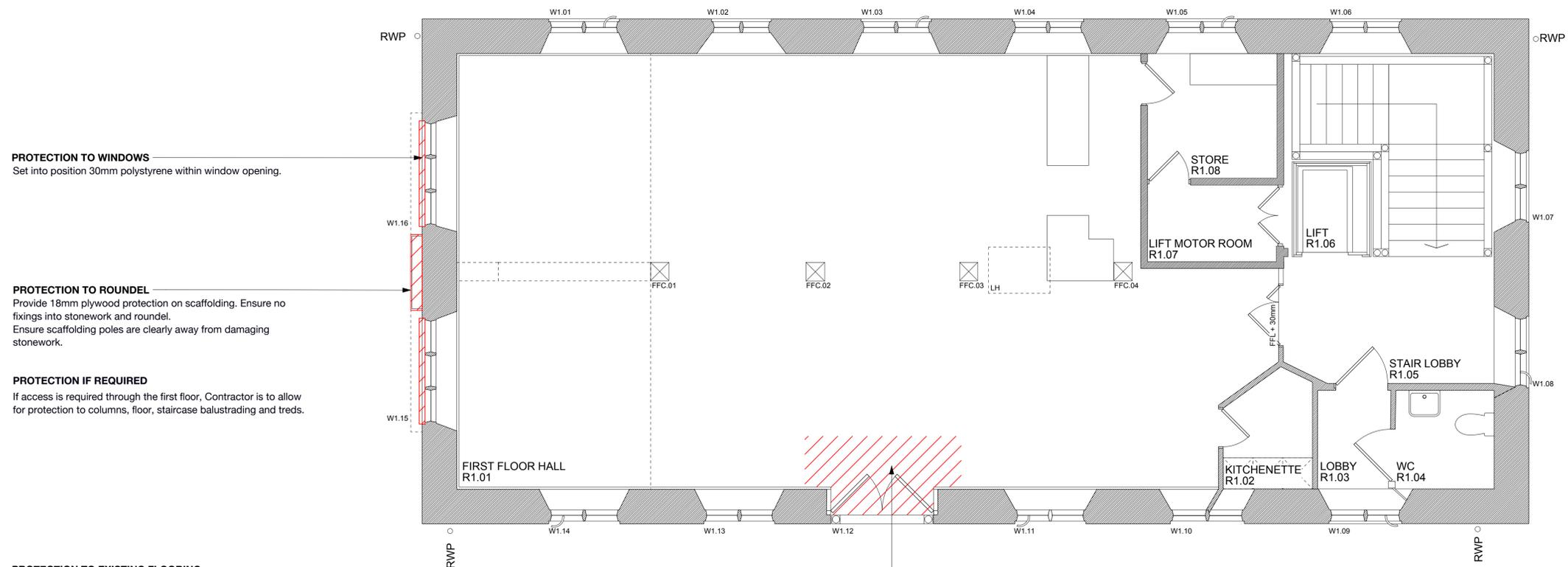
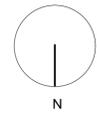
Client
Ross-on-Wye Town Council

Project
The Market House
Ross-on-Wye Town Centre
Herefordshire

Drawing Title
Protection Ground Floor Plan

Status Preliminary	Date Feb 18	Drawn By FH
Scale 1:50@A1/ 1:100@A3	Drawing Number 2453P(0)300	Revision -

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PROTECTION TO WINDOWS
Set into position 30mm polystyrene within window opening.

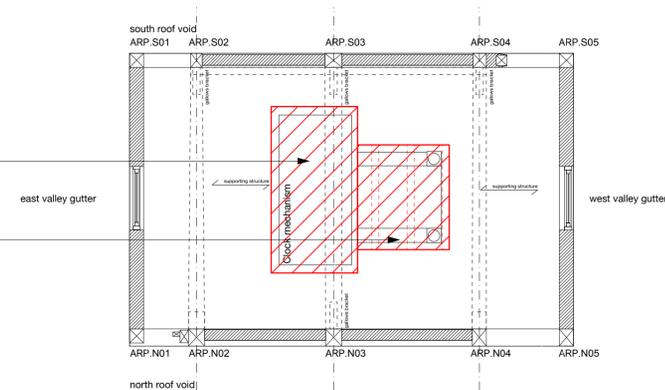
PROTECTION TO ROUNDEL
Provide 18mm plywood protection on scaffolding. Ensure no fixings into stonework and roundel. Ensure scaffolding poles are clearly away from damaging stonework.

PROTECTION IF REQUIRED
If access is required through the first floor, Contractor is to allow for protection to columns, floor, staircase balustrading and treads.

PROTECTION TO EXISTING FLOORING
Thoroughly clean down existing floor surface to remove any detritus and lay polythene over existing floor surface.

PROTECTION TO EXISTING CLOCK MECHANISM
Provide 1000 guage polythene to exterior of clock mechanism with taped edges. Contractor to ensure that dust resulting from opening works do not affect the clockwork mechanism.

PROTECTION TO BALLUSTRADING
Clean down with a soft brush, removing dust, grit and debris. Cover in polythene to sides/ ends and tops with taped joints. Form sw timber goal post frame at minimum of 400cc to exterior of balustrade and clad with 18mm plywood. No fixings to existing balustrade.



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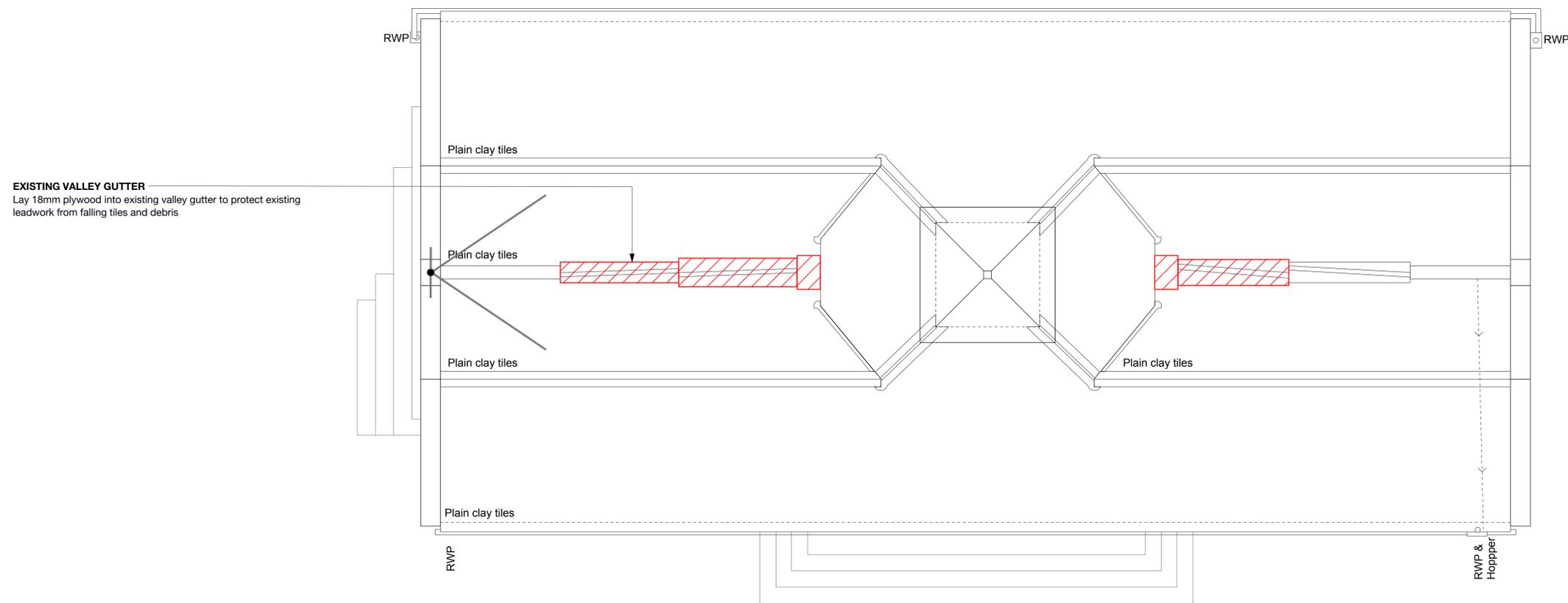
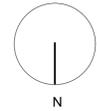
Client
Ross-on-Wye Town Council

Project
**The Market House
Ross-on-Wye Town Centre
Herefordshire**

Drawing Title
Protection First Floor and Attic Plan

Status	Date	Drawn By
Preliminary	Feb 18	FH
Scale	Drawing Number	Revision
1:50@A1 / 1:100@A3	2453P(0)301	-

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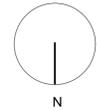
Client
Ross-on-Wye Town Council

Project
**The Market House
 Ross-on-Wye Town Centre
 Herefordshire**

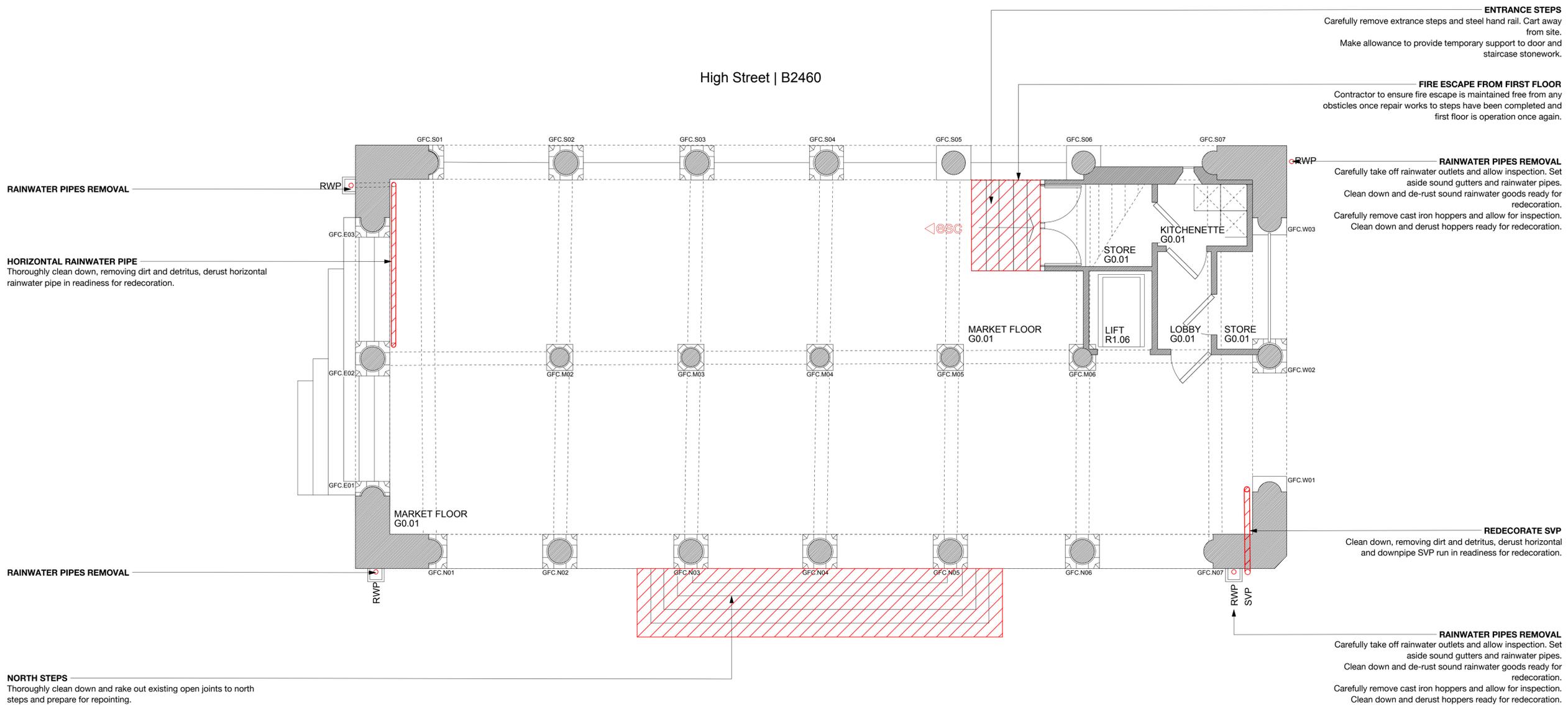
Drawing Title
Protection Roof Plan

Status Preliminary	Date Feb 18	Drawn By FH
Scale 1:50@A1/ 1:100@A3	Drawing Number 2453P(0)302	Revision -

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ENTRANCE STEPS
Carefully remove entrance steps and steel hand rail. Cart away from site.
Make allowance to provide temporary support to door and staircase stonework.

FIRE ESCAPE FROM FIRST FLOOR
Contractor to ensure fire escape is maintained free from any obstacles once repair works to steps have been completed and first floor is operation once again.

RAINWATER PIPES REMOVAL
Carefully take off rainwater outlets and allow inspection. Set aside sound gutters and rainwater pipes. Clean down and de-rust sound rainwater goods ready for redecoration.
Carefully remove cast iron hoppers and allow for inspection. Clean down and derust hoppers ready for redecoration.

RAINWATER PIPES REMOVAL

HORIZONTAL RAINWATER PIPE
Thoroughly clean down, removing dirt and detritus, derust horizontal rainwater pipe in readiness for redecoration.

RAINWATER PIPES REMOVAL

REDECORATE SVP
Clean down, removing dirt and detritus, derust horizontal and downpipe SVP run in readiness for redecoration.

RAINWATER PIPES REMOVAL
Carefully take off rainwater outlets and allow inspection. Set aside sound gutters and rainwater pipes. Clean down and de-rust sound rainwater goods ready for redecoration.
Carefully remove cast iron hoppers and allow for inspection. Clean down and derust hoppers ready for redecoration.

NORTH STEPS
Thoroughly clean down and rake out existing open joints to north steps and prepare for repointing.

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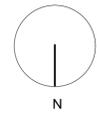
Client
Ross-on-Wye Town Council

Project
The Market House
Ross-on-Wye Town Centre
Herefordshire

Drawing Title
Ground Floor Removals Plan

Status	Date	Drawn By
Preliminary	March 18	FH
Scale	Drawing Number	Revision
1:50@A1 1:100@A3	2453P(0)400	A

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RAINWATER PIPES
 Carefully take off rainwater outlets and allow inspection. Set aside sound gutters and rainwater pipes.
 Clean down and de-rust sound rainwater goods ready for redecoration.
 Carefully remove cast iron hoppers and allow for inspection.
 Clean down and derust hoppers ready for redecoration.

Allow for temporary plastic downpipes whilst redecoration works are being completed

PENTICE BOARDS
 Remove existing pentice boards and cart away from site.

DOUBLE DOORS AND BALUSTRADE
 Cleandown double doors and balustrade for redecoration.
 Clean down and derust metalwork for redecoration.

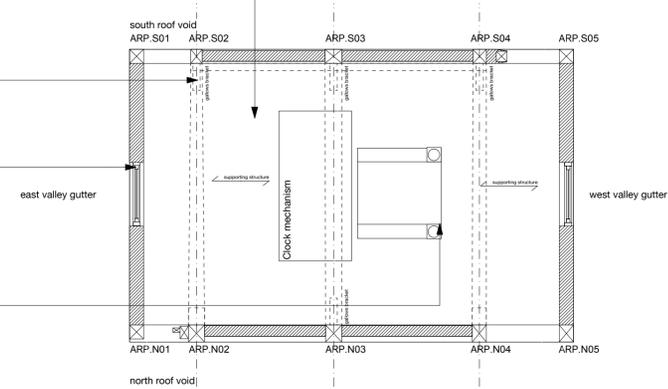
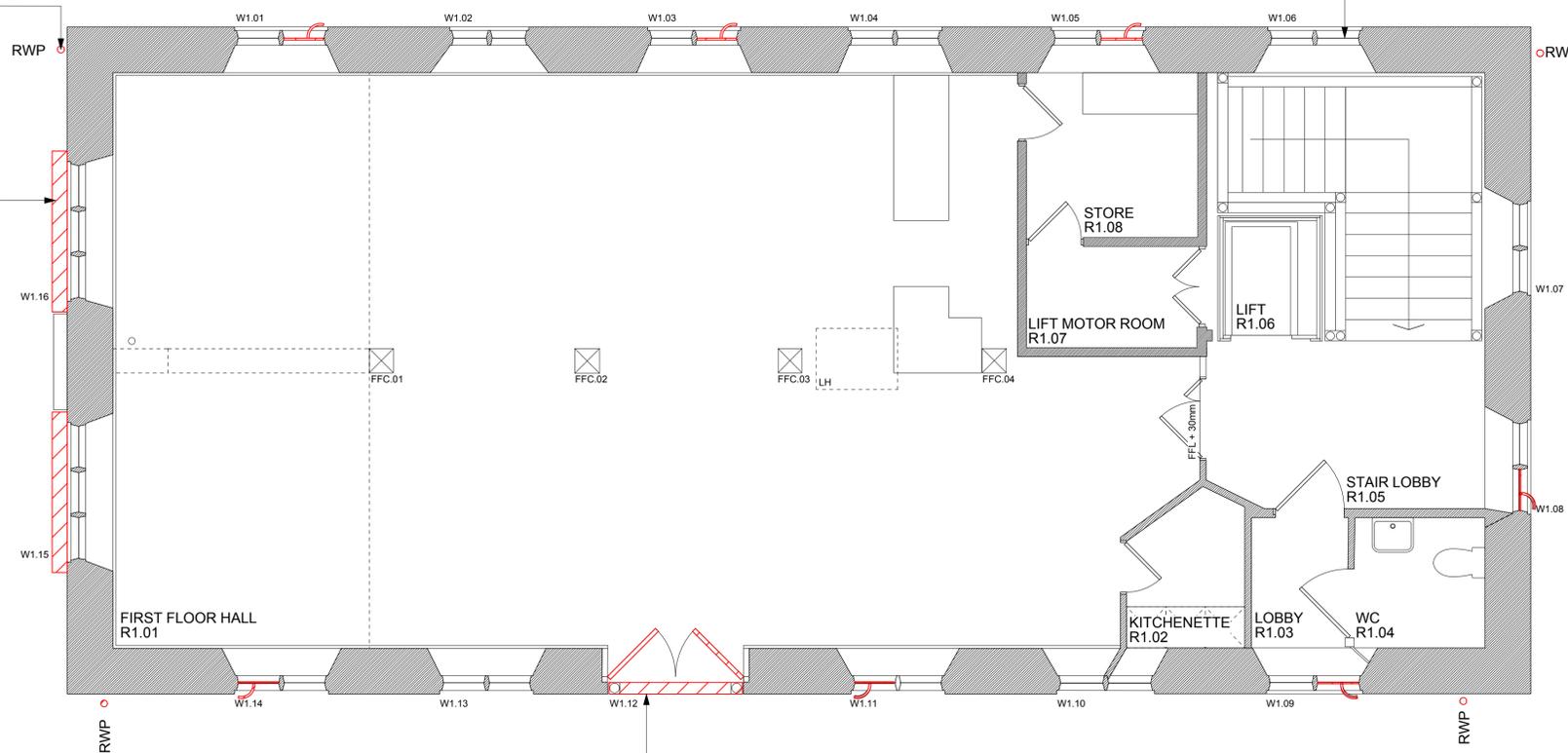
CLEAN DOWN ROOM
 Thorough clean down existing attic room, removing any unused sand bags, timber and detrius. Client to confirm requirements.

EXISTING GALLOWS BRACKETS
 Clean down surface rust from gallow brackets in readiness for redecoration.

ACCESS HATCHES
 Clean down existing window hatch ready for redecoration.
 Remove single glazed panes and make good rebate joints.

PROTECTIVE BARRIER TO LOFT ACCESS HATCH
 Provide hinged protection to existing newel posts. See detail.

WINDOWS GENERALLY
 Carefully ease existing windows and thoroughly clean down in readiness for redecoration. Return cast iron windows to an operable condition.
 Allow for 7 no. windows to be eased, cleaned down, redecorated, including frames and window stays.



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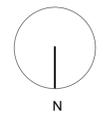
Client
 Ross-on-Wye Town Council

Project
 The Market House
 Ross-on-Wye Town Centre
 Herefordshire

Drawing Title
 First Floor and Attic Room Removals Plan

Status	Date	Drawn By
Preliminary	March 18	FH
Scale	Drawing Number	Revision
1:50@A1/ 1:100@A3	2453P(0)401	-

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RIDGE TILES REMOVAL
 Carefully remove existing ridge tiles and set aside sound tiles for relaying.
 Clean down tiles, removing mortar deposits.

NORTH RAINWATER GOODS REMOVALS
 Carefully take off rainwater outlets and allow inspection. Set aside sound gutters and rainwater pipes.
 Clean down and de-rust sound rainwater goods ready for redecoration.
 Carefully remove cast iron hoppers and allow for inspection.
 Clean down and derust hoppers ready for redecoration.

SOUTH EAST GABLE SLOPE TILE REMOVAL
 Carefully take off tiles 1 meter west of gable abutment. Complete in small sections equally to both N&S slopes equally to prevent uneven loading of roof trusses.
 Set protective covering to bays as tiles are removed.
 Set aside sound tiles and store in a safe place for relaying.
 Clean down tiles to remove surface lichen prior to setting aside
 Clean down ridge wiles to remove mortar etc.

ROOF TIMBERS REMOVAL
 Carefully take off tiling battens and tilting fillet.
 Take off existing bitumen sarking felt.
 Take off counter battens.

COPING STONES AND STONWORK REMOVAL
 Carefully remove existing coping stones and supporting stonework below to form a flat and level surface.
 Set into position temporary weather proofing to ensure no water ingress to head of wall.

FLAG POLE
 Thoroughly clean down and de-rust flag poll and stays ready for redecorating.

COPING STONES AND STONWORK REMOVAL
 Carefully remove existing coping stones and supporting stonework below to form a flat and level surface.
 Set into position temporary weather proofing to ensure no water ingress to head of wall.

SOUTH EAST GABLE SLOPE TILE REMOVAL
 Carefully take off tiles 1 meter west of gable abutment. Complete in small sections equally to both N&S slopes equally to prevent uneven loading of roof trusses.
 Set protective covering to bays as tiles are removed.
 Set aside sound tiles and store in a safe place for relaying.
 Clean down tiles to remove surface lichen prior to setting aside
 Clean down ridge wiles to remove mortar etc.

ROOF TIMBERS REMOVAL
 Carefully take off tiling battens and tilting fillet.
 Take off existing bitumen sarking felt.
 Take off counter battens.

NORTH RAINWATER GOODS REMOVALS
 Carefully take off rainwater outlets and allow inspection. Set aside sound gutters and rainwater pipes.
 Clean down and de-rust sound rainwater goods ready for redecoration.
 Carefully remove cast iron hoppers and allow for inspection.
 Clean down and derust hoppers ready for redecoration.

CEMENT RENDER REMOVAL
 Carefully remove cement render to either side of loft hatch access. Remove existing plastering laths and allow for inspection with architect to determine full condition of supporting timberwork.
 Clean down timber fascia and window hatch, removing single glazed panes.

CEMENT RENDER REMOVAL
 Carefully remove cement render to either side of loft hatch access. Remove existing plastering laths and allow for inspection with architect to determine full condition of supporting timberwork.
 Clean down timber fascia and window hatch, removing single glazed panes.

PLAIN CLAY TILE REMOVAL
 Carefully take off tiles 1.5m2 of north roof, south slope to expose tilting fillet and leadwork flashings to valley gutter. Set protective covering to bays as tiles are removed.
 Set aside sound tiles and store in a safe place for relaying.
 Clean down tiles to remove surface lichen prior to setting aside
 Clean down ridge wiles to remove mortar etc.

LEAD FLASHING
 Allow for inspection by architect existing lead flashing to gutter.

SOUTH EAST GABLE SLOPE TILE REMOVAL
 Carefully take off tiles 1 meter west of gable abutment. Complete in small sections equally to both N&S slopes equally to prevent uneven loading of roof trusses.
 Set protective covering to bays as tiles are removed.
 Set aside sound tiles and store in a safe place for relaying.
 Clean down tiles to remove surface lichen prior to setting aside
 Clean down ridge wiles to remove mortar etc.

ROOF TIMBERS REMOVAL
 Carefully take off tiling battens and tilting fillet.
 Take off existing bitumen sarking felt.
 Take off counter battens.

COPING STONES AND STONWORK REMOVAL
 Carefully remove existing coping stones and supporting stonework below to form a flat and level surface.
 Set into position temporary weather proofing to ensure no water ingress to head of wall.

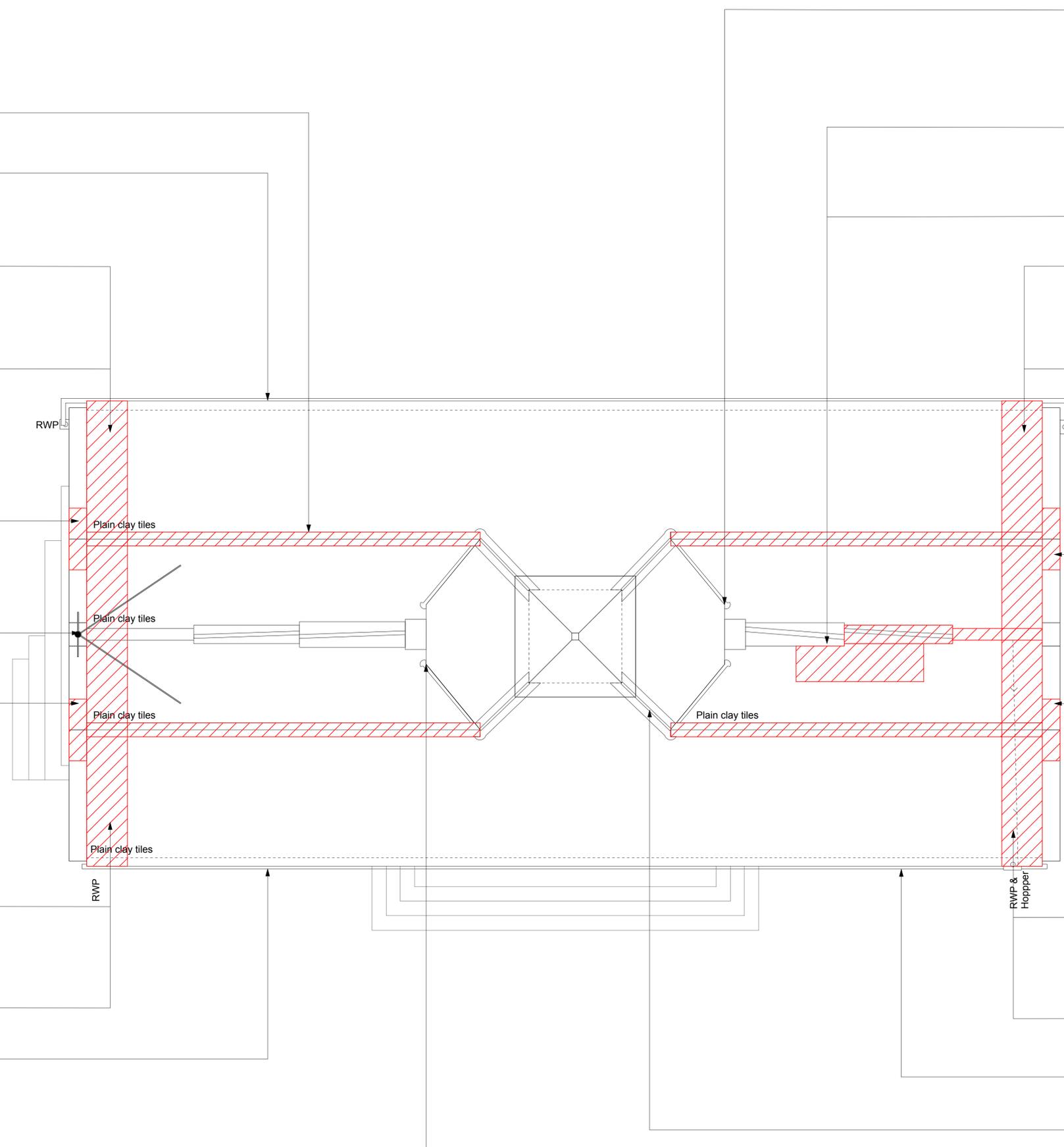
COPING STONES AND STONWORK REMOVAL
 Carefully remove existing coping stones and supporting stonework below to form a flat and level surface.
 Set into position temporary weather proofing to ensure no water ingress to head of wall.

SOUTH EAST GABLE SLOPE TILE REMOVAL
 Carefully take off tiles 1 meter west of gable abutment. Complete in small sections equally to both N&S slopes equally to prevent uneven loading of roof trusses.
 Set protective covering to bays as tiles are removed.
 Set aside sound tiles and store in a safe place for relaying.
 Clean down tiles to remove surface lichen prior to setting aside
 Clean down ridge wiles to remove mortar etc.

ROOF TIMBERS REMOVAL
 Carefully take off tiling battens and tilting fillet.
 Take off existing bitumen sarking felt.
 Take off counter battens.

RIDGE TILES REMOVAL
 Carefully remove existing ridge tiles and set aside sound tiles for relaying.
 Clean down tiles, removing mortar deposits.

LEAD RIDGE FLASHINGS TO CENTRAL TOWER ROOF BUILD UP
 Carefully remove existing lead flashings and neighbouring tiles. Set aside sound tiles to relaying in a safe place. Do not store tiles within the valley gutter. Allow for inspection of supporting timber work. Removal decayed timber.



Scheduled Ancient Monument Consent Application

Revision	Description	Date	Check	Rev



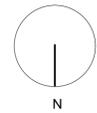
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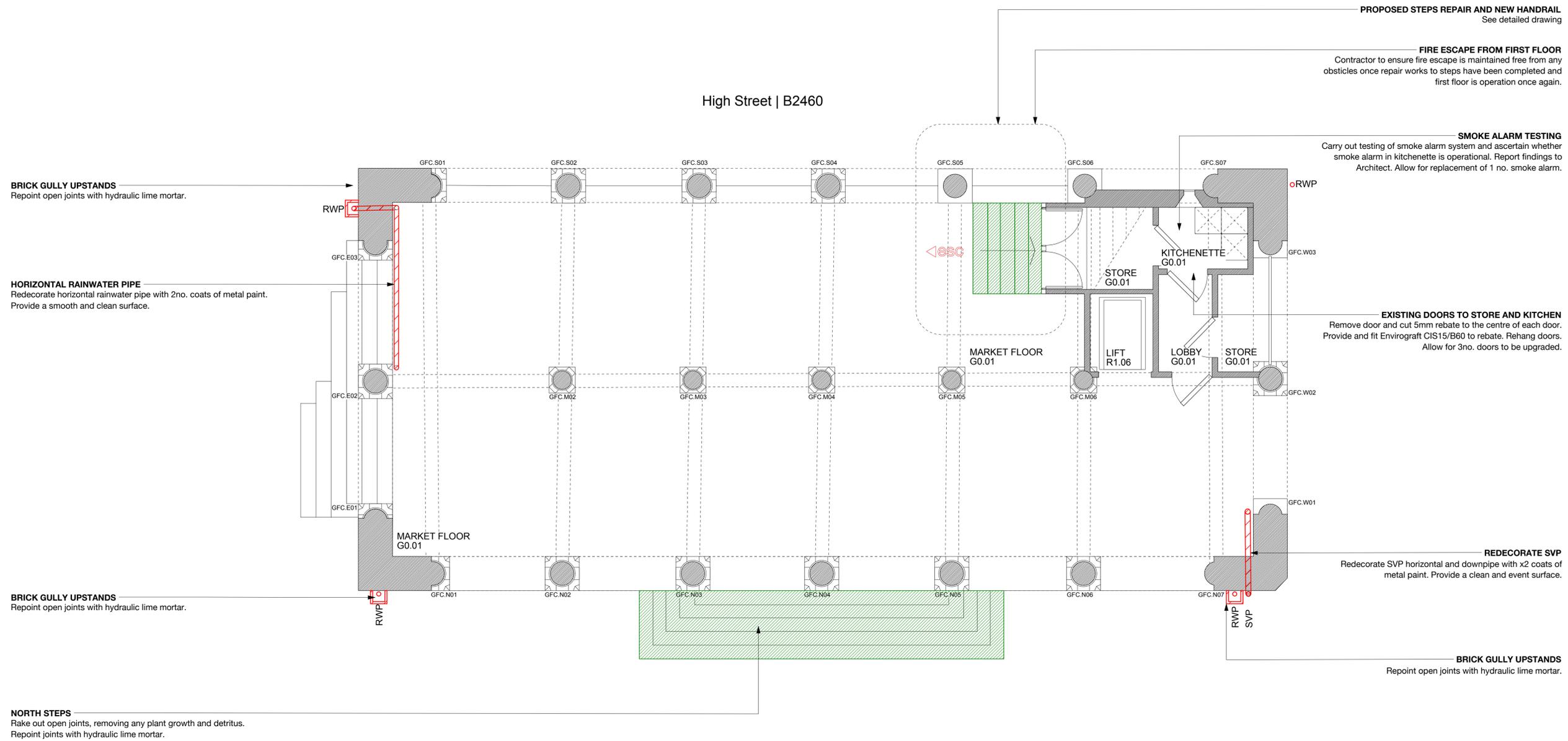
Client
 Ross-on-Wye Town Council
 Project
 The Market House
 Ross-on-Wye Town Centre
 Herefordshire
 Drawing Title
 Roof Removals Plan

Status Preliminary	Date March 18	Drawn By FH
Scale 1:50@A1/ 1:100@A3	Drawing Number 2453P(0)402	Revision -

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High Street | B2460



PROPOSED STEPS REPAIR AND NEW HANDRAIL
See detailed drawing

FIRE ESCAPE FROM FIRST FLOOR
Contractor to ensure fire escape is maintained free from any obstacles once repair works to steps have been completed and first floor is operation once again.

SMOKE ALARM TESTING
Carry out testing of smoke alarm system and ascertain whether smoke alarm in kitchenette is operational. Report findings to Architect. Allow for replacement of 1 no. smoke alarm.

EXISTING DOORS TO STORE AND KITCHEN
Remove door and cut 5mm rebate to the centre of each door. Provide and fit Envirograft CIS15/B60 to rebate. Rehang doors. Allow for 3no. doors to be upgraded.

REDECORATE SVP
Redecorate SVP horizontal and downpipe with x2 coats of metal paint. Provide a clean and event surface.

BRICK GULLY UPSTANDS
Repoint open joints with hydraulic lime mortar.

BRICK GULLY UPSTANDS
Repoint open joints with hydraulic lime mortar.

HORIZONTAL RAINWATER PIPE
Redecorate horizontal rainwater pipe with 2no. coats of metal paint. Provide a smooth and clean surface.

BRICK GULLY UPSTANDS
Repoint open joints with hydraulic lime mortar.

NORTH STEPS
Rake out open joints, removing any plant growth and detritus. Repoint joints with hydraulic lime mortar.

Scheduled Ancient Monument Consent Application

Revision	Description	Date	Check	Rev



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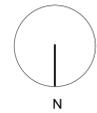
Client
Ross-on-Wye Town Council

Project
The Market House
Ross-on-Wye Town Centre
Herefordshire

Drawing Title
Proposed Ground Floor Works

Status Preliminary	Date March 18	Drawn By FH
Scale 1:50@A1 1:100@A3	Drawing Number 2453P(0)500	Revision -

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CAST IRON WINDOWS AND WINDOW STAYS

Redecorate cast iron windows and stays with 2no. metal paint to spec.
Make allowance for minor repairs to return windows into an operable condition.

RENEWAL OF PENTICE BOARDS

Fix 2no. replacement 2300x30mm oak boards with 3no. oak support brackets per board, one to each jamb and one to the centre.
Fixing with countersunk galvanised screws, 2no. to each support.
Provide new code 6 flashing over top of pentice board and form new drip. Lap flashing up face of stonework min 100mm and into the next stone joint.

NEW LEADWORK FLASHING OVER ROUNDEL

Carefully remove existing leadwork flashing over roundel and remove from site.
Provide new lead flashing dressed over roundel with a minimum upstand of 100mm.
Provide stepped dressings to existing stonework coursing.

SMOKE HOODS OVER ALL CEILING LIGHTS

Lift existing insulation and Fit Envirograf Intumescent Downlighter Cover over each ceiling light.
Reset insulation back over downlighter cover.

DOORS AND BALUSTRADE

Clean down double doors and timber balustrade, removing dirt and detritus.
Clean down and de-rust metalwork.
Re-oil door with 3no. coats of oil to spec.
Redecorate metalwork with x2 coats of metal paint to spec.
Provide a sample of re-rolling in a discrete area for approval by Architect prior to proceeding.

STRUCTURAL BRACE

Provide 100x5mm mild steel diagonal brace, affixed to the existing gallows bracket ARP.S02 and with a bolted connection to the base of ARP.S03. To structural engineers details.

EXISTING GALLOWS BRACKETS

Redecorate existing gallows brackets with 2no. coats of metal paint to spec. Allow for 4no. brackets.

VENTILATION GRILL

Form new timber support in sawn oak battens. Provide new L3 louvred ventilation air brick to external face. Provide intermediate fly mesh, and internal cast iron day slotted grill to spec.

ACCESS HATCHES

Rehang existing window to ease opening. Redecorate existing access windows with 1 undercoat and two finishing coats.
Replace existing glazing with toughened glass to spec. Ensure window is fully operational.

NEW RENDER FINISH

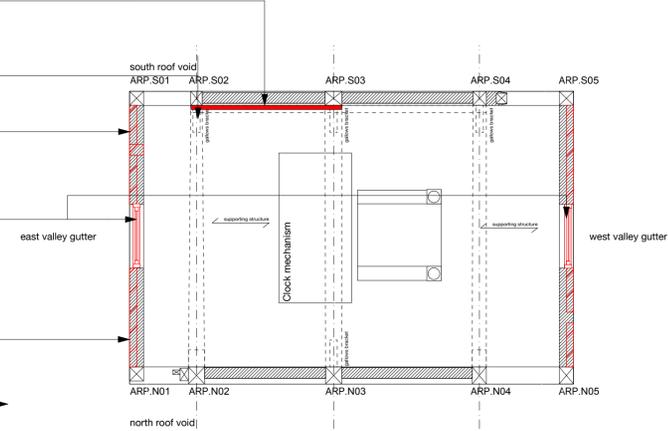
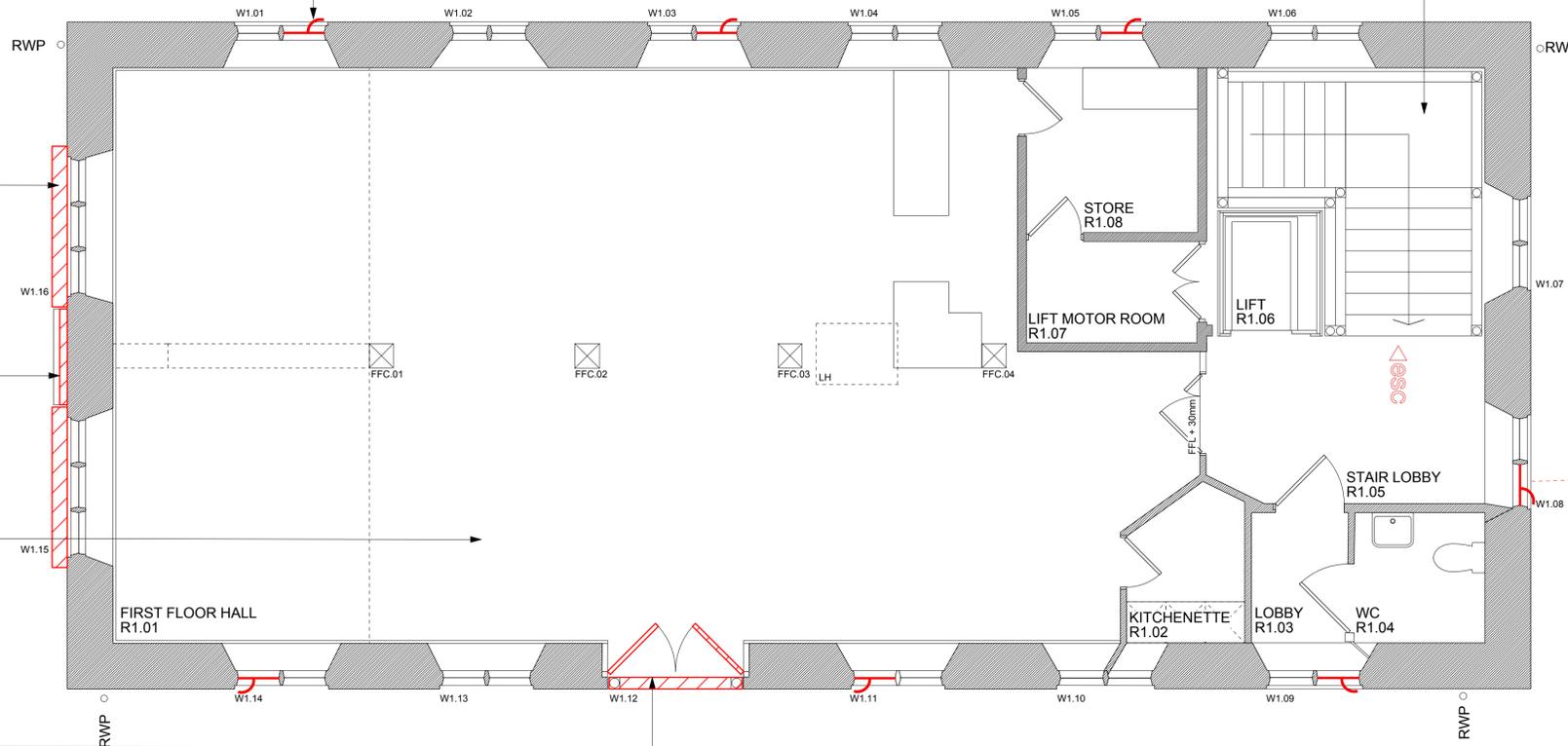
New render finish - see drawing

EXISTING SPOT LIGHTS TO FIRST FLOOR

Lift existing insulation around spot lights and provide Envirograf downlight covers over existing spot lights.

FIRE ESCAPE FROM FIRST FLOOR
Contractor to ensure fire escape is maintained free from any obstacles once repair works to steps have been completed and first floor is operation once again.

TELECOMS LINE
Resecure existing telecoms line into the building through existing ventilation medallion



Scheduled Ancient Monument Consent Application

Revision	Description	Date	Check	Rev



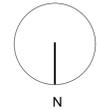
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Client
Ross-on-Wye Town Council
Project
The Market House
Ross-on-Wye Town Centre
Herefordshire
Drawing Title
Proposed First Floor and Attic Room Works

Status	Date	Drawn By
Preliminary	March 18	FH
Scale	Drawing Number	Revision
1:50@A1 1:100@A3	2453P(0)501	-

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EXISTING LEAD RIDGES
Provide new code 6 lead hip flashing with a minimum of 150mm lap to existing flashing. Clip edges at 300mm centres

RIDGE TILES SOUTH ROOF
Cut out existing ridge tiles and set set back into position with hydraulic lime mortar. Allow for 30% replacement tiles.

RAINWATER GOODS
Redecorate previously set aside sound rainwater goods with metal paint to spec. Provide an event and clean surface finish. Reset new and redecorated rainwater pipes back into position with new brackets and fixings.

Space rainwater from stonework with air dried oak spacers 135x60x35mm. Secure rainwater pipes to existing fixing grounds with resin anchors and 125mm cross head screws to be painted black.

REPLACEMENT COPING STONE
Provide new coping stone to replace delaminated stone. Allow stone section size 500x350x50mm. Bed new stone with hydraulic lime mortar.

REPOINTING TO COPING
Repoint open joints to coping stones with hydraulic lime mortar.

EXISTING COPING STONES
Provide new single coping stone to head of wall. Allow stone section size to be 800x400x350mm. Bed with hydraulic lime mortar. Repoint remaining coping stones and stonework below new ridge stone with hydraulic lime mortar. Allow 4no. ridges to be replaced.

FLAG POLE
Redecorate flag pole and stays with metal paint to spec.

COPING STONE REPLACEMENT
Provide new coping stone to parapet wall. Allow stone section size 500x350x50mm.

VALLEY GUTTER AND OUTLET
Allow for replacing gutter boards 25mm thick sw and ex 100x75 sw tilting fillet. Lay new code 6 lead valley guttering to 2no. bays. Dress up roof slopes and over tilting fillet.

Form new code 6 box outlet for rainwater pipe through north west roof void. Lower western remaining bay to outlet. Make allowance for lowering outlet to provide overflow with drip. See detail.

REPLACEMENT LEAD FLASHINGS
Provide new code 4 lead soakers to clay tiles. Set into position new code 5 cover flashings lapped below the existing coping stones with minimum of 100mm lap. Set underside of lead 5mm above tile surface.

All lead work in accordance with the Lead Sheet Association

Relay previously set aside tiles and new tiles as required. Allow for 25% replacement tiles.

NEW FLASHINGS TO ACCESS WALL
Relay previous set aside tiles and provide new code 4 lead soaker to tiles. Set into position new code 5 cover flashings lapped below new galvanised render bead.

RE-DRESSING LEADWORK
Re-dress leadwork into new gutter above access hatch.

SLIPPED AND MISSING TILES GENERALLY
Allow for the replacement of 100 plain clay tiles to match existing in various areas. Reset back into position slipped tiles, allow 50no tiles.

ROOF ABUTMENT RETILING
Make allowance for inspection of existing timber with Architect. Include for making good defective or decayed timbers with piecing in sections of air dried oak in discrete locations. Allow 10 linear meters; size 150x75mm; glue into position and fix with stainless steel screws countersunk. Allow for replacement bitumen felting membrane. Make allowance for replacement of of battens with 25x38mm treated battens to match existing coursing and tile line. Relay previous set aside tiles back into position. Allow for 25% replacement tiles..

VALLEY GUTTER AND OUTLET
Allow for replacing gutter boards 25mm thick sw and ex 100x75 sw tilting fillet. Lay new code 6 lead valley guttering to 2no. bays. Dress up roof slopes and over tilting fillet.

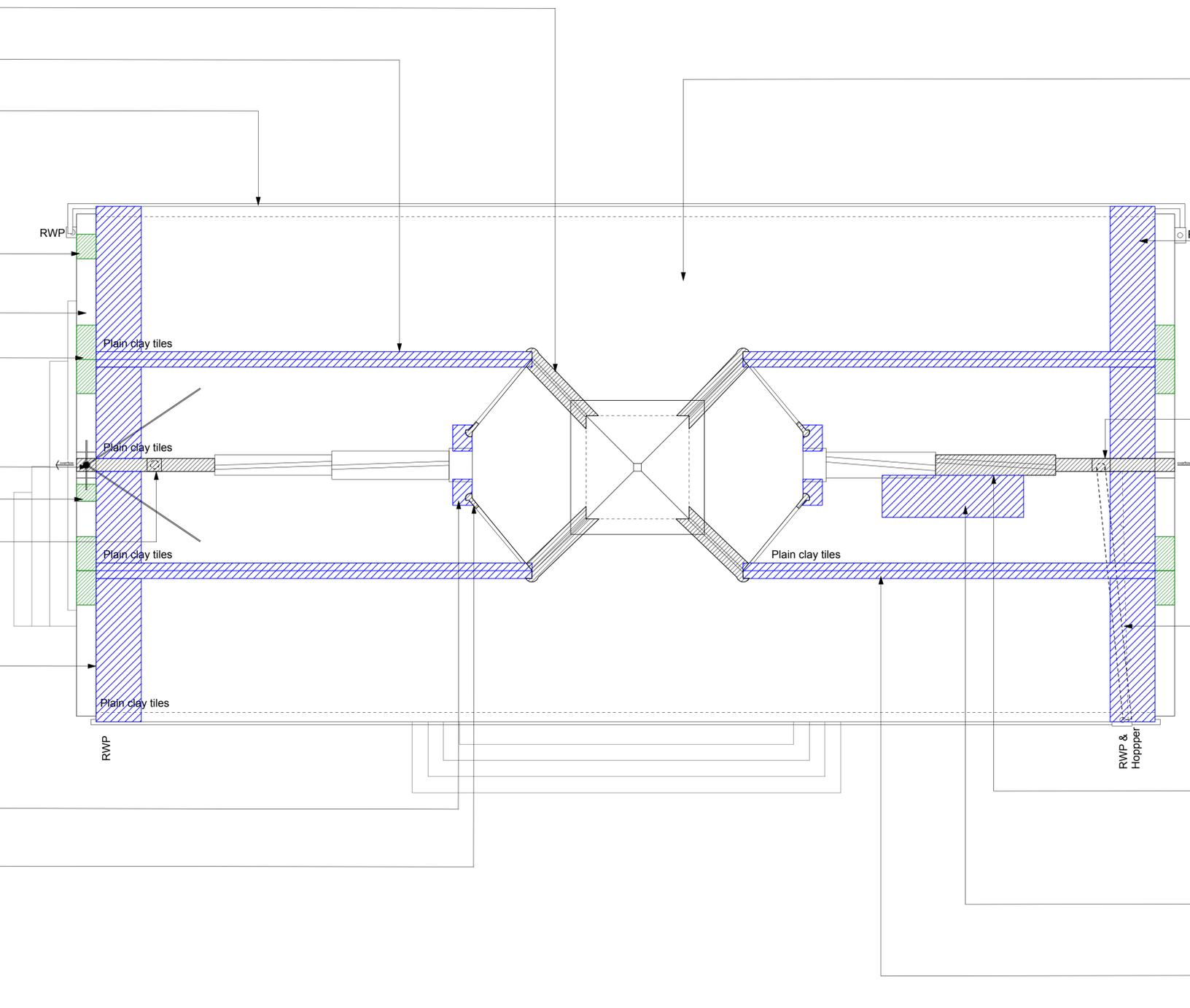
Form new code 6 box outlet for rainwater pipe through north west roof void. Lower western remaining bay to outlet. Make allowance for lowering outlet to provide overflow with drip. See detail

INTERNAL GUTTER
Provide new internal UPVC 100mm diameter rainwater pipe from newly formed lead box gutter to existing cast iron hopper head on north elevation.

NEW LEAD SACRIFICIAL FLASHING
Remove sacrificial lead flashing to allow inspection with Architect. Provide replacement code 6 lead sacrificial flashing dressed over existing tilting fillet into gutter. In accordance with LSA details.

RETILING TO NORTH ROOF SOUTH SLOPE
Relay previously set aside tiles and new tiles as required. Allow for 25% replacement tiles. Make allowance for replacement treated 25x38mm sw tiling battens.

RIDGE TILES NORTH ROOF
Cut out existing ridge tiles and set set back into position with hydraulic lime mortar. Allow for 30% replacement tiles.



Scheduled Ancient Monument Consent Application

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Client
Ross-on-Wye Town Council

Project
**The Market House
Ross-on-Wye Town Centre
Herefordshire**

Drawing Title
Proposed Roof Plan

Status Preliminary	Date March 18	Drawn By FH
Scale 1:50@A1/ 1:100@A3	Drawing Number 2453P(0)502	Revision -

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COPING STONES RENEWAL
See East and West elevations.

CAST IRON OPENABLE WINDOWS
Redecorate cast iron windows and stays with 2no. metal paint to spec.
Make allowance for minor repairs to return windows into an operable condition.

TIMBER DOUBLE DOORS AND BALLUSTRADING
Clean down double doors and timber ballustrade, removing dirt and detritus.
Clean down and de-rust metalwork.
Re-oil door with 3no. coats of oil to spec.
Redecorate metalwork with x2 coats of metal paint to spec.
Provide a sample of reoiling in a discrete area for approval by Architect prior to proceeding.

RAINWATER PIPES AND SVP
Redecorate previously set aside sound rainwater goods with metal paint to spec. Provide an event and clean surface finish.
Reset new and rededecorated rainwater pipes back into position with new brackets and fixings.

Space rainwater from stonework with air dried oak spacers 135x60x35mm. Secure rainwater pipes to existing fixing grounds with resin anchors and 125mm cross head screws to be painted black.

Redecorate SVP horizontal and downpipe with x2 coats of metal paint. Provide a clean and event surface.

ACCESS STEPS
Rake out open joints, removing any plant growth and detritus.
Repoint joints with hydraulic lime mortar.



Scheduled Ancient Monument Consent Application

Revision	Description	Date	Check	Rev
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Client
Ross-on-Wye Town Council

Project
The Market House
Ross-on-Wye Town Centre
Herefordshire

Drawing Title
Proposed North Elevation

Status Preliminary	Date March 18	Drawn By FH
Scale NTS	Drawing Number 2453P(0)550	Revision -

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FLAGPOLE AND STAYS
 Thoroughly clean down and de-rust flag poll and stays ready for redecorating.
 Redecorate flag pole and stays with metal paint to spec.
 Renew ropes and allow for new pulley at top of pole.

REPLACEMENT RIDGE STONE
 Provide new single coping stone to head of wall. Allow stone section size to be 800x400x350mm. Bed to wall with hydraulic lime mortar. Repoint remaining coping stones and stonework below new ridge stone with hydraulic lime mortar.
 Allow 4no. ridges to be replaced.

REPLACEMENT COPING STONES
 Provide new coping stone to replace delaminated stone. Allow stone section size 500x350x50mm. Bed new stone with hydraulic lime mortar.

REPLACEMENT COPING STONES
 Provide new coping stone to replace delaminated stone. Allow stone section size 500x350x50mm. Bed new stone with hydraulic lime mortar.

REPLACEMENT COPING STONES
 Provide new coping stone to replace delaminated stone. Allow stone section size 1500x350x50mm. Bed new stone with hydraulic lime mortar.

VALLEY GUTTER OVERFLOW OUTLET
 Provide new code 6 lead work to valley gutter (see roof plan)
 Tightly dress upstands to existing stonework and form new outlet to detail.
 Make allowance for minor stone cutting to ensure adequate falls and outlet position.

PENTICE BOARDS
 Fix 2no. replacement 2300x30mm oak boards with 3no. oak support brackets per board, one to each jamb and one to the centre.
 Fixing with countersunk galvanised screws, 2no. to each support.
 Provide new code 6 flashing over top of pentice board and form new drip. Lap flashing up face of stonework min 100mm and into the next stone joint.

RAINWATER PIPES
 Redecorate previously set aside sound rainwater goods with metal paint to spec. Provide an event and clean surface finish.
 Reset new and redecorated rainwater pipes back into position with new brackets and fixings.

Space rainwater from stonework with air dried oak spacers 135x60x35mm. Secure rainwater pipes to existing fixing grounds with resin anchors and 125mm cross head screws to be painted black.

Scheduled Ancient Monument Consent Application

Revision	Description	Date	Check	Rev



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Client
 Ross-on-Wye Town Council
 Project
 The Market House
 Ross-on-Wye Town Centre
 Herefordshire
 Drawing Title
 Proposed East Elevation

Status Preliminary	Date March 18	Drawn By FH
Scale NTS	Drawing Number 2453P(0)551	Revision -

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REPLACEMENT RIDGE STONE
Provide new single coping stone to head of wall. Allow stone section size to be 800x400x350mm. Bed to wall with hydraulic lime mortar. Repoint remaining coping stones and stonework below new ridge stone with hydraulic lime mortar. Allow 4no. ridges to be replaced.

ROOF WORKS
See proposed roof plan

GUTTER LINE
Provide telescopic gutter brackets fixed to stonework on new air dried oak spacers.

VALLEY GUTTER OVERFLOW OUTLET
Provide new code 6 lead work to valley gutter (see roof plan) Tightly dress upstands to existing stonework and form new outlet to detail. Make allowance for minor stone cutting to ensure adequate falls and outlet position.

TELECOMS LINE
Resecure existing telecoms line into the building through existing ventilation medallion

CAST IRON OPENABLE WINDOWS
Redecorate cast iron windows and stays with 2no. metal paint to spec. Make allowance for minor repairs to return windows into an operable condition.

ALGAEAL GROWTH
Brick down green algal staining to stonework with a stiff brush

RAINWATER PIPE AND HOPPERS
Redecorate previously set aside sound rainwater goods with metal paint to spec. Provide an event and clean surface finish. Reset new and redecorated rainwater pipes back into position with new brackets and fixings.

Space rainwater from stonework with air dried oak spacers 135x60x35mm. Secure rainwater pipes to existing fixing grounds with resin anchors and 125mm cross head screws to be painted black.

Scheduled Ancient Monument Consent Application

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Client
Ross-on-Wye Town Council

Project
The Market House
Ross-on-Wye Town Centre
Herefordshire

Drawing Title
Proposed West Elevation

Status Preliminary	Date March 18	Drawn By FH
Scale 1:5@A1 / 1:10@A3	Drawing Number 2543P(0)553	Revision -



CLOCK TOWER
 Provide access tower to make a close inspection of exterior of clock tower.
 Allow for inspection by Architect.
 Repoint cracks with hydraulic lime mortar.

MISSING AND SLIPPED TILES
 See proposed roof plan.

CLOCK TOWER
 Provide access tower to make a close inspection of exterior of clock tower.
 Allow for inspection by Architect.
 Repoint cracks with hydraulic lime mortar.

NEW GUTTERING TO FASCIA BOARD
 Provide new 68mm half round cast iron gutter along gutter with 200mm of rainwater pipe and offset shoe to south roof, north slope.

TIMBER FASCIA BOARD
 Remove existing decayed timber fascia board and provide new air dried oak board to be painted black

ACCESS WINDOW
 Rehang existing window to ease opening. Redecorate existing access windows with 1 undercoat and two finishing coats. Replace existing glazing with toughened glass to spec. Ensure window is fully operational.

REDRESSING LEAD SOAKER
 Redress existing leadwork into new cast iron gutter.

CEMENT BASED RENDER
 Hack of and remove from site cement based render.
 Remove existing timber laths.
 Allow for inspection of supporting timber.
 Set temporary water proofing into position to prevent water ingress

LEAD FLASHING
 Provide new code 4 lead soakers with code 5 cover flashing

VENTILATION TO ATTIC ROOM
 Form new timber support in sw oak battens. Provide new L3 louvred ventilation air brick to external face. Provide intermediate fly mesh, and internal cast iron day 104 grill to spec.

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Client
 Ross-on-Wye Town Council

Project
 The Market House
 Ross-on-Wye Town Centre
 Herefordshire

Drawing Title
 Proposed works to East access hatch and wall

Status Preliminary	Date March 18	Drawn By FH
Scale NTS	Drawing Number 2453P(0)554	Revision -

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CLOCK TOWER
 Provide access tower to make a close inspection of exterior of clock tower.
 Allow for inspection by Architect.
 Repoint cracks with hydraulic lime mortar.

NEW LEAD HIPS
 Provide new code 6 lead hip flashing with a minimum of 150mm lap to existing flashing. Clip edges at 300mm centres

MISSING AND SLIPPED TILES
 See proposed roof plan.

CEMENT BASED RENDER
 Hack of and remove from site cement based render.
 Remove existing timber laths.
 Allow for inspection of supporting timber.
 Set temporary water proofing into position to prevent water ingress

NEW GUTTERING TO FASCIA BOARD
 Provide new 68mm half round cast iron gutter along gutter with 200mm rainwater pipe with offset shoe to south roof, north slope.

REDRESSING LEAD SOAKER
 Redress existing leadwork into new cast iron gutter.

TIMBER FASCIA BOARD
 Remove existing decayed timber fascia board and provide new air dried oak board to be painted black

ACCESS WINDOW
 Rehang existing window to ease opening. Redecorate existing access windows with 1 undercoat and two finishing coats. Replace existing glazing with toughened glass to spec. Ensure window is fully operational.

LEAD FLASHING
 Provide new code 4 lead soakers with code 5 cover flashing

VENTILATION TO ATTIC ROOM
 Form new timber support in sw oak battens. Provide new L3 louvred ventilation air brick to external face. Provide intermediate fly mesh, and internal cast iron day 104 grill to spec.

EXISTING ROOFING TILING
 Remove existing plain clay tiles and set aside for relaying.
 See proposed roof plan.

Scheduled Ancient Monument Consent Application

Revision	Description	Date	Check	Rev
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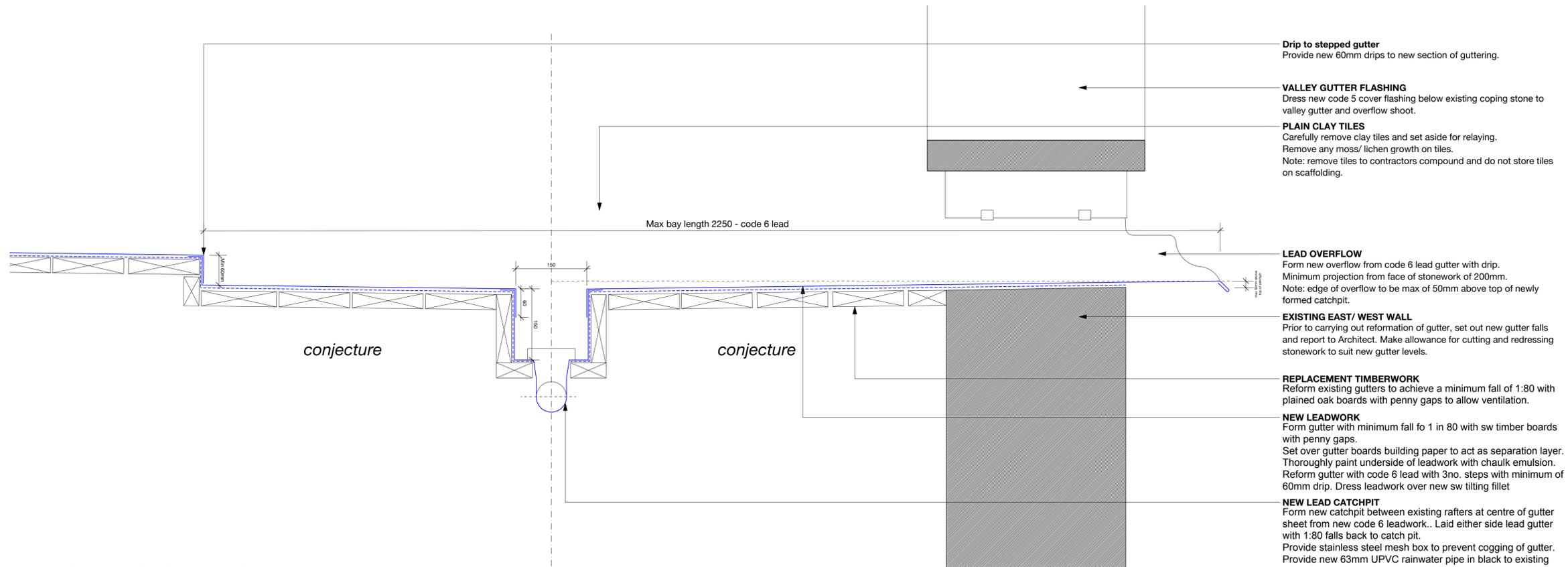
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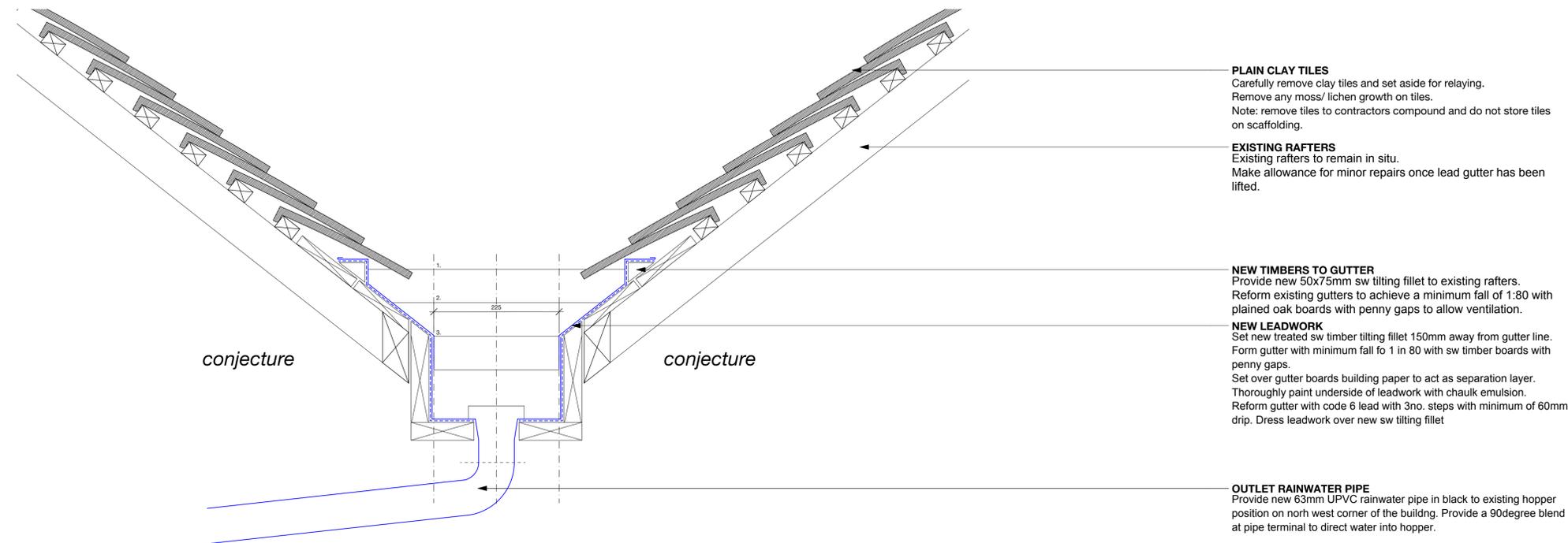
Client
 Ross-on-Wye Town Council
 Project
 The Market House
 Ross-on-Wye Town Centre
 Herefordshire
 Drawing Title
 Proposed works to West access hatch and wall

Status Preliminary	Date March 18	Drawn By FH
Scale NTS	Drawing Number 2453P(0)555	Revision -

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01 Proposed Valley Gutter - Long Section
 1:5@A1



02 Proposed Catchpit - Short Section
 1:5@A1

601 Proposed Lead Details
 NTS

Scheduled Ancient Monument Consent Application

Revision	Description	Date	Check	Rev
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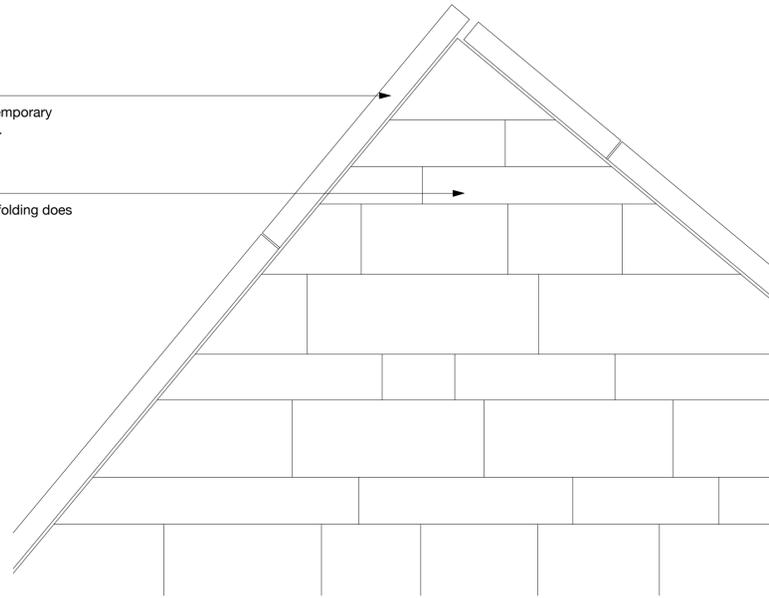
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Client
 Ross-on-Wye Town Council
 Project
 The Market House
 Ross-on-Wye Town Centre
 Herefordshire
 Drawing Title
 Proposed Lead Details

Status Preliminary	Date March 18	Drawn By FH
Scale 1:5@A1 / 1:10@A3	Drawing Number 2453P(0)601	Revision -

EXISTING COPING STONES
Remove existing coping stones and set into position temporary water proofing to prevent water ingress to head of wall.

EXISTING STONEMWORK
Protect insitu. existing stonework and ensure that scaffolding does not damage the face of the stonework.



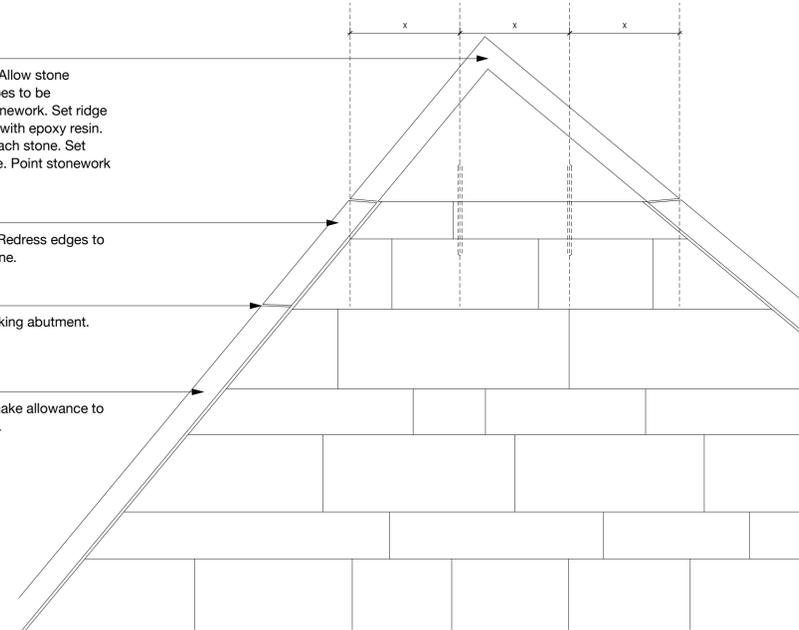
01 Existing Ridge Stone
1:10@A1

RIDGE STONE
Provide new single coping stone to head of wall. Allow stone section size to be 800x400x350mm. Existing slopes to be accurately templated and replicated with new stonework. Set ridge stone into position with 4 no. stainless steel rods with epoxy resin. Rod to have a minimum bearing of 125mm into each stone. Set rods into stonework and not assumed rubble core. Point stonework joint with hydraulic lime mortar.

INFILL COPING STONE
Reuse previously removed coping stone as infill. Redress edges to form an interlocking joint with existing coping stone.

NEW COPING ABUTMENTS
Redress existing coping stones to form a interlocking abutment. Ensure lap to dispell water.

EXISTING SOUND COPING STONE
Leave insitu. sound coping stones and protect; make allowance to repoint any open joints with hydraulic lime mortar.



02 Proposed Ridge Stone
1:10@A1

NEW LIME RENDER
Remove existing cement based render and cart away from site. Provide a new galvanised render drip.

NEW LATHS
Remove existing timber laths and cart away from site. Make allowance for complete removal of any previous fixings to existing substrate. Provide new split hazel laths over substrate, leaving penny gap for lime render key. Secure into position with stainless steel nails at 200mm centres.

RENDERING SUBSTRATE
Make allowance for full inspection with Architect on conditions of existing timbers. Cut out decayed timber and replace with new dried oak with sections sizes to match existing.

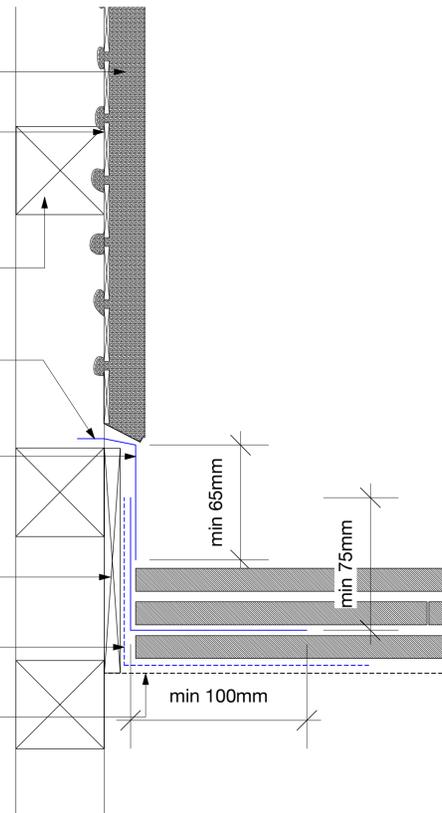
LEAD FIXING
Set into position new 50x50mm angled sawn oak bearer to match angle of existing roof. Provide stainless steel fixings screws at 450mm centres

NEW LEADWORK ABUTMENT FLASHING
Carefully remove existing lead soakers and cart away from site. Set into position new code XX lead soakers with minimum upstand of 75mm. Reset previous set aside clay tiles. Provide new cover flashing with minimum upstand of 65mm.

SUBSTRATE BOARD
Provide new 9x130mm sawn oak board as substrate to new leadwork. Fix to existing substrate with stainless steel screws.

NEW UNDERLAY
Set new bitumen underlay over existing with minimum lap of 250mm. Set underlay up wall behind lead soakers.

EXISTING UNDERLAY
Existing underlay to remain insitu. Make allowance for inspection with Architect.



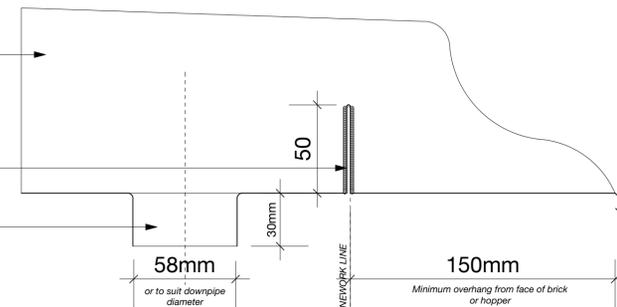
03 Proposed Render Flashing Detail
1:2@A1

OVERFLOW WEIR
Form new overflow weir with code 6 leadwork.

OVERFLOW WEIR
Provide a minimum of 50mm upstand as weir.

OVERFLOW WEIR
30mm outlet within existing hopper

STONE FACEWORK OR HOPPER



Precedent image

04 Overflow Over Hoppers
1:10@A1

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Scheduled Ancient Monument Consent Application

Revision	Description	Date	Check	Rev
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Project
The Market House
Ross-on-Wye Town Centre
Herefordshire

Drawing Title
Proposed Ridge Stone and Lead Details

Status	Date	Drawn By
Preliminary	March 18	FH
Scale	Drawing Number	Revision
1:50@A1 1:100@A3	2543P(0)602	-

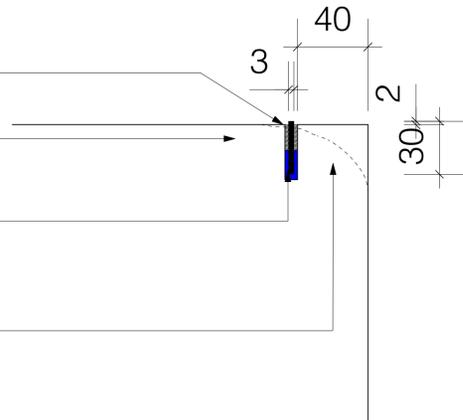
602 Proposed Details
1:50@A1/ 1:100@A3

POINTING
Point open joint above resin with hydraulic lime mortar

NEW AND EXISTING STONE STEPS
Carefully cut a slot 40mm away from the front edge of the stonework with guide to ensure a straight and true cut.

NEW EDGING STRIP
Inlay 30x3mm bronze strip into cut and resin into position. Ensure resin does not overflow to face of stonework. 2mm to stand proud of the top finished level of stone.

EXISTING STONE STEPS WITH ROUNDED EDGES
Make allowance to vary spacing of bronze strip for steps with rounded edges

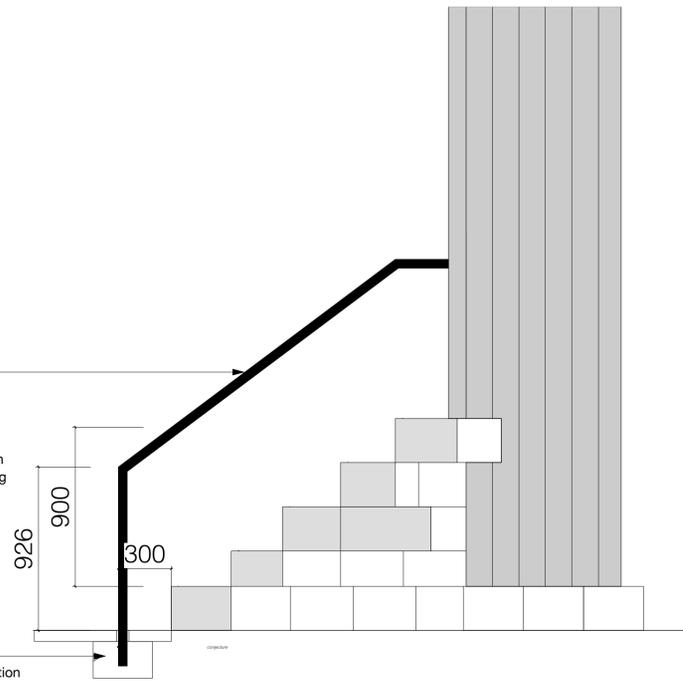


05 Stone Edging Detail
1:2@A1

NEW HANDRAIL
50mm diameter steel handrail powdercoated black. joints in steel sections to be welded and ground to form a clean and crisp edge of new joints.

Fabricator to submit full shop drawings for final consultation with HE and Architect. Fabricator to advise further on method of fixing and suitability.

POST SEATING
Existing sandstone slab to be carefully taken up to allow installation of post in new concrete foundation. New concrete foundation to min 400x400x500mm. If possible, bolt new post to existing post substrate. contractor to make allowance for variance once opening up works have been complete. Reset slab back into position with hydraulic lime mortar.

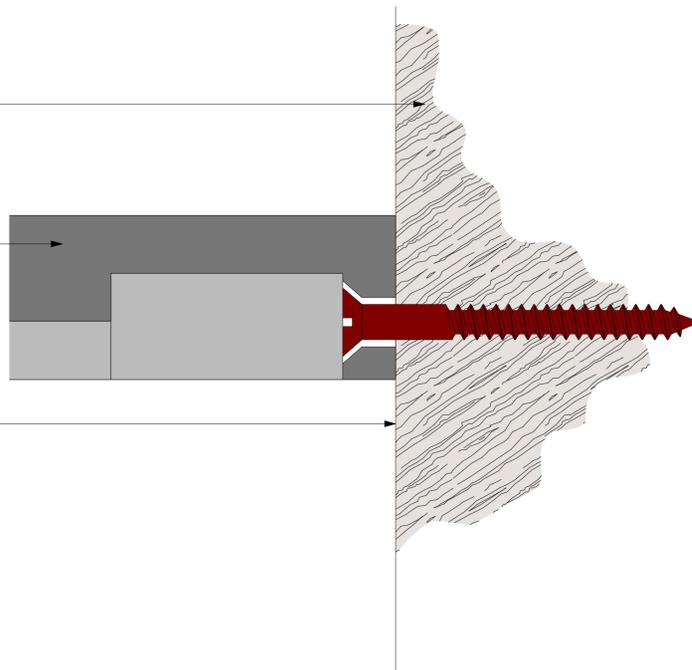


02 Proposed New Handrail
1:10@A1

EXISTING TIMBER STAIRCASE ENCLOSURE
Fixings from previous hand rail to be packed and glued with new air dried oak sections. New timber to be sanded back to give a smooth surface.

HANDRAIL
Contractor to submit shop drawings for approval prior to any fabrication. Handrail to have concealed fixings to allow x2no. M10 bolts to timber staircase enclosure. Fabricator to submit full shop drawings for final consultation with HE and Architect. Fabricator to advise further on method of fixing and suitability.

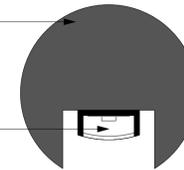
EXISTING TIMBER STAIRCASE ENCLOSURE
Timber enclosure to receive painted finish



03 Proposed Hand Rail Connection Detail
1:1@A1

PROPOSED HAND RAIL
50mm solid steel section hand rail to have cut out for recessed LED lighting. Fabricator to submit full shop drawings for final consultation with HE and Architect. Fabricator to advise further on method of fixing and suitability.

PROPOSED LED LIGHTING
Colinwood or similar approved LED strip lighting in SM7 Profile. Lights to be connected to light sensor and timer to operate to clients set times.



04 Proposed Hand Rail
1:10@A1

603 Proposed Hand Rail and Step Edges
1:50@A1/ 1:100@A3

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Drawing Title
Proposed Hand Rail and Step Edges

Status Preliminary	Date May 18	Drawn By FH
Scale 1:50@A1 1:100@A3	Drawing Number 2543P(0)603	Revision -



01. Entrance Steps South Edge

EXISTING HAND RAILS

Carefully remove existing hand rails and cart away from site. Make good bolt and fixing holes in existing timber posts with oak section planed and sanded to give a flush surface. Redecorate new patch with black paint to match existing.

TEMPORARY PROPPING

Provide temporary propping to steps and substrate as required.

STONES TO BE RETAINED

Make allowance to carefully lift stones to be retained and set aside for relaying. Clean stone, removing any dirt, detritus and paint residue.

STEP 002

Carefully cut away decayed stone and cart away from site. Provide new Herefordshire Grey sandstone size 350x2100x300mm to be dressed to match existing. Bed new stone with hydraulic lime mortar.

STEP 001

Carefully cut away decayed step stone and cart away from site. Provide new Herefordshire grey satone section size 350x1600x300mm to be dressed to match existing. Bed new stone with hydraulic lime mortar.

Prior to carrying out any removal works, contractor to submit a method statement for approval by Architect for working practice, sequence of works and methods.

NOTE:

Works to entrance steps to be completed first to allow first floor gallery space to reopen and to keep closure to a minimum. Make allowance for adaptation of contractors compound during project.

DECAYED STONE

Carefully cut stone back to form a level and clean surface. Hand tools only permitted, **do not** use powertools. Contractor to submit 3no. samples of new stonework to ensure a close match. Clean out opening removing spalled stone; cart away from site. Provide new replacement facework, drill and dowel into position. Allow for replacement stone in various sizes to match existing coursing to a depth of 150mm. Point joints with hydraulic lime mortar.

EXISTING PIPE

Contractor to ascertain whether pipe is in use. Make allowance for its removal; cart away from site.

DECAYED COBBLE STONE

Cut out decayed cobblestones from between GFC.S05 and GFC.S06; cart away from site. Provide replacement stones into existing positions and set in to position with hydraulic lime mortar.



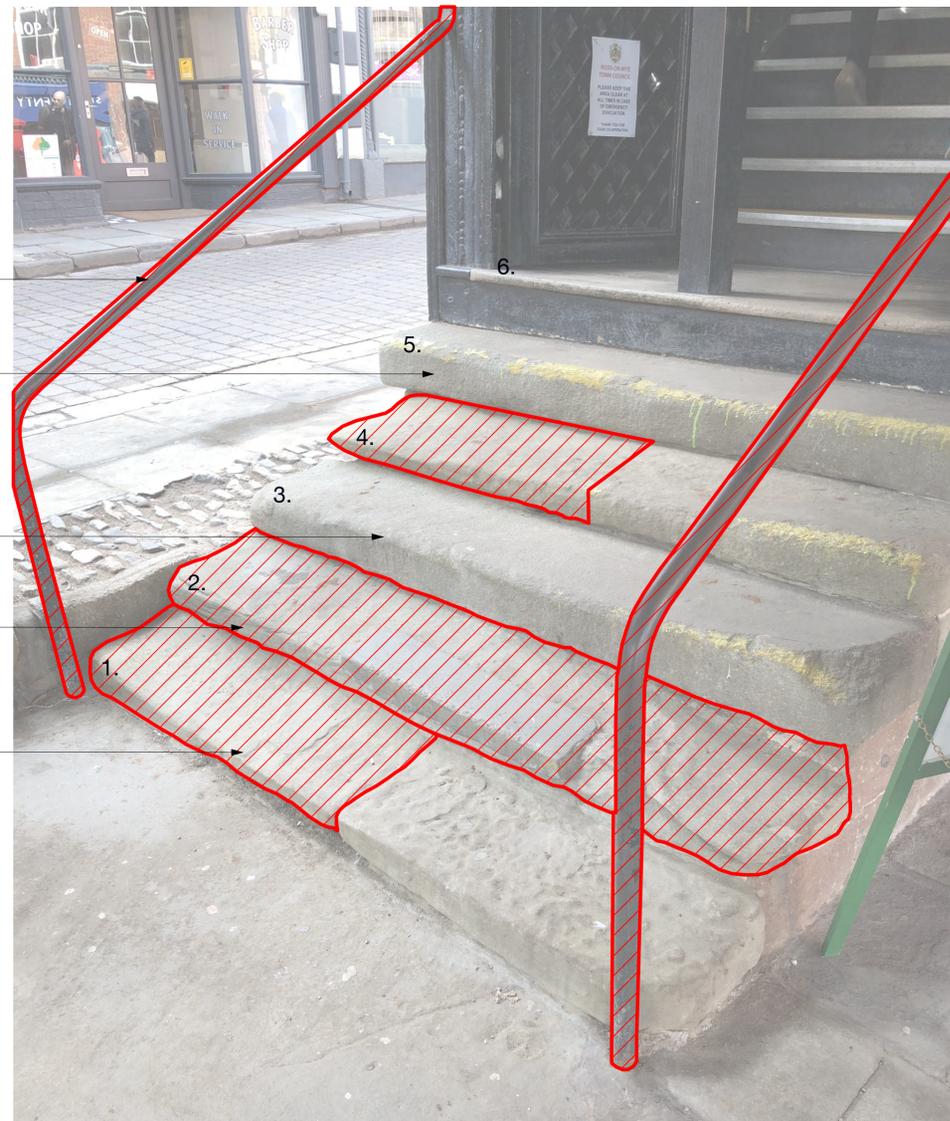
02. Entrance Steps South Edge



03. Entrance Steps North Edge



04. Entrance Steps North Edge



01 Replacement Stone to Entrance Steps
NTS



02 Replacement Stone to South Wall
NTS

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Project
The Market House
Ross-on-Wye Town Centre
Herefordshire

Drawing Title
Proposed Entrance Steps Repairs

Status Preliminary	Date Aug 2018	Drawn By FH
Scale 1:100@A1 / 1:200@A3	Drawing Number 2453P(0)556	Revision -