



Harmony Works

*Canada House,
Commercial Street,
Sheffield*

Harmony Works Design Report,
at completion of RIBA Stage 3
May 2024



■ Evans Vettori

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Client

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Project Overview

This Design Report has been prepared by Evans Vettori Architects Ltd. on behalf of Harmony Works Trust in relation to the refurbishment, change of use and extension of the Grade II* Listed building Canada House, Sheffield, into a home for Harmony Works.

It is accompanied by, and should be read in conjunction with the drawings and the other consultants reports.

Evans Vettori Architects are excited for the opportunity to restore the previous Sheffield United Gas Light Company Offices, into a vibrant and revitalised space to bring together the city’s two main deliverers of music education with their partners in a single accessible place, providing unparalleled opportunities for creative collaboration and public performance.

The proposal for the development is to reuse and extend Canada House, a grade II* listed building in the heart of Sheffield, to create ‘Harmony Works’ a home for music education in the region. It will accommodate a range of uses, including music teaching, rehearsal, recording, community and performance spaces, along with a public café and office spaces for the resident organisations, partner organisations and other organisations.

Sheffield Telegraph, Friday, October 20, 1989

TELEGRAPH NEWS

One of Sheffield's finest buildings is set for a fresh lease of life. **Peter Kay** reports

New role for a grand old lady

ONE of Sheffield's finest classical buildings is to be restored and extended for an office development.

And there are hopes that the refurbished premises could become the prestigious headquarters for a major company.

The scheme will create about 50,000 square feet of office space at the former Gas Board offices, last used as Turn Ups night club, off Commercial Street and Shude Hill.

Council planners have granted conditional planning permission after Sheffield Conservation Advisory Group and the Victorian Society welcomed "the sensitive treatments proposed for one of Sheffield's grandest buildings."

The refurbishment and restoration work is being drawn up by Eyam-based architects David Lewis Associates on behalf of Canadian Business Parks Ltd of Leighton Buzzard who own the premises.

David Lewis, principal of David Lewis Associates, described the listed building as "a very fine classical building both inside and out. The inside is breathtaking."

Old warehousing along-

side will be included in the scheme which will also involve the creation of a new L-shaped extension and a small internal courtyard.

Mr Lewis said the the "superb" domed hall, vaulted ceilings and stone staircase with wrought iron balustrade will be sensitively refurbished. The outside will be restored to its original honey colour and the granite columns cleaned up.

"The building has a lot of dry rot which will need putting right and the water has been pouring through for many years," he said. "There is a big task on the restoration side."

"We are not in any way spoiling the existing interiors. We are treating them very sympathetically."

The main building, built in 1872, could be used for a boardroom, some prestigious office space and conference facilities while the extension at the back will have most of the office space.

"They are very grand spaces and would be gorgeous as headquarters for a major company," said Mr Lewis.

Already there is interest in the site and it is hoped restoration work will start early next year.

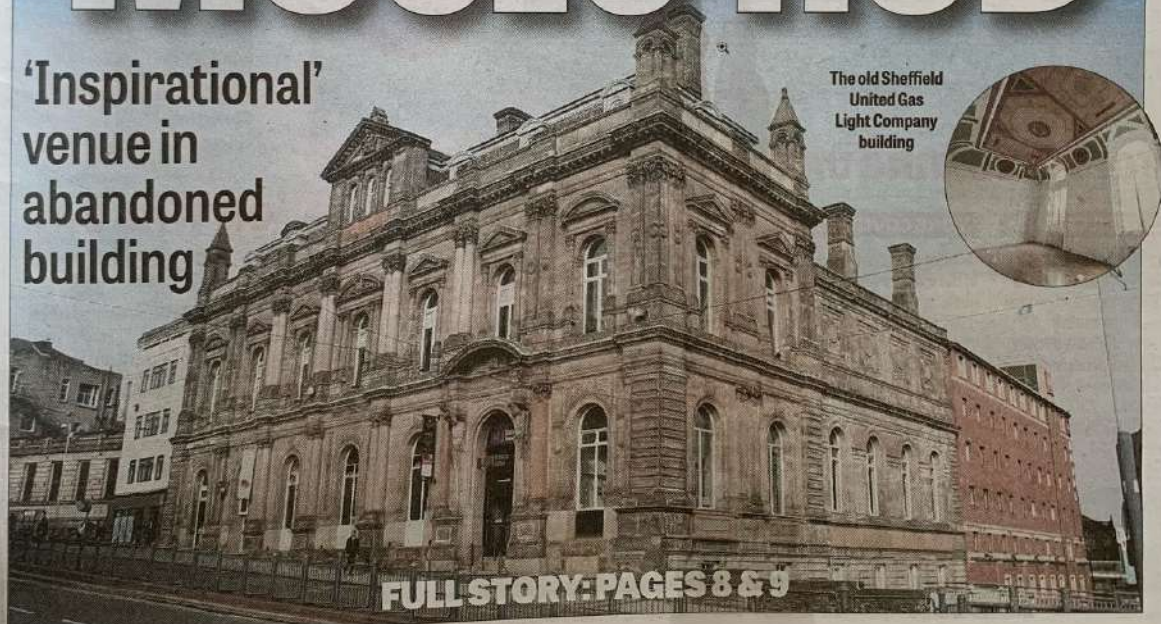


The former Gas Board offices off Commercial Street and Shude Hill

CITY'S £12M MUSIC HUB

'Inspirational' venue in abandoned building

The old Sheffield United Gas Light Company building



FULL STORY: PAGES 8 & 9

Fig.1 Canada House, Sheffield Telegraph, October 1989 and The Star, May 2022

Introduction

A Home for Music Education

Sheffield Music Academy and Sheffield Music Hub are the leading music education providers in the city region. Supported by the Department for Education and Arts Council England, both institutions have thrived over the past decade. Together they have an exciting new vision to create a home for music education in Sheffield.

This vision has found a home in Canada House, an historic Grade II* listed building in the heart of Sheffield. The re-use of Canada House in this way will reconnect the building to the life of the city, using the inspirational historic spaces within for music making. Its central location will allow access for all, increasing the visibility of their outstanding educational offer and creating a focal point for young artistic talent within the city region. Its reach will be broad and deep, attracting musicians and educationalists of the highest calibre. It will be a place where inclusion and excellence go hand-in-hand.

This home will enable music education to thrive even further throughout the region, providing a sense of identity and increasing its visibility and diversity.

It will offer a full array of practice, rehearsal and performance spaces not available elsewhere in the region. It will be open to the public – bringing the dedication, vibrancy and creativity of young musical talent into the heart of our society. In a city where creativity thrives, this project has the potential to instigate something truly transformative, creating a place where outstanding music education can touch the lives of thousands of children and young people in the city region.

Project Objectives

The project objectives are as follows;

- Contribute to the recovery of the city region with the focus on children, education and wellbeing that comes from music making.
- Bring together the city’s two main deliverers of music education with their partners in one more accessible place, providing unparalleled opportunities for creative collaboration, public performance and cost saving synergies.
- Strengthen existing and build new partnerships with like-minded organisations, both local and national who will co-locate with SMA and the HUB within Canada House
- Create jobs during project delivery and post-project operation.
- Bring back into civic use a listed building in the heart of Castlegate and contribute to there generation of Castlegate as a thriving cultural quarter
- Use of a wonderful heritage asset for music – the historical context can enhance and stimulate the musical education of young people.
- Create community cohesion opportunities – music as a great leveller and provider of opportunities for collaboration for all that are both musical and social.
- Musical diversity will better reflect the diversity of the city this project will enable us to offer musical experiences that allow children & young people to see themselves reflected in their musical interests and diverse cultural experiences.
- Builds on burgeoning arts and culture offer of which Sheffield is increasingly proud
- Attract musicians and educationalists of the highest calibre to make Sheffield their home.
- A sustainable environmental approach – reuse, light touch, flexibility and operational
- benefits.
- A catalyst and exemplar for the UK- Harmony Works will be the first of its kind.

Triggers for Change

Sheffield Music Academy (SMA) and Sheffield Music Hub (Hub) are the leading Music Education providers in the city region. Together they provide the very best music education regardless of background, race, gender, parental income or special educational needs – these plans will reach many more children, doubling their capacity to deliver.

- The Hub is a partnership of education and music organisations, led by Sheffield City Council they support with the delivery of music education to 176 schools and 80,000 children across the city It delivers this through a huge variety of musical activities and tuition in schools and in the community.
- SMA is one of 15 Centres for Advanced Music Training in the UK, funded by the Department for Education’s Music & Dance Scheme working with outstanding young musicians to develop their talent.

Pushed to the limit within their current buildings, neither is based within the city centre – nor are the spaces they occupy are designed for music. Access to the offering of both the Hub and SMA is not straightforward or equal – the aim for a city centre home would be ‘one journey for all’.

This report in relation to the conversion of Canada House into the home of music education in Sheffield aspires to address all of these points, ensuring both organisations can thrive along with their partners.

Pre-Application Advice

A Pre-Application submission was made in September 2018, by Live Works. This presented an initial feasibility study proposing internal reconfiguration and an extension to the rear of Canada House, accommodating the ‘red box’ auditorium (Fig.2). The written feedback received is presented right, with key points highlighted in gold, and responses of Evans Vettori in bold, referring to the project which this design and access statement supports.

“The proposed conversion and re-use of the building is particularly welcomed. The proposed use as a music academy/hub would not only provide an inspirational facility for young people but would provide an event space to be enjoyed by a wider audience. The proposed development would en-courage activity and increase vitality to this part of the City, which will help stimulate the regeneration of the wider area.”

Pre-application Written Feedback
[September 2018]

Change of Use
“Policy IB7 of the UDP relates to development in such areas and advises that whilst Business (B1) uses are preferred, a range of other uses, such as small shops (A1), offices used by the public (A2), food and drink outlets, leisure and recreation facilities (D2) and community facilities and institutions (D1 – nonresidential) are acceptable. In this regard, the proposed use of the building as a music academy/hub for teaching, rehearsal and performance, which falls within the use classification of D1, would be acceptable and thus, would comply with policy IB7. “

“UDP policy IB9 seeks to limit development that would prejudice the dominance of business and industry in an area, with the intention to ensure that existing employment areas continue to provide employment and confirms that in industry and business areas, the preferred uses should effectively remain dominant. However, policy CS17, which relates to the City Centre Quarters, promotes the area for a wider mix of employment uses including offices, housing, hotels and leisure, with less emphasis on B1 use. The draft City Policies and Sites reflected the Core Strategy policy by proposing a Business Area, where a range of employment uses are promoted. An educational use would be an appropriate employment use for this area. Core Strategy policy CS3 requires that office development in the City is concentrated in the city centre. There is currently a sufficient supply of office accommodation within the city and as such, the loss of any small scale offices would not have a significant adverse impact. Furthermore, this area has not been identified as a priority office area as set out in policy CS4.”

“Reference has been made to the rental of space to external parties. Further information is required to better understand the nature of this element of the development and assess its impact in amenity terms.”

To support the viability of the project the applicant seeks the opportunity to rent the spaces in the building outside the hours of the music school. This will range from rental of rooms for community groups, rental of desk space for external partners in

music education or other businesses to rental of the large practice rooms for talks, meetings, rehearsals or performances.

Design Principles
“UDP policy BE5 and Core Strategy Policy CS74 set out the design principles. Policy BE5 requires development to incorporate good design, the use of good quality materials and encourages original architecture. New Development should complement the scale, detail and materials of the original building. UDP policies BE15, BE17 and BE19 also apply. Such policies are principally concerned with preserving and enhancing buildings and areas of special architectural or historic interest and as such, a high standard of design is expected together with the use of traditional materials.”

The application proposes the use of high quality materials, predominantly mirrored stainless steel that reflect its surrounding and enhances focus on the existing building and away from the new intervention. Work of either alteration or new construction will be sympathetic to its host but of its own time. Wherever possible, alterations will be readily reversible.

“UDP policy BE19 deals with development which affects Listed Buildings. Proposals for internal or external alterations which would affect the special interests of a Listed Building will be expected to preserve the character and appearance of the building and, where appropriate, to preserve or repair original details and features of interest. Proposals for change of use will be expected to preserve the character of the building and any development within the curtilage or affecting its setting will also be expected to preserve the character and appearance of the building. In principle, there is no objection to the conversion of the building for such purposes. The degree and method of sub-division of the original spaces appears to be logical, with no substantial harm caused to the building and is therefore considered acceptable in principle. It is considered that a sensitive approach has been taken in converting the building. The building has some notable features, including the spectacular ceiling within the

large hall, which is proposed to be retained and is particularly welcomed.”

In developing the proposals we have worked with the original plans of the building to establish a layout that meets the brief while respecting the original division of spaces in the building. All of the existing high vaulted ceilings will be retained.

“The Conservation Officer has confirmed no objections in principle to the proposed changes, as areas of significance will be retained.”

“A café use and the restoration of the hall are particularly welcomed together with the removal of 1980’s changes including the screen in the main entrance area and an external staircase.”

“A full schedule of the existing windows and any proposed treatment of those windows should be clearly identified and full details submitted for approval. In respect of the proposed extension, this is generally supported.”

The application proposes a replacement of the existing windows to improve the sound insulation. The proposed replacement windows would be subdivided to match the original window arrangement where possible.

Impact of Noise
“The proposed development does not raise significant amenity concerns, although owing to the very nature of the use, it would be necessary to address any noise out-break, given the proximity of the Ibis Hotel and student accommodation at 9A Commercial Street.”

Hepworth Acoustic have carried our noise surveys to inform and support this application. Please refer to their document P21-215-R01v2 Harmony Works Canada House Sheffield - planning noise assessment that is included as part of this application.

“A café is proposed along the Commercial Street frontage, which is a particularly welcomed. Details of

any plant and equipment, including an appropriate fume extraction system and air conditioning units would need to be submitted and assessed.”

The cafe in the existing part of the building will have limited scope and will not require specialist fume extraction system.

“The termination point of any flue would need to be considered at an early stage in order to ensure that it can be installed with no adverse impact on the Listed building. Any associated noise and/or vibration from any equipment would also need to be considered. The submitted application suggests that the hub would operate during the evening and at weekends. Whilst there is no objection in principle, given the nature of the proposed use and the surrounding context, an appropriate hours of use condition would be imposed to ensure activities/events are carefully controlled, to avoid any potential noise nuisance.”

Please refer to Hepworth Acoustics document P21-215-R01v2 Harmony Works Canada House Sheffield - planning noise assessment which addresses the issue of plant noise.

“The proposed use would generate noise and activity by virtue of visitors entering and leaving the building. The submitted information states that both daytime and evening activities/events would occur, for which up to 280 people may attend. The public access points are shown to be from Commercial Street, which is the noisier of the two frontages, owing to tram, car and pedestrian movements, although the noise levels do significantly reduce into the late evening. The student access is shown to be from the Shude Hill frontage. Would this involve student and parent/guardian? Anticipating the number of participants, how would this be managed? Would students etc arrive up to an hour before any particular event? How would it be managed at the end of an event? Would parents/guardians collect students from this point? Would students exit the building over a given period of time? This needs to be carefully considered and managed, to avoid any potential noise nuisance occurring, which could impact on residents in the neighbouring hotel.”

Whilst evening events could generate significant numbers of attendees, they will access/egress the building via the entrance on the very busy Commercial Street, with only students using the Shude Hill entrance. The potential for any associated disturbance to nearby sensitive receptors can be minimised by way of an event management plan which will include details of operational measures/policies to minimise noise.

Demolition and Construction Works

"Demolition and construction works will take place with sensitive uses in close proximity. There is potential for disamenity due to noise, vibration and dust."

The appointed contractor will be required to undertake the preparation and development of a Construction Environmental Management Plan (CEMP), in liaison with the LPA and EPS, to ensure that demolition and construction activities are planned, managed and ensure compliance in accordance with current best practice and guidance available.

The applicant will install any external lighting to the site to meet the guidance provided by the Institution of Lighting Professionals in their document GN01: 2011 Guidance Notes for the Reduction of Obtrusive Light.

Transport

"The site is located in a highly sustainable location with good access to public transport and car parking facilities. Consequently, there are no objections in principle to the proposed development from a highways point of view."

"A red line boundary is shown on the site plan, which includes an area within the rear courtyard, but does not include a means of access to the highway."

The owners of the building has an easement granting them rights of access into the courtyard under the Ibis Hotel building. Access to the rear courtyard for refuse vehicles and for escape has been tracked and allowed for in the design of the scheme.

"The proposed plan also suggests a drop off area for pupils on Shude Hill. Would this take place on the existing highway and/

or loading bay positioned in front of the Ibis Hotel or within the rear courtyard? Further details should be submitted to allow this to be assessed."

Please refer to the submitted document HW-ARUP-XX-XX-RP-T-0002_I01- Travel Plan and HW-ARUP-XX-XX-RP-T-0001_I01- Transport Statement which address the transport issues.

"Will spaces be retained and who would have access to them? Would any provision be made for people with disabilities? "

Parking spaces will be retained at the rear of the building, two space will be marked as disabled parking while the remaining spaces will be reserved for teaching staff who's access via public transport is more challenging.

Drainage & Flood Risk

"Drainage Core Strategy Policy CS67 and SPG 'Climate Change and Design' require developments to significantly reduce surface water run-off from the site and to implement Sustainable Drainage Systems (SUDS). The site represents a brownfield site, and as such the allowable discharge rate will be based on a 30% reduction in the existing 1 in 1 year storm event discharge. The existing discharge points and drainage system to the building will have to be confirmed by survey."

Please refer to Arup's Drainage Strategy Report HW-ARUP-XX-XX-RP-C-0001_I01- Drainage Strategy

"The eastern half of the site lies within Flood Zone 2 and the proposed use of the building would be classified as a 'More Vulnerable' use in respect of flood risk vulnerability. The proposed use is a compatible use within Flood Zone 2."

Please refer to the Alan Wood's Flood Risk Assessment 47432-Rp001-FRDA-REV A

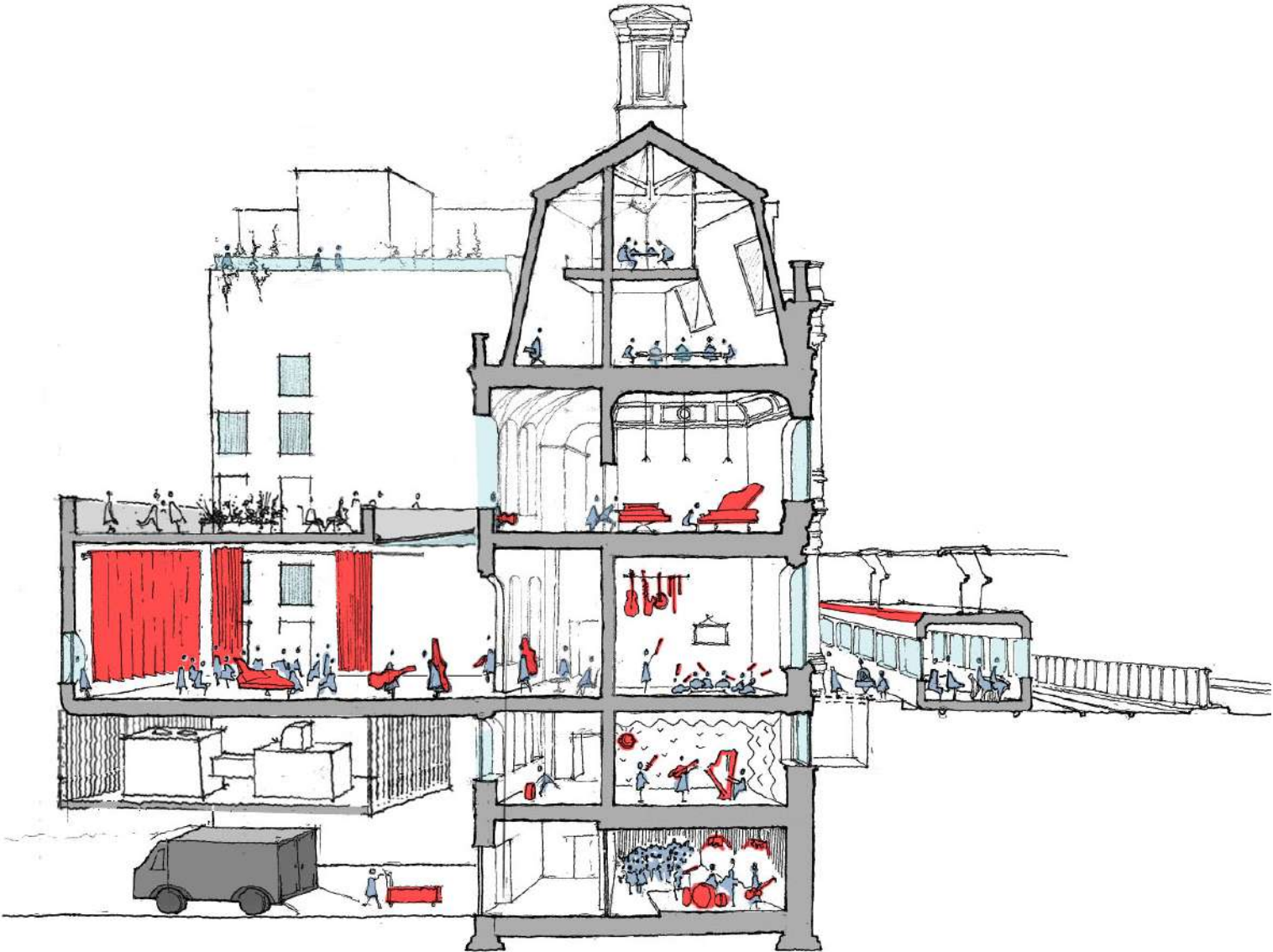


Fig.2 Proposed Sketch Section
(Author: AE Evans Vettori)

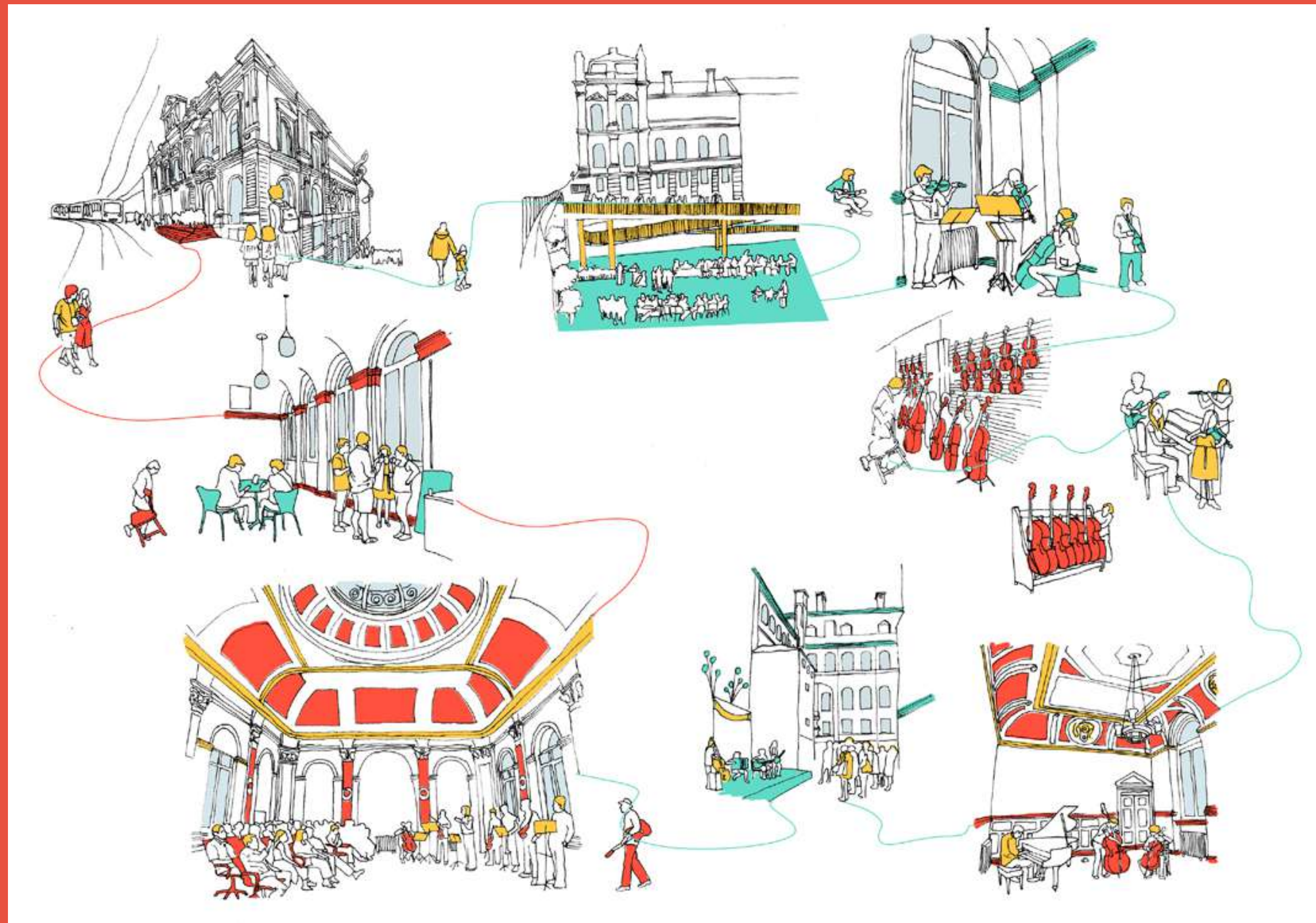


Fig.3 Initial concept sketches produced as part of the Feasibility works carried out in 2017/2018
(Author: Sheffield School of Architecture / Live works)

Stakeholder Engagement

The design and planning application has sought to involve a number of parties in the design process, in order to determine the priorities for the site, to shape the proposals and to ensure these are based on a sound understanding of the existing buildings constraints and opportunities. This has included the following:

Sheffield City Council Planning Officers [May 2022]

Informal correspondence and discussion regarding the emerging proposals and criteria for validation of a full planning application with listed building consent. SCC advised the design team to engage Highways in initial discussions regarding modifications to the commercial street public entrance. Sketch proposals were shared via email with Highways for comment. No comment was received prior to this submission.

Historic England [May-June 2022]

A formal pre-application submission was lodged on the 23rd of May with HE. Following this, officer Paula Burbicka attended a site visit with Evans Vettori and Harmony Works Trust on the 8th June. On the 23rd of June, formal HE pre-application written advice was received and action taken to respond to this in the design. Further information can be found on page 10 of this document.

Sheffield Music Hub [9th May 2022]

Consultation event with the students of the music hub, discussing their aspirations for future premises through a series of activities. The outcome of this event has guided the design process through to planning submission, with spaces such as recording studios, integrated but with opportunity to be divided from the wider building as a source of income, for example.

Sheffield Music Academy [11th June 2022]

Consultation event focusing on the buildings future users, their parents and the teaching staff that will use the building. The range of views gathered at this event was extremely useful in ensuring the different aged users needs where accommodated. For example, older student sought opportunity for work spaces

for in between music lessons.

Additional Consultants

As part of our wider project team, the project has benefitted from the input of a number of consultants. Assessment has been carried out by a team of specialist consultants in order to identify constraints and opportunities in relation to different topic areas and to inform and shape the proposals. These include Heritage, Structural, Mechanical, Electrical, Civil, Acoustic, BREEAM, Fire, Catering and Business. This has been critical in developing a proposal which looks to achieve the highest quality learning spaces within the constraints of the existing building.

The advice received was entirely positive regarding the principle of the change of use and proposed rear extension. Both pre-applications have fed directly into shaping the submission and plans. In all ways, the design process has been a text book exercise in an engaged and collaborative conversation to achieve a mutually agreeable outcome with wide public benefit.



Fig.4 Students at the Sheffield Music Hub attaching ideas to initial sketch plans.



Fig.5 Students at Sheffield Music Academy selecting 5 images that represent how they want their future premises to feel.

Design Concept

Interrogation of the existing building in its current state and in it's a original form has been the foundation of the design process.

Through understanding the original layouts of the Gas Board Offices from archive information, the proposed programme of spaces required for Harmony Works has moulded into the existing buildings spatial arrangement were possible. The current building has a large number of rooms in a variety of sizes. This is perfect for the proposed programme and different spaces fit nicely into the majority of the spaces in the existing building without the need for sub-division of spaces. Where sub-division has been considered desirable to aid the delivery of music education, new partitions and openings are reinstating where existing ones once where.

The only element of the programme that has proven to be challenging to accommodate has been two large practice rooms of suitable size for a small orchestra or group. The land to the north of the building has been identified as an area that the building can be extended into, which presented opportunity to layer these spaces within the rear courtyard. As a currently vacant courtyard, this layering was able to retain and reference the hierarchy of the existing building levels, aligning the double height practice rooms with that of the primary floors of the existing building; the Commercial Street level and First Floor.

To effectively service the building and this proposed extension in its operation as a music education provider, a new service tower is proposed. This tower, situated at the knuckle of the existing building (Fig. 6/7) provides a central location for ease of access to vertical circulation. New serviced facilities have predominantly been located in this area including showers, WC's, plantrooms, lift service risers etc. This is with the intent of reducing the impact on the existing building and the number of penetrations required for servicing. The introduction of a new stair in the heart of the building also allows for the rooms in the SE corner of the building to be reinstated as habitable rooms with the omission of the C20th staircase.

The layout of the existing building and its extension are designed to allow multiple occupation of the building while retaining safeguarding measures for students in a number of different use scenarios. The general public can be given access to the community rooms, the grand main hall and the ground floor practice rooms together or individually while being able to retain a secure line for students.

The extension has been conceived of three elements that support the space in the existing building.

The Pedestal

Also referred to as the piano terra provides a base for the building from which the building crescendos up from. It enables an undercroft to be created to retain the existing escape and servicing arrangements for the courtyard. Above it forms a performance area and social space facing the rear elevation of the original building allowing for informal concerts.

The Service Tower

Vertical circulation and connectivity are the biggest challenges due to the height of the existing building. The service block is located in the heart of the building offering a clear and readable means of vertical circulation in and up.

The Sound Box

The two large rehearsal rooms are conceived as a timber sound box. Floating in the space above the social area with bridged links back to the existing building.

All the interventions in the courtyard are designed to step away from the existing facade. These junctions between the old and new help offer a seamless and lightweight addition to the listed building that preserves its integrity and legibility throughout by reducing connections and using glazed connections between the two.

The existing building will retain its existing appearance in the main from the high street. Small alteration to the windows will restore several division patterns and activate the high street frontage of the building. The main intervention on Commercial Street will be providing the ramp access to the main entrance. A simple mirrored stainless steel balustrade, patterned with a historic relief from the building will sit on a stone plinth and ensure all users of the building can experience the original and magnificent entrance way.

The majority of the proposed extension is hidden behind the surrounding buildings. The only element that protrudes above the existing roof line is that of the service tower. While this will not be seen from the street it will be visible in the long view. The proposal is however lower then the B&M Bargains building immediately behind it and from the long view be seen as new life being brought to the building without impacting heavily on the heritage asset.

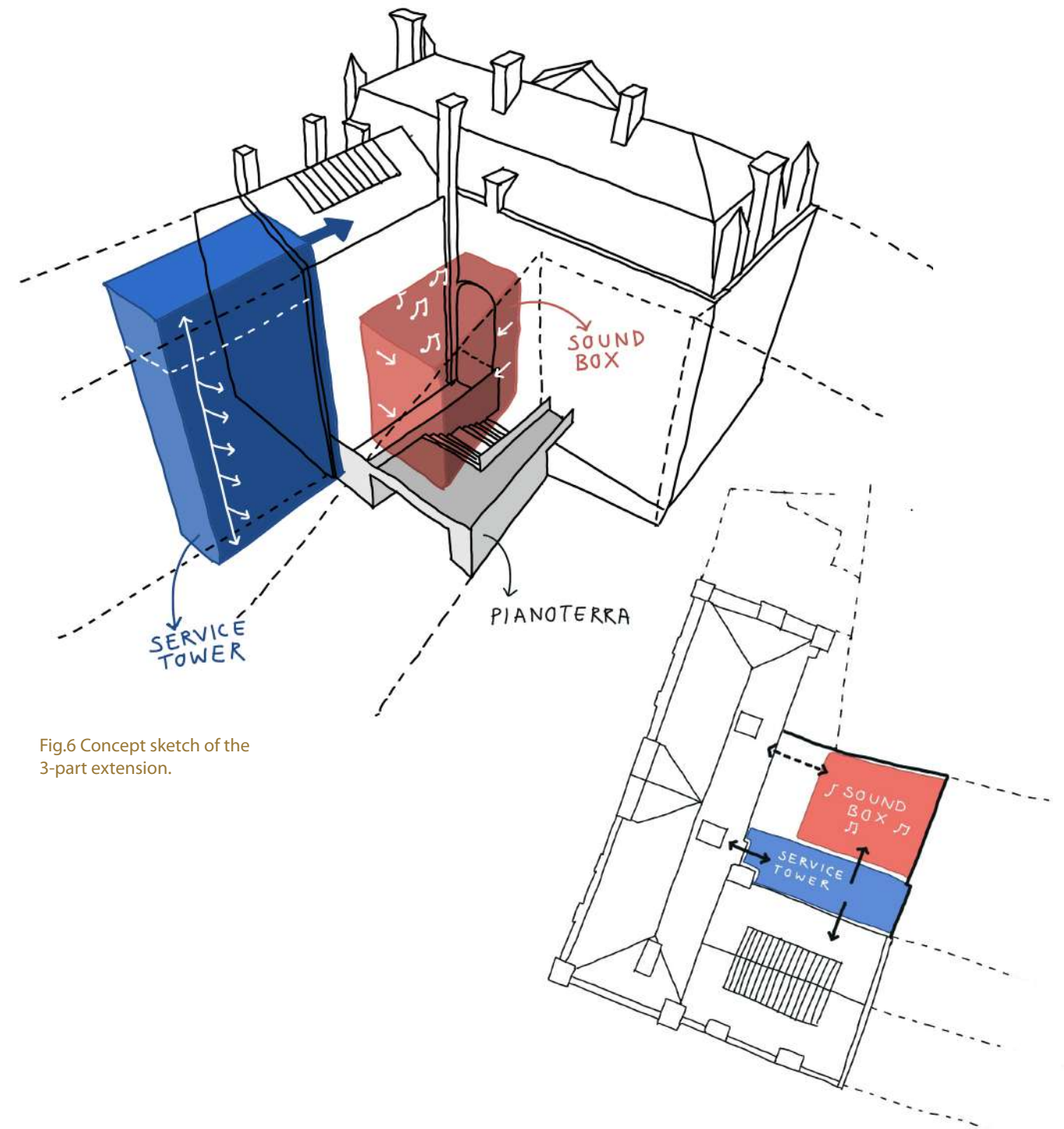


Fig.6 Concept sketch of the 3-part extension.

Fig7 Concept plan of the sound box and service tower, infilling the courtyard.

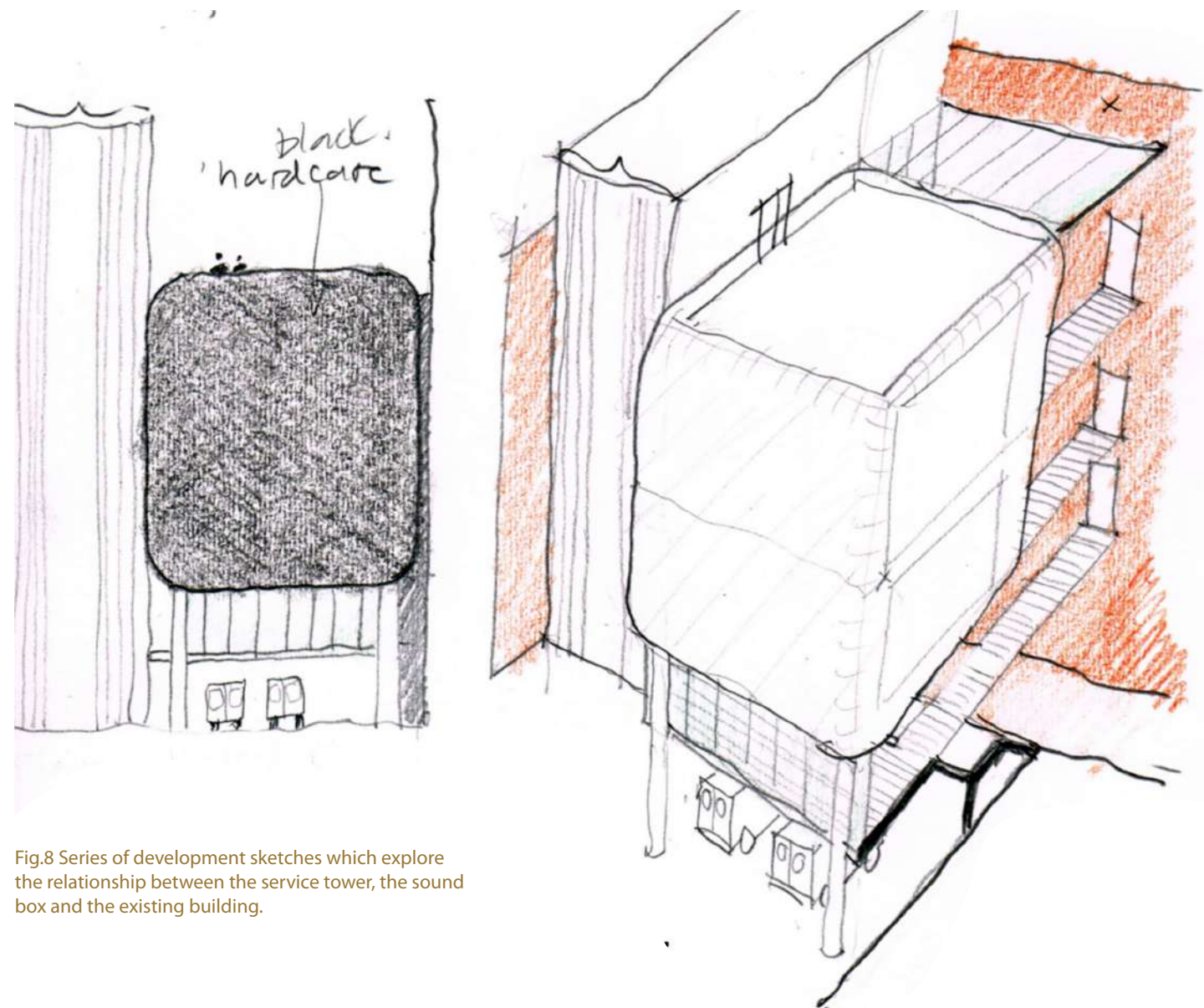
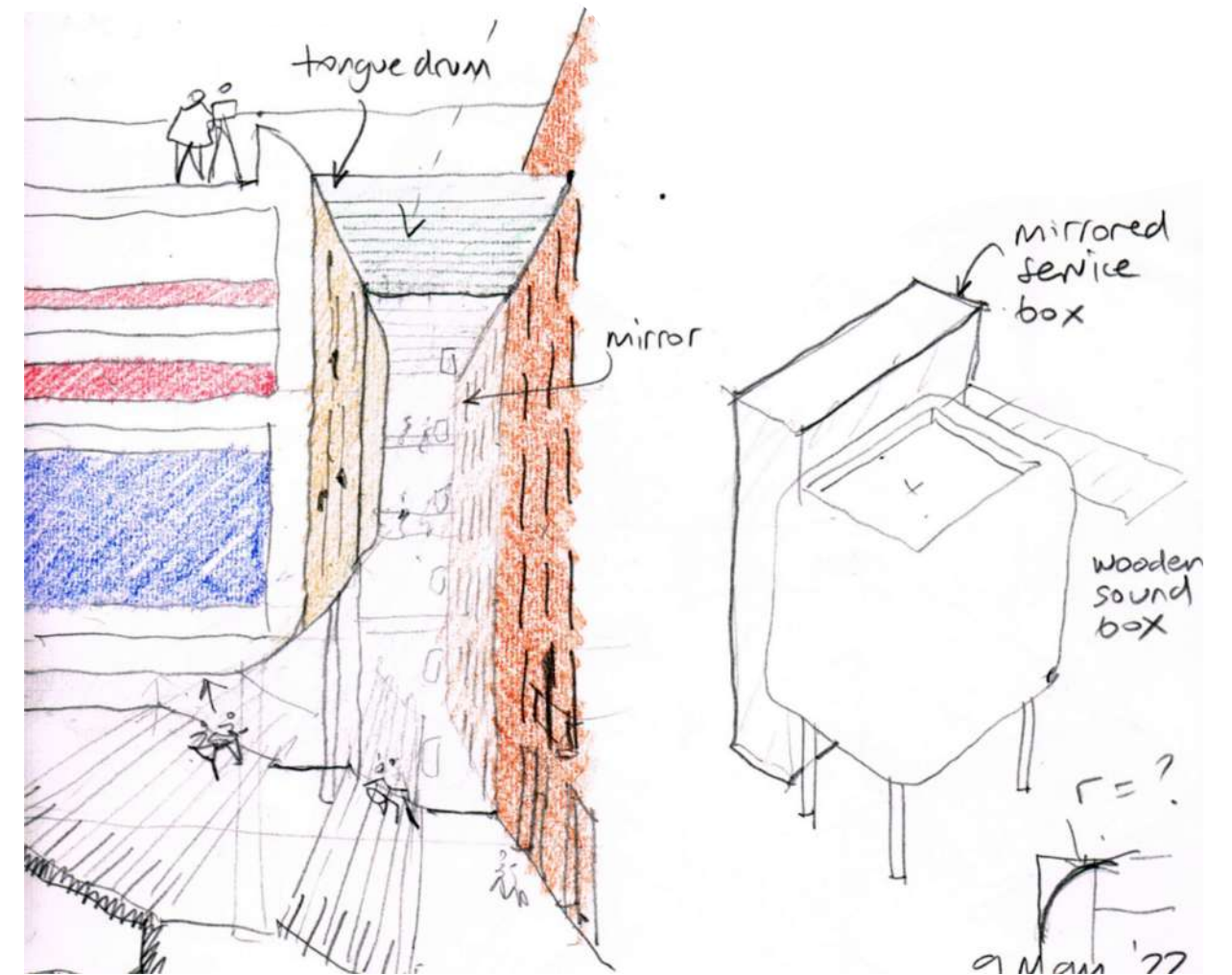


Fig.8 Series of development sketches which explore the relationship between the service tower, the sound box and the existing building.



Historic England Pre-Application Advice

Historic England were engaged in the project through it's development. Following the submission of pre-application scheme on the 23rd of May, a site visit was carried out on the 8th of June and was followed by formal written advise on the 23rd of June. A summary of the pre-application feedback received from Historic England is as follows. As previous, comments by Evans Vettori are in bold;

"We are very supportive, in principle, of the conversion of the Former Sheffield United Gas Light Company Offices into a music academy and venue.

We do recognise the need to revitalise and reuse the asset in a more sustainable manner into the future, and believe the proposed new use can offer a viable solution to achieve this in a sensitive manner. There are clear opportunities to add to the special character and experience of the asset through a well-considered and sympathetic new development.

Whilst the proposal is bold and innovative, with substantial quantum of new interventions proposed to facilitate its conversion, most of the works would preserve or enhance the special significance of the listed building, giving great weight to its conservation.

In particular, it is our position that the new extensions and associated additions to the rear courtyard would not necessarily harm the contribution that the setting of the listed building makes to its overall significance, taking opportunities to deliver necessary elements of the new development appropriate in form and mass, and in a location discrete enough not to undermine the external prominence of the listed building in its context.

That said, there remain positive opportunities for the development to better protect and enhance the rich architectural heritage and aesthetic quality of the Former Sheffield United Gas Light Company Offices. We particularly draw your attention to the problematic aspects of the proposal, which would lead to material harm, albeit less than substantial in NPPF terms, to the Grade II listed asset unlikely to be outweighed by the benefits that these would deliver.*

We are specifically concerned about the proposal to construct a terrace to the east elevation of the listed building and the amount of internal alterations proposed to connect the core of the structure with the proposed new extensions. These are not considered necessary to deliver elements of the scheme, and we strongly urge these aspects to be avoided and/or reconsidered as the scheme develops."

Following receiving this advise, actions were implemented. The first of which removed the balcony from the south east elevation, recognising the complexities with reducing such prominent cills.

To the rear, advise was further actioned with the number of sills proposed as being dropped to create doorways through to the service tower, we have reduced these to the minimum necessary. By reducing the number of these dropped sills, we have refined further the physical junction between the service tower and the rear elevations/knuckle junction, creating voids were possible to reduce physical contact with the existing brick work. This has been explored in physical model form.

On submission of the planning application Historic England raised concerns about the height of the stair tower above the ridge line of the existing building. This concern was however circumnavigated due to changes required due to value engineering as outlined in page 17.



Fig.9 1:50 Plywood Process Model of the Existing Building



Fig.10 Model exploration of the service, prior to changes following pre-application advise.

Sustainability

This project has the opportunity to act as a much needed precedent for creative re-use of existing inner city building stock in the Sheffield Region and more widely.

With the reuse and refurbishment of the existing listed building the embodied energy of the proposal will be significantly reduce in comparison to a new building solution, as well as securing the future and viability of the existing listed fabric for generations to come. The ambition for the extension is for the building to be constructed from timber, allowing carbon sequestering and lowering the embodied energy of the overall construction. The detailed design will look to ensure high quality detailing accompanying a fabric first approach, to produce a highly efficient extension in operation. Where possible, elements of the existing building fabric will be upgraded.

In terms of building operation, Heating demand will be met by the local combined heat and power grid, and local generation in the form of Photovoltaic panels will be added to the roof of the extension. Please refer to Arup's CS 64 and 65 Statement HW-ARUP-XX-XX-RP-ME-0001_I01- Planning CS 64 and 65 Statement submitted as part of this application, for further information.

The building will aim to achieve a BREEAM Rating of Very Good. This will be undertaken as a bespoke existing building assessment. Please refer to Ridge Consultants BREEAM Pre-assessment document 5016853 Harmony Works BREEAM_2014_Pre-Assessment also included as part of this planning application.

Access

The building is located in the centre of Sheffield with excellent public transport links with the tram and bus stop adjacent. The bus and train stations are also located in close proximity.

Shude Hill is the proposed location for the primary student entrance as the quiet street provides a wide pavement to accommodate the arrival and departure of groups of students, likely to be carrying large instruments in some instances. Here, a ramp is proposed with feathered steps/seating navigating the discreet change of level between the lower basement floor and the Shude Hill Street Level.

Along Commercial Street, the proposal re-establishes the historic grand entrance to the building as the primary entrance for the public and visitors to the building. Due to the object by the planning authority for a new ramp to ensure all visitors can approach the building as a level access from the high street a seperate level access has been added further up commercial street.

Internally, the new serviced tower consolidates the vertical circulation to ensure routes through the building and escape is legible. Lift access is provided to all but the existing second floor mezzanine which will only accommodate space that are also available on other floors. It should be noted there is not currently lift access to this second floor mezzanine level.

The service tower will also act as the primary delivery route, with delivery vehicles and refuge vehicles accessing the building/bin stores located at the rear of the extension, via the existing archway below the Ibis Hotel Adjacent.

Landscaping

The tight, inner city site does not present vast scope for landscaping within the scheme. However, the proposal of ramps for improved access arrangement at both Shude Hill a present an opportunity for Harmony Works to become more visible as an organisation in the streetscape. Detailed design of this elements will look to engage with highways to ensure they are positive contributors to the public realm and the broader vision of the Castlegate Regeneration.

Within the scheme, feedback from our consultations with pupils of the Music Academy led to the integration of a rooftop external space, situated above the large practice room. It is hoped the detail of design of this, along with careful consideration of facade materials, will present the opportunity to incorporate planting and create an inner city home for wildlife. For example, design of the stainless steel shingles to create pockets for bird nesting.



Fig.11 Canada House South
East Elevation from adjacent
green space.

Materiality

Materials have been selected to compliment the existing material pallet of Ashlar Sandstone to the primary South West and South East Elevations, red brick with stone details to the rear, and a slate tile roof.

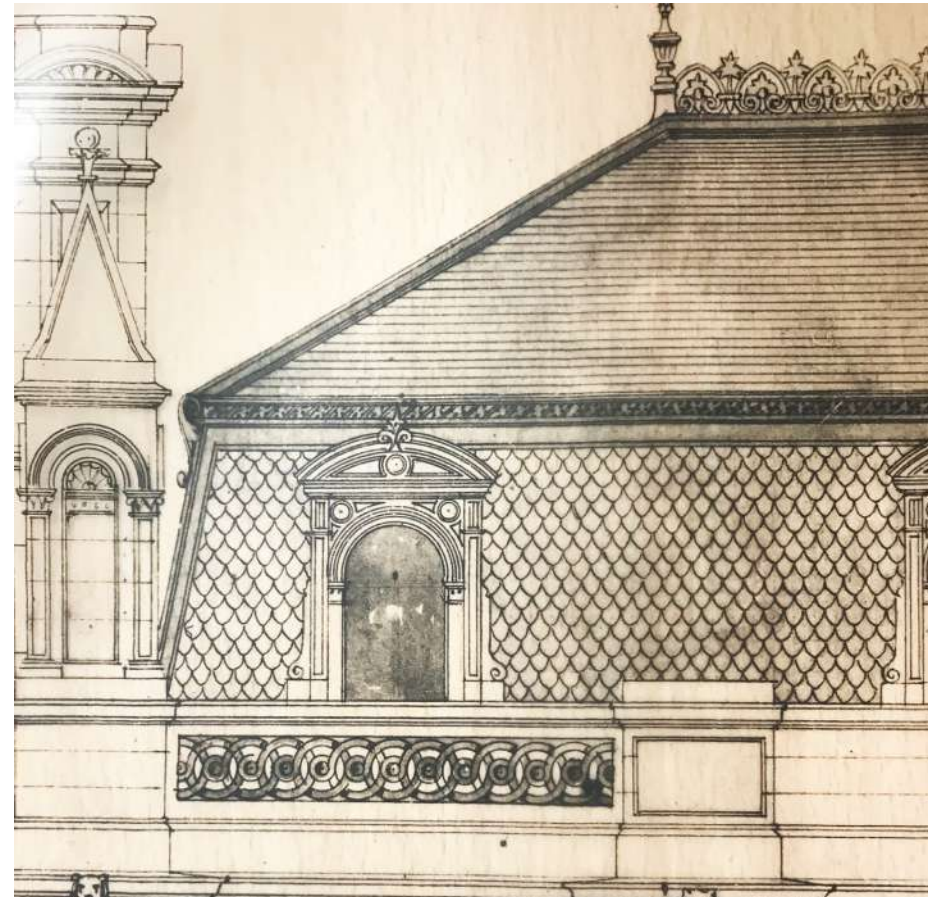
At planning stage, the new external elements adjacent to the existing buidling were specified as mirrored stainless steel. This had been chosen to reflect the existing heritage asset and act in subservience to it, while still being seen as a new contemporary intervention. Under the current revised scheme, zinc has been approved.

The choice of a zinc cladding looks to compliment the existing buildings, as opposed to mimic; establishing clearly the new from the existing. The distinct use of zinc is also a reference to the industrial heritage of the city of Sheffield.

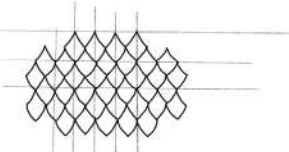
The cladding will be laser cut to form a mesh opening to the plant areas. The proposed pattern to this mesh has developed through analysis of the details originally present on the elevations found in the Sheffield City Archive. The patterns taken from existing details (Fig. 12) are those that have been lost from the existing building including its verge tile detail and balcony detail.



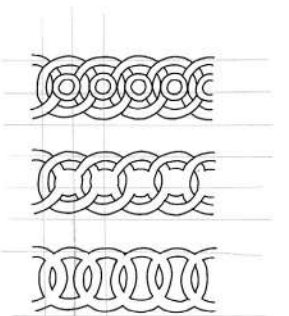
Fig.12 Deductive analysis of existing facade details, based on original drawing of the South East Elevation.



Decorative Verge Tiles



Slate Shingles



Ashlar Sandstone Parapet Details

Existing Materials



Highly Decorative Ashlar Sandstone - South East Elevation



Red Brick with Stone Banding, Sills and lintels- Rear Elevation



Slate Tile Shingles - Lower roof Area

Fig.13 Existing Material Palette

Material Precedents



Fig.14

Lyth Building, Nottingham
Evans Vettori Architects (2020)

We used zinc on the Lyth Building, on both the roof and some vertical elements, to provide a distinct contrast with the modest character of the traditional red brick.



Fig.15

Princess Alexandra Auditorium
Associated Architects LL (2012)

The use of metallic shingles mimics the slate tiles of the original building



Fig.16

Bunhill Energy Centre
Cullinan Studios (2020)

Bunhill energy centre facade treatment adopts a mesh metal, cladding what is effectively a plant room beautifully, creating a subtle landmark.

Aim of the project for a Well Designed Place

Planning Practice Guidance notes that well designed places are successful and valued and identifies those elements of a place that contribute to this success. This section assesses the proposed design and layout against those key element as a place-making check:

A well designed place is functional

The proposed building has been expressly designed to meet the functional and operational needs of the users. It is sufficiently flexible to perform a range of teaching and performance functions and provides support office, corporate office, breakout spaces, storage and public cafe space that the applicant requires to supports its function and viability.

A well designed place supports mixed uses and tenures

The building incorporates a wide mix of uses and has an in built flexibility to serve multiple functions. The building is designed to encourage innovation through interaction between users, and allows several diverse activities to take place at once or across a day, week or season while retaining high levels of safe guarding to the students.

A well designed public space is lively

A key feature of the proposal is its intention to be publicly accessible and to invite and welcome the public. Public spaces are available for everyone to see, use and enjoy. Giving everyone a chance to appreciate the magnificent existing building.

Of course, student areas will naturally be lively, but by widening the demographic of users there is greater chance for social interaction between staff, students and the community. The proposal will assist in providing students in the region a place to learn, practice, meet and grow. The position, design and detailing of the public space is central to how it provides benefits for the wider community.

A well designed place is adaptable and resilient

The building and its internal and external spaces are designed to provide flexible, adaptable areas to meet a range of uses and user requirements. The building is accurately described as a Music School, but will also contain seminar rooms, exhibition space, catering and business facilities. It is equally capable of providing offices, teaching space, performance and function rooms etc as ancillary functions of the day to day operation of Harmony Works as necessary.

A well designed space has a distinctive character

The existing grade 2* listed building is full of distinctive character. The design and layout of the extension has responded directly to the distinct physical characteristics of the place, and takes reference from the buildings and heritage that surrounds it.

A well designed space is attractive

This statement sets out how the composition of the building elements and the relationship between colours, textures, shapes and patterns have been considered.

A well designed space promotes ease of movement

The building is located and designed to provide a legible intervention within the existing area. Signage and will be used to reinforce clear and easily navigable routes.



Square Chapel arts centre in Halifax completed in 2017 was designed by the same Architects as the proposed, including the refurbishment and extension of a grade 2* listed church. The project has been widely commended by users and visitors alike, winning a number of design awards including a RIBA Award, and Royal Town Planning Institute's 'Building of the Year' Yorkshire Award.

Fig.17, Square Chapel Arts Centre, Halifax

Design Development and Value Engineering

Initial Amendments

In parallel to the submitted planning application, design development has occurred over the determination period. Taking into consideration the latest cost report, which was based on the submitted planning scheme, value engineering opportunities were sought. The key changes were the omission of the auditoria stairs and upper basement social area along with the relocation of the plant area.

Appendix 1 attached to this report shows model photos of how this change revised the massing of the scheme.

The revised scheme was submitted as a planning amendment during the determination period and formed the drawings for the approval.

Planners comments

During the determination period the planners raised concerns to the main entrance ramp at ground floor level. The initial objections referred to the impact on the historic existing building and the access officers concerns about narrowing the pavement. The ramps were redesign in order to reduce its impact on the building and narrowed to reduce the impact on the street. The redesign and justification for the design was issued to the planners and is attached to this report in appendix 2.

Following the submission of the revised design, the Highways Authority made additional objection to the ramp with concerns over underground services, pavement narrowing and potential loss for the future introduction of a cycle path on commercial street. The ground floor ramp has been omitted from the planning application and the layout of the ground floor to accommodate a level access doorway further up the elevation. This has limited the flexibility of the space for different users outside the Academy and the relationship of the cafe with the main hall.

Stage 3 Scheme

The scope of the project was revised further due to additional value engineering required. The first floor large practice room was omitted, the external roof terrace reintroduced and the relocation of the plant area to under the practice room. This now forms the stage 3 scheme.

Conclusion

As a project looking to alter and extend a heritage asset, it is without doubt their is the inherent risk of harm to Canada House in the conversion to Harmony Works. Throughout the design process, opportunities have been taken to engage with specialist consultants to mitigate this risk, to support the development of a scheme where the following potential positives can be considered to outweigh the potential harm:

Re-use of Existing Building

The creative re-use of Canada House is of wider environmental and social benefit, making viable use of a currently redundant piece of inner city heritage in Sheffield City Centre.

An Appropriate Function

The existing spatial arrangement of the existing building are desirable for the intended programme of Harmony Works, requiring minimal subdivision of spaces of particular historic value. Where additional accommodation is required, this is located towards the rear, considered in form and appearance to not complicate the reading of new and existing.

Protection of the Heritage Asset

The proposed scheme looks to reverse a number of significant 20th Century changes made to the building, which are detrimental to the reading of the original building. Where changes are proposed with the introduction of new building elements, these additions are to be lightweight with junctions that minimise impact to the building and ensure they are reversible.

Improved Accessibility

The key project objective is to broaden the outreach of musical education in Sheffield. The central location of Canada House with sustainable public transport options on it’s door step, presents a viable place for this. The project looks to enhance the access to the building for a variety of users- including students, parents, the wider Sheffield Community- introducing measures to make the building accessible.

Addition to the wider Regeneration of Castlegate

Canada House has the potential to be a key cornerstone in the Castlegate Region. With a public cafe and flexible use scenarios, the proposal could be a valued contributor within the wider Castlegate regeneration.



Fig.18, Archive image of The Gas Board Company Offices.

HARMONY WORKS | 1:50 STUDY MODEL

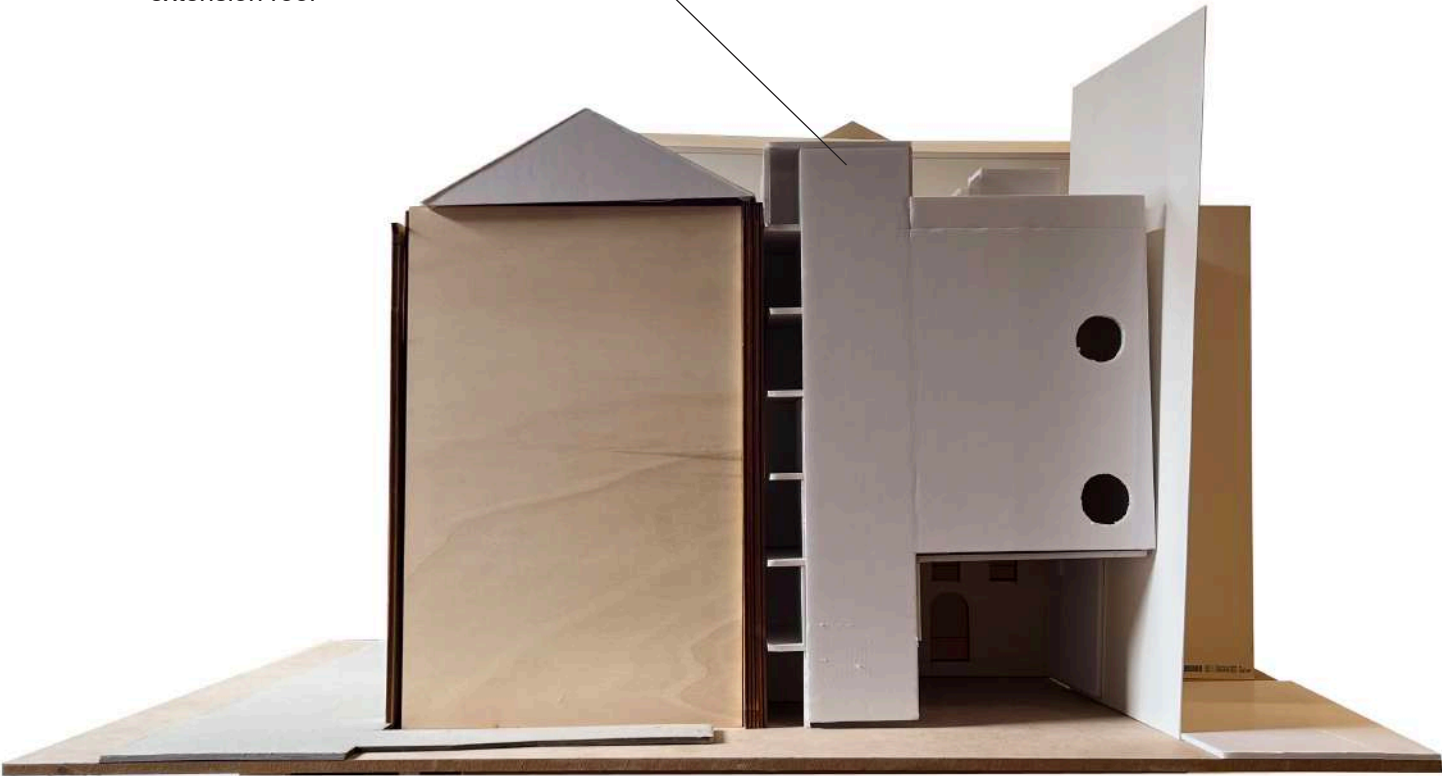
NORTH ELEVATION VIEW



ORIGINAL

Tower omitted to avoid
a visible projection
above the existing roof
eaves & ridge lines.

Plant relocated to new
extension roof

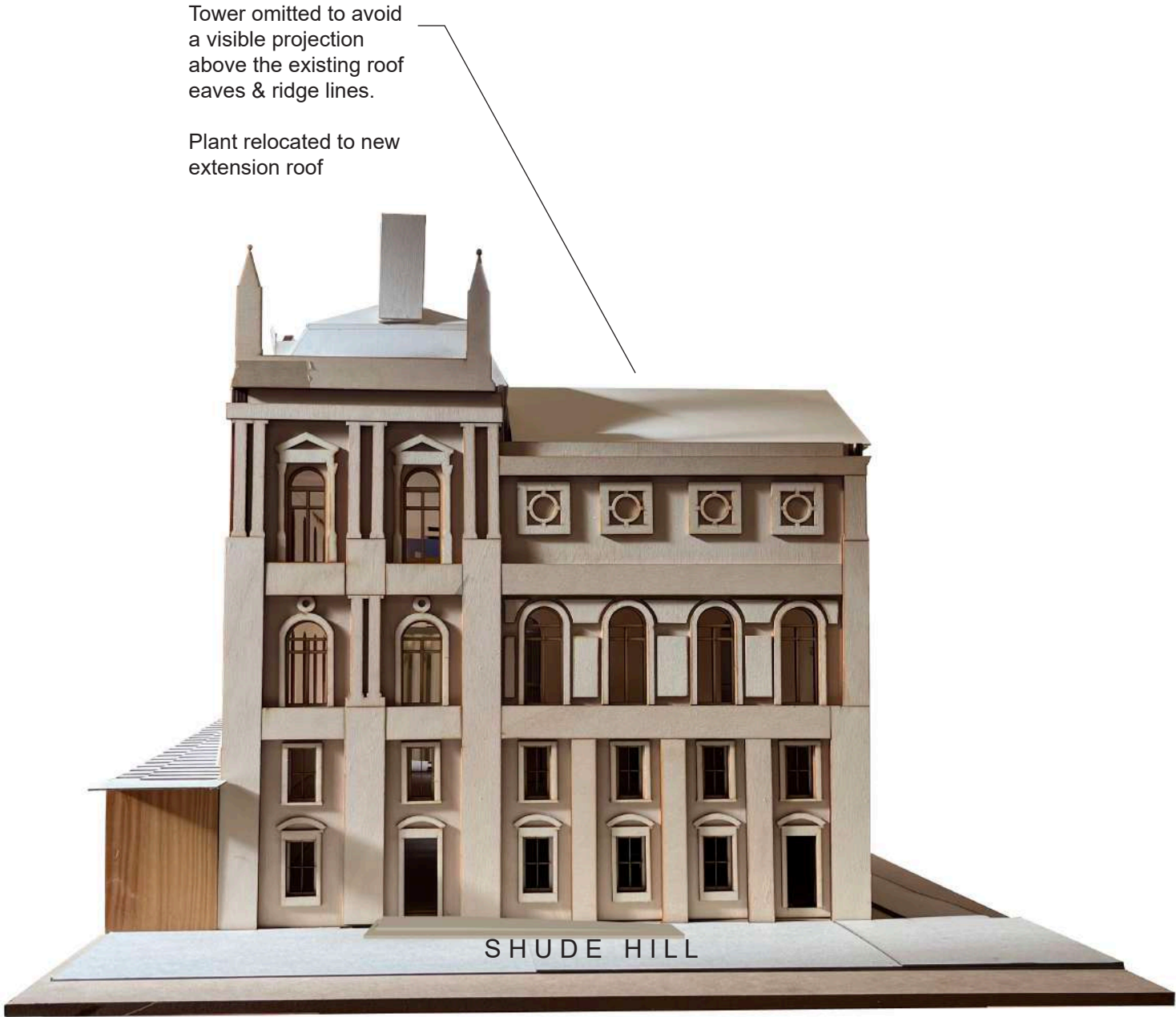


REVISED

HARMONY WORKS | 1:50 STUDY MODEL
EAST ELEVATION VIEW



CURRENT



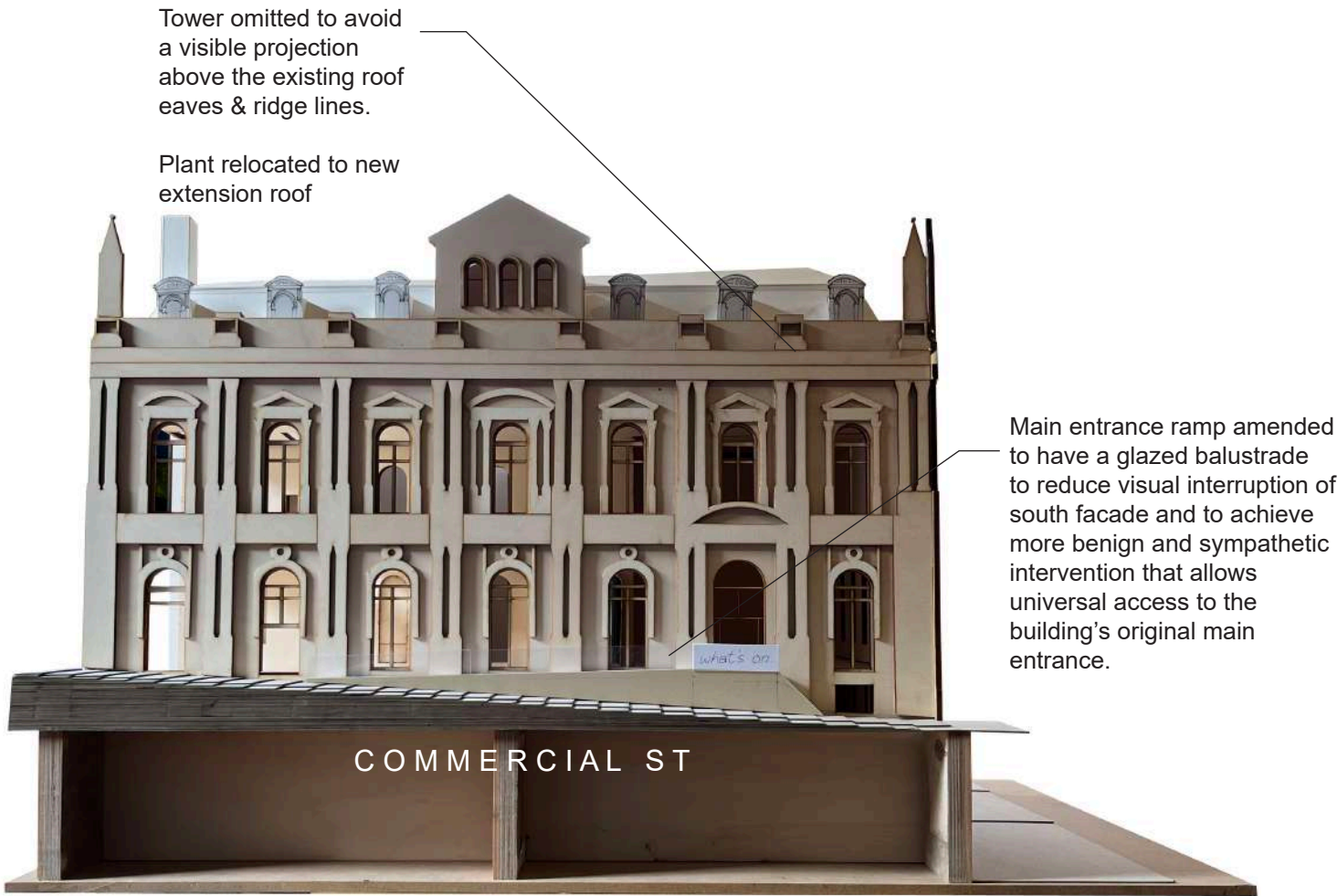
REVISED

HARMONY WORKS | 1:50 STUDY MODEL

SOUTH ELEVATION VIEW



ORIGINAL

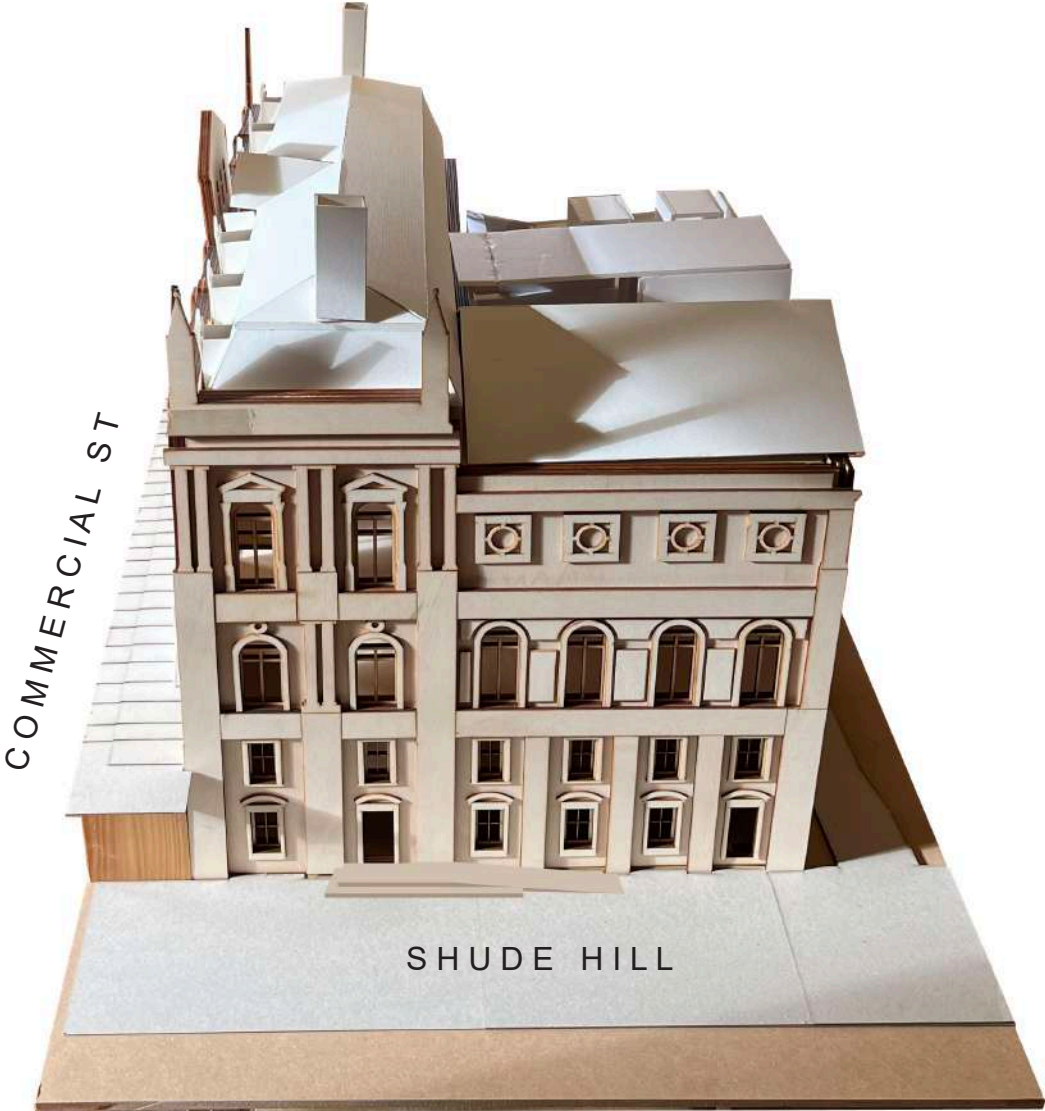


REVISED

HARMONY WORKS | 1:50 STUDY MODEL
EAST AERIAL VIEW



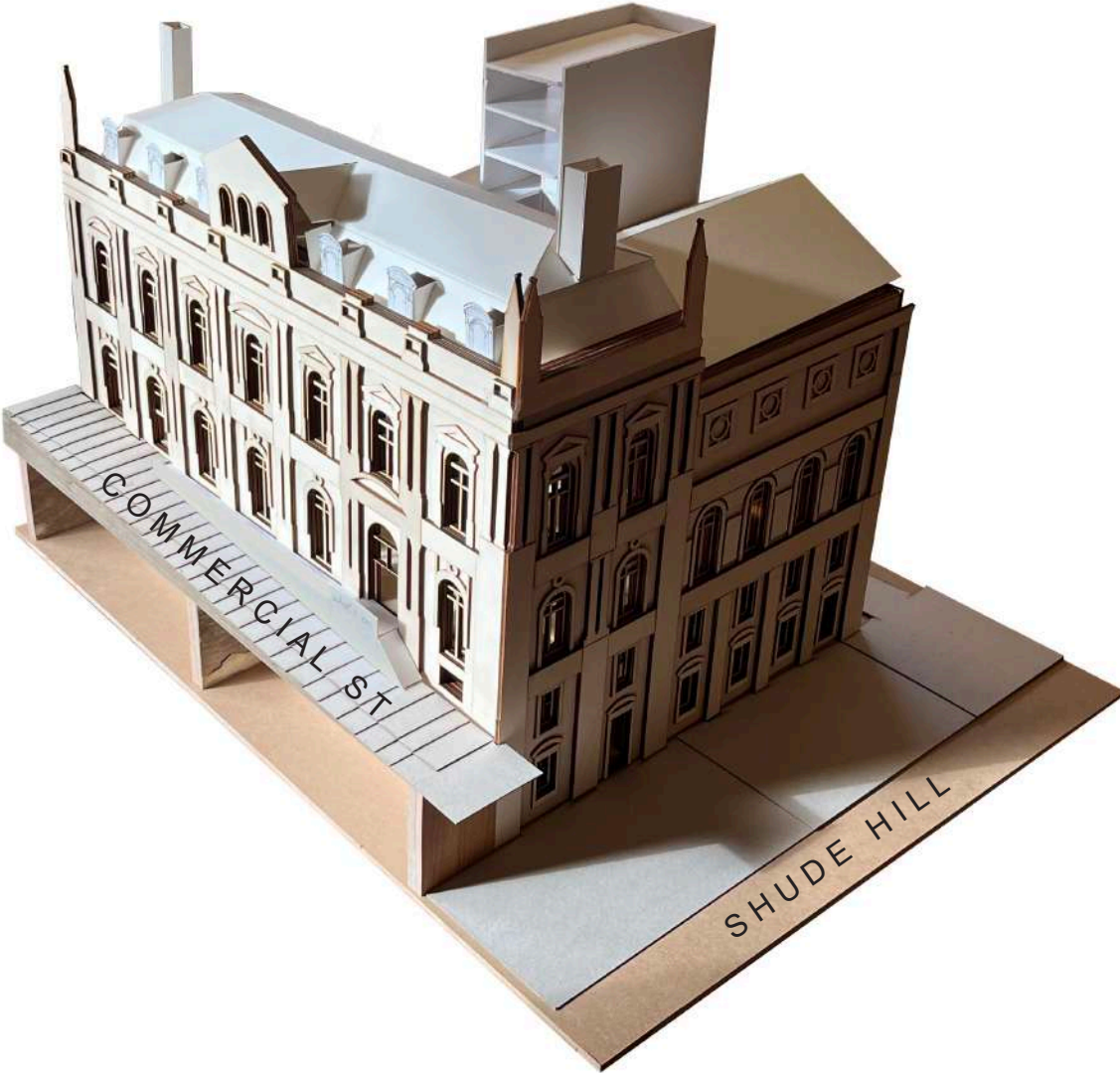
ORIGINAL



REVISED

HARMONY WORKS | 1:50 STUDY MODEL

SOUTH / EAST AERIAL VIEW

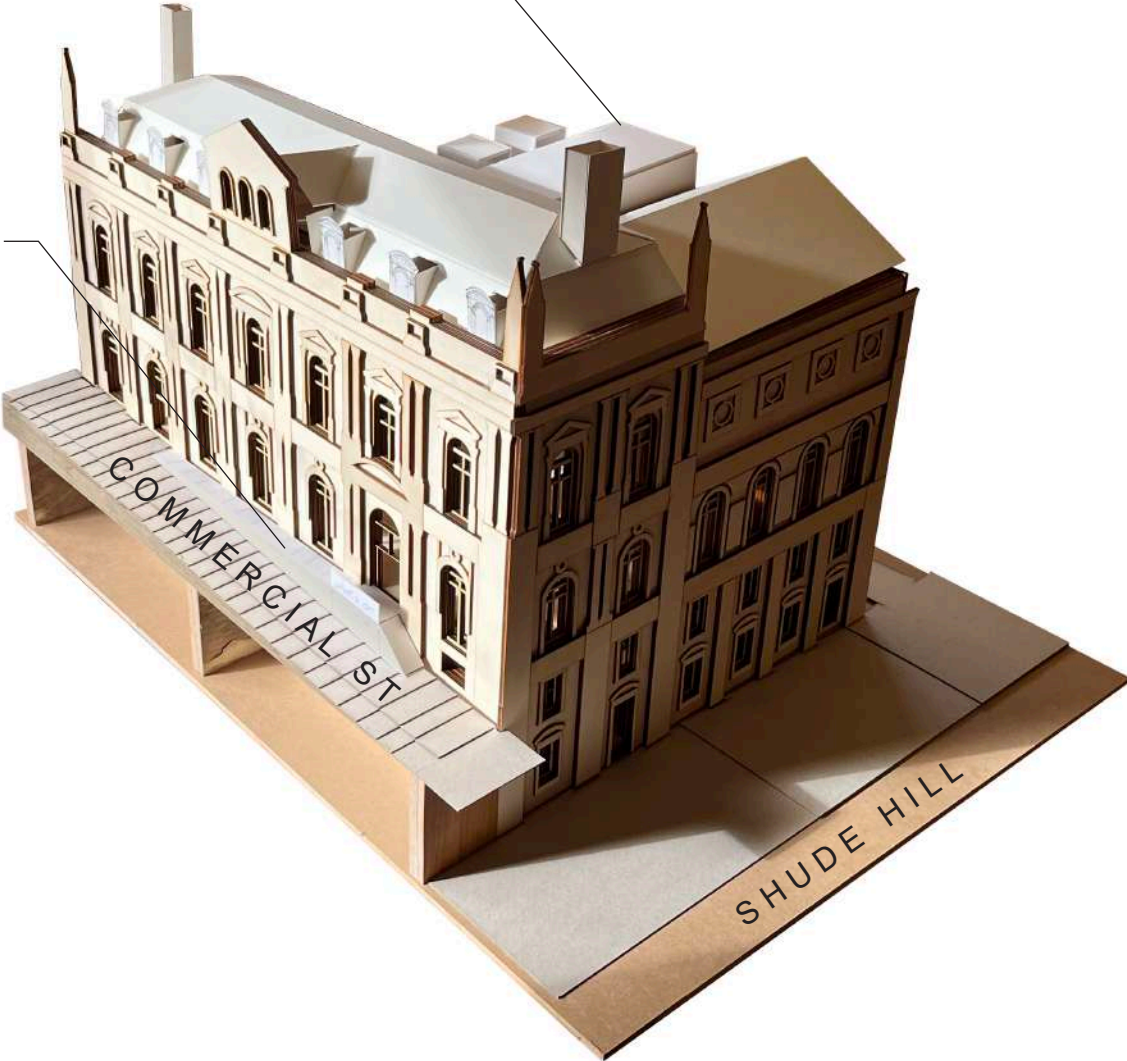


ORIGINAL

Main entrance ramp amended to have a glazed balustrade to reduce visual interruption of south facade and to achieve more benign and sympathetic intervention that allows universal access to the building's original main entrance.

Tower omitted to avoid a visible projection above the existing roof eaves & ridge lines.

Plant relocated to new extension roof



REVISED

SOUTH AERIAL VIEW



CURRENT

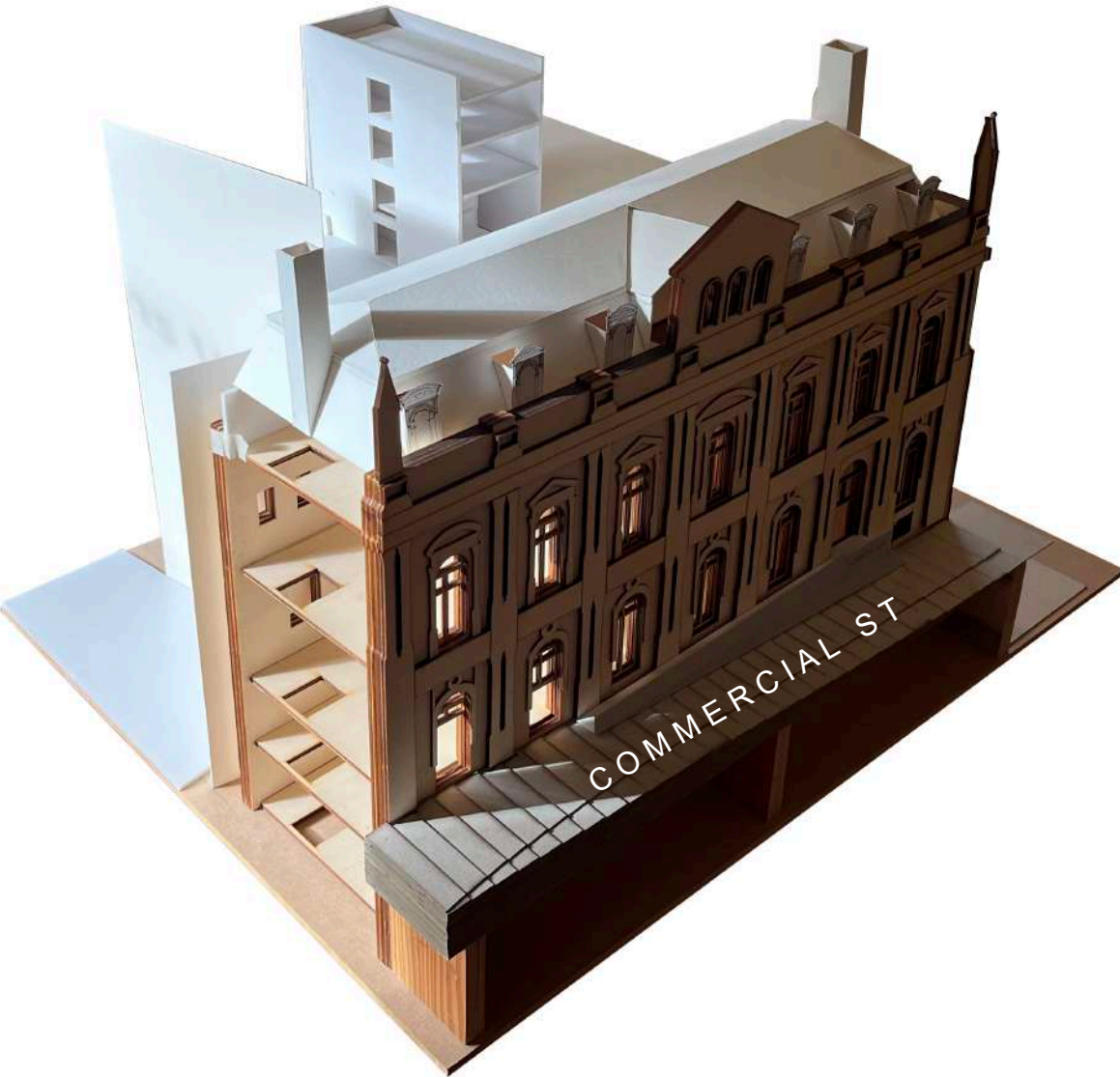
Tower omitted to avoid a visible projection above the existing roof eaves & ridge lines.

Plant relocated to new extension roof



REVISED

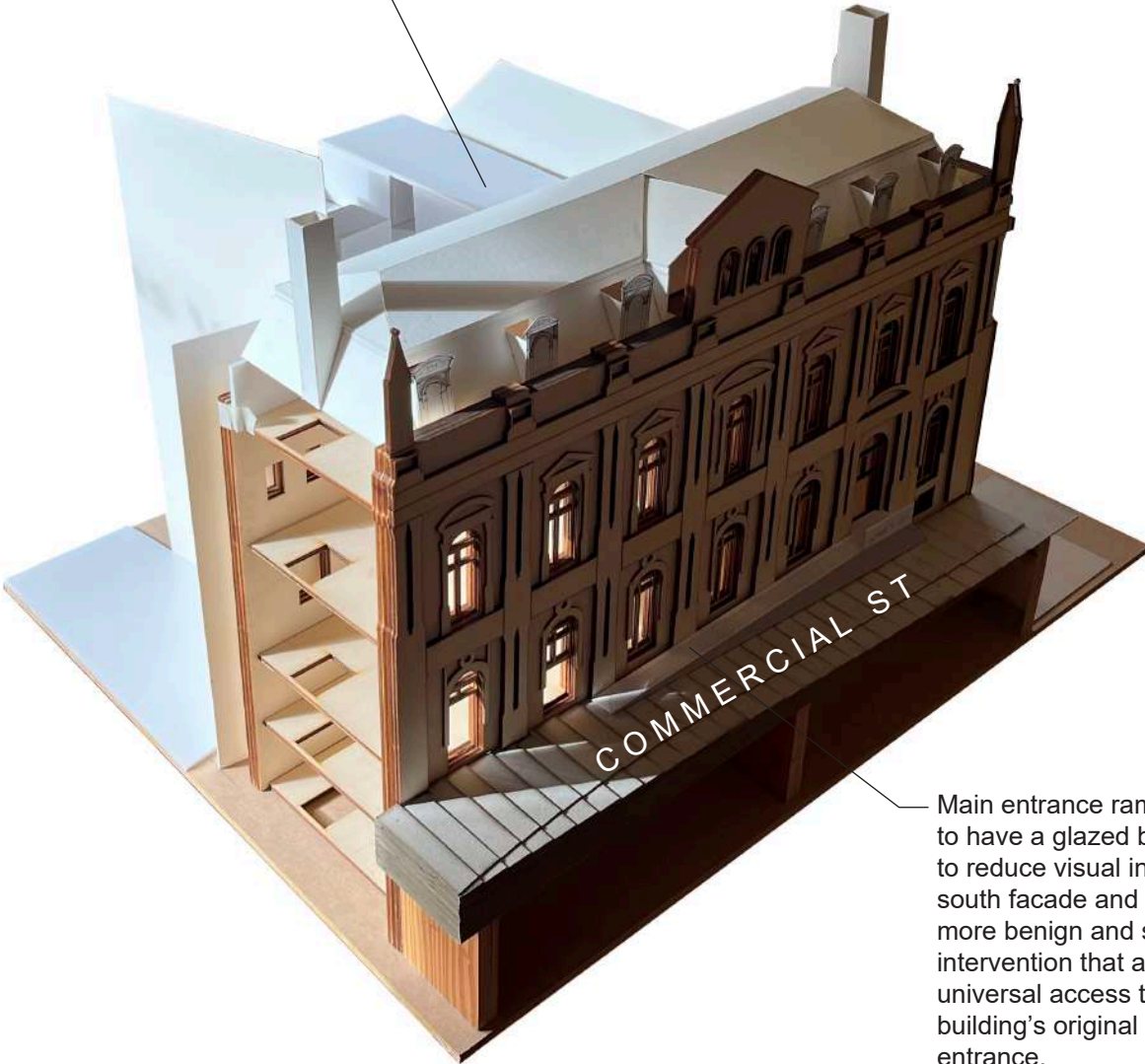
SOUTH / WEST AERIAL VIEW



ORIGINAL

Tower omitted to avoid
a visible projection
above the existing roof
eaves & ridge lines.

Plant relocated to new
extension roof



Main entrance ramp amended
to have a glazed balustrade
to reduce visual interruption of
south facade and to achieve
more benign and sympathetic
intervention that allows
universal access to the
building's original main
entrance.

REVISED

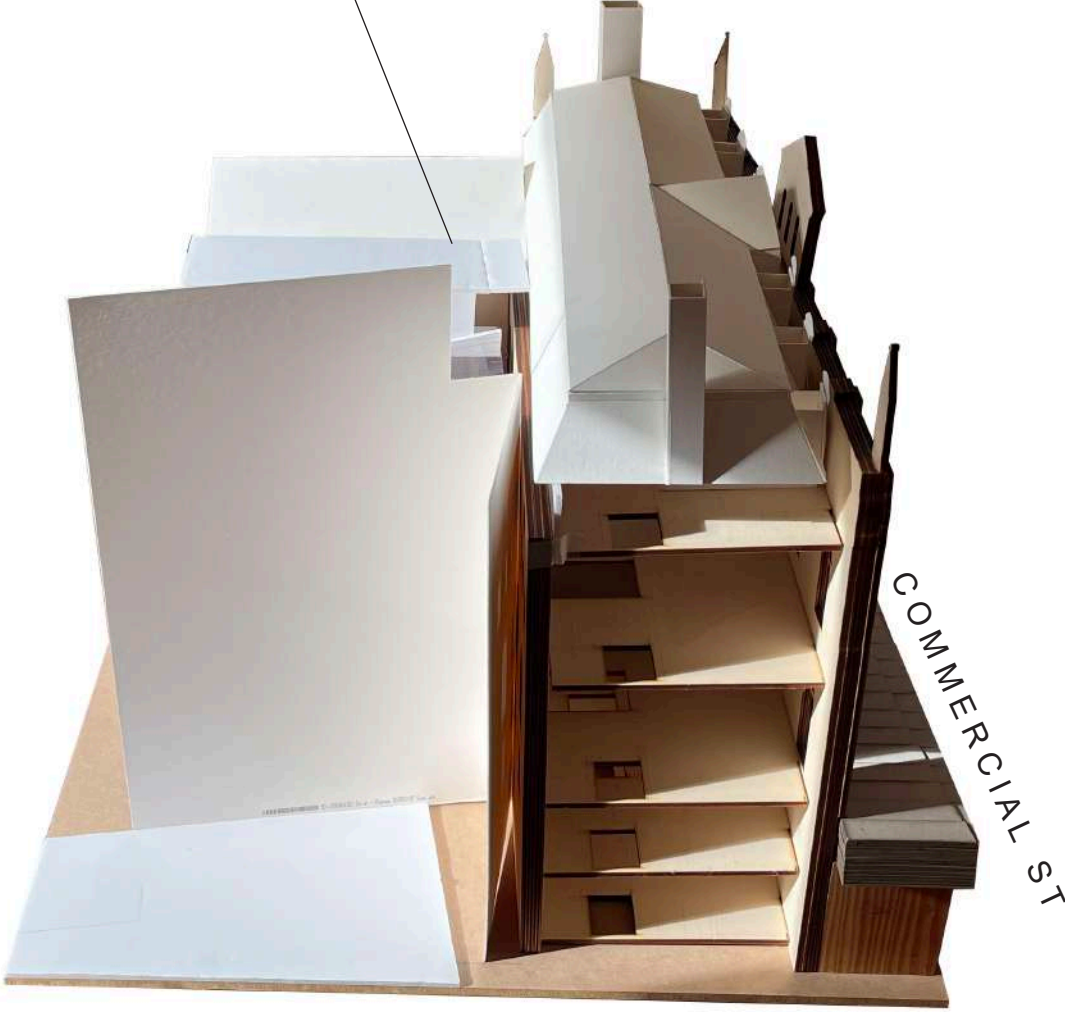
HARMONY WORKS | 1:50 STUDY MODEL
WEST AERIAL VIEW



CURRENT

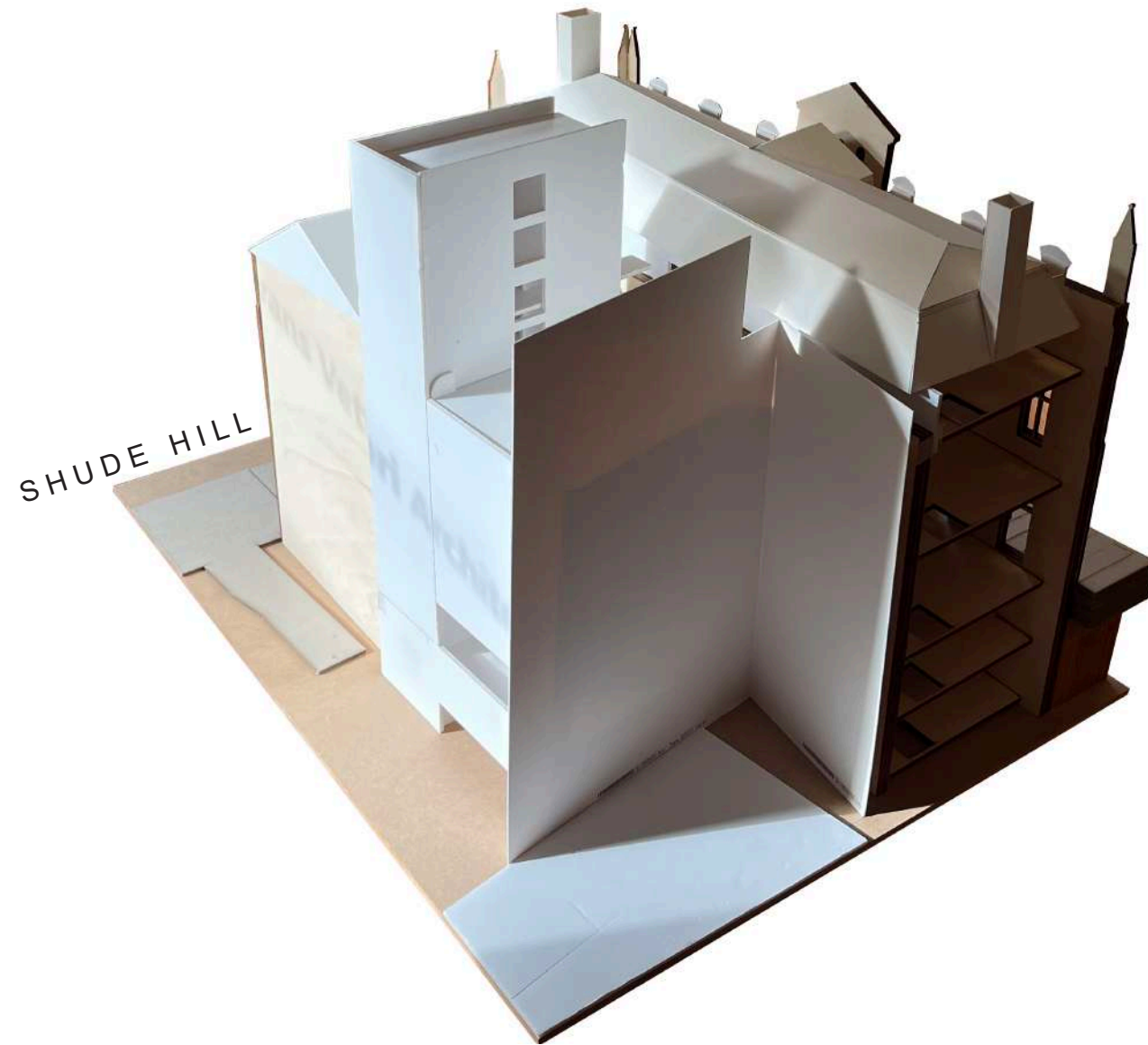
Tower omitted to avoid
a visible projection
above the existing roof
eaves & ridge lines.

Plant relocated to new
extension roof

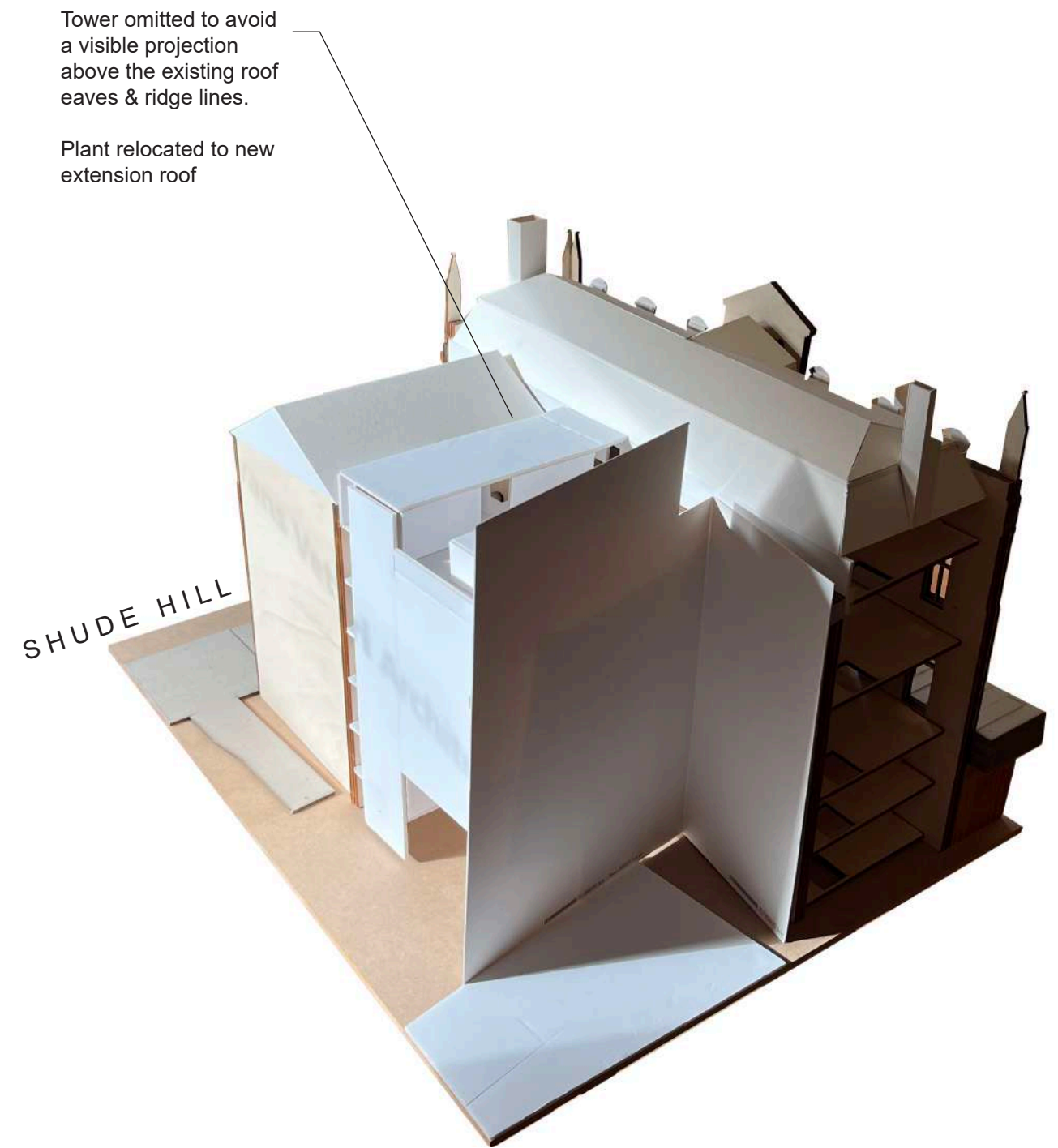


REVISED

NORTH / WEST AERIAL VIEW



ORIGINAL



REVISED

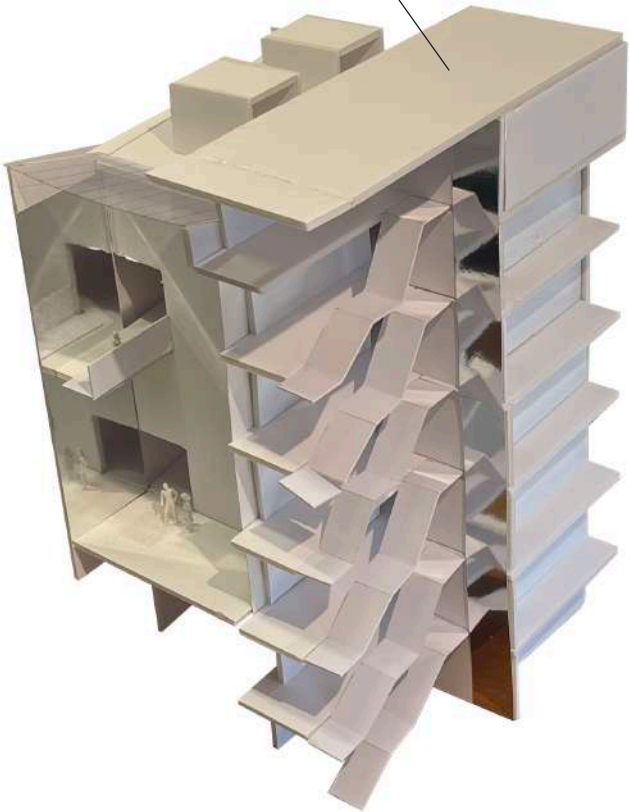
HARMONY WORKS | 1:50 STUDY MODEL
ADDITION - SOUTH / EAST VIEW



CURRENT

Tower omitted to avoid
a visible projection
above the existing roof
eaves & ridge lines.

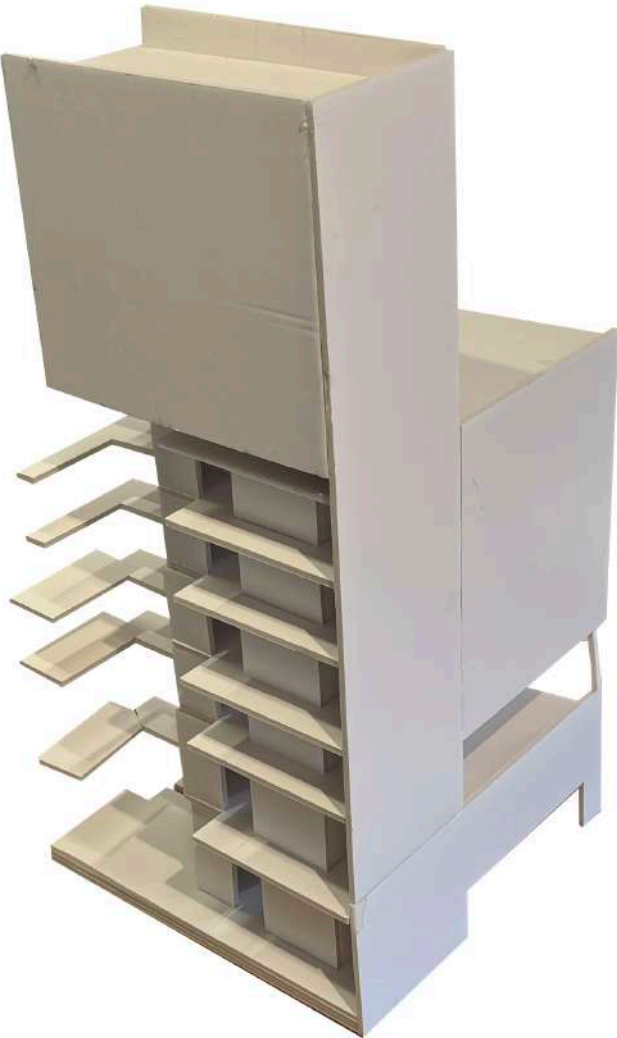
Plant relocated to new
extension roof



REVISED

HARMONY WORKS | 1:50 STUDY MODEL

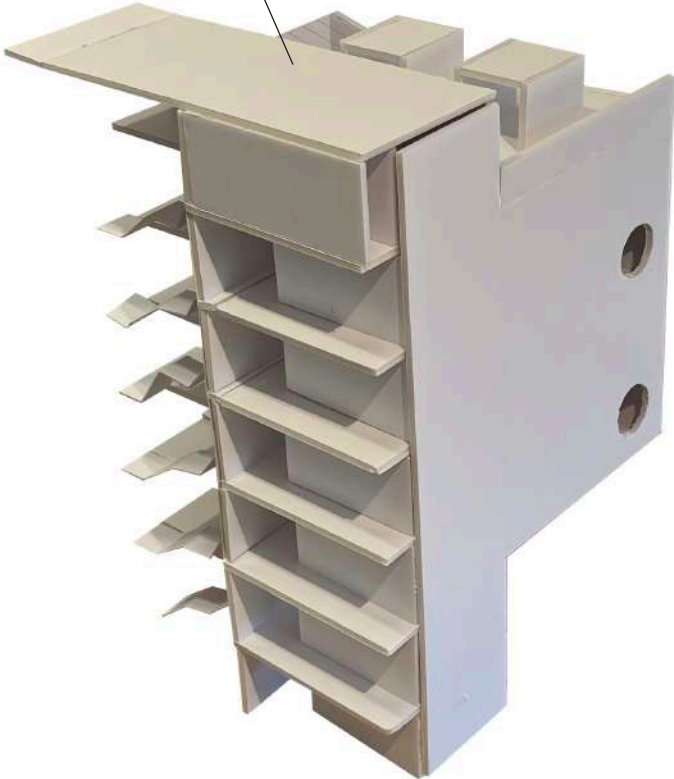
ADDITION - NORTH / EAST VIEW



CURRENT

Tower omitted to avoid
a visible projection
above the existing roof
eaves & ridge lines.

Plant relocated to new
extension roof



REVISED

LARGE PRACTICE / PERFORMANCE SPACE (DAY)



LARGE PRACTICE / PERFORMANCE SPACE (NIGHT)







ROOFTOP GARDEN (DAY)



ROOFTOP GARDEN (NIGHT)



HARMONY WORKS | ENTRANCE RAMP STUDY OPTION

3D VIEW

Glass balustrade at 1100mm above finished floor level to preserve a clear view of the historic facade.

Glass balustrade at 1100mm above finished floor level to preserve a clear view of the historic facade.

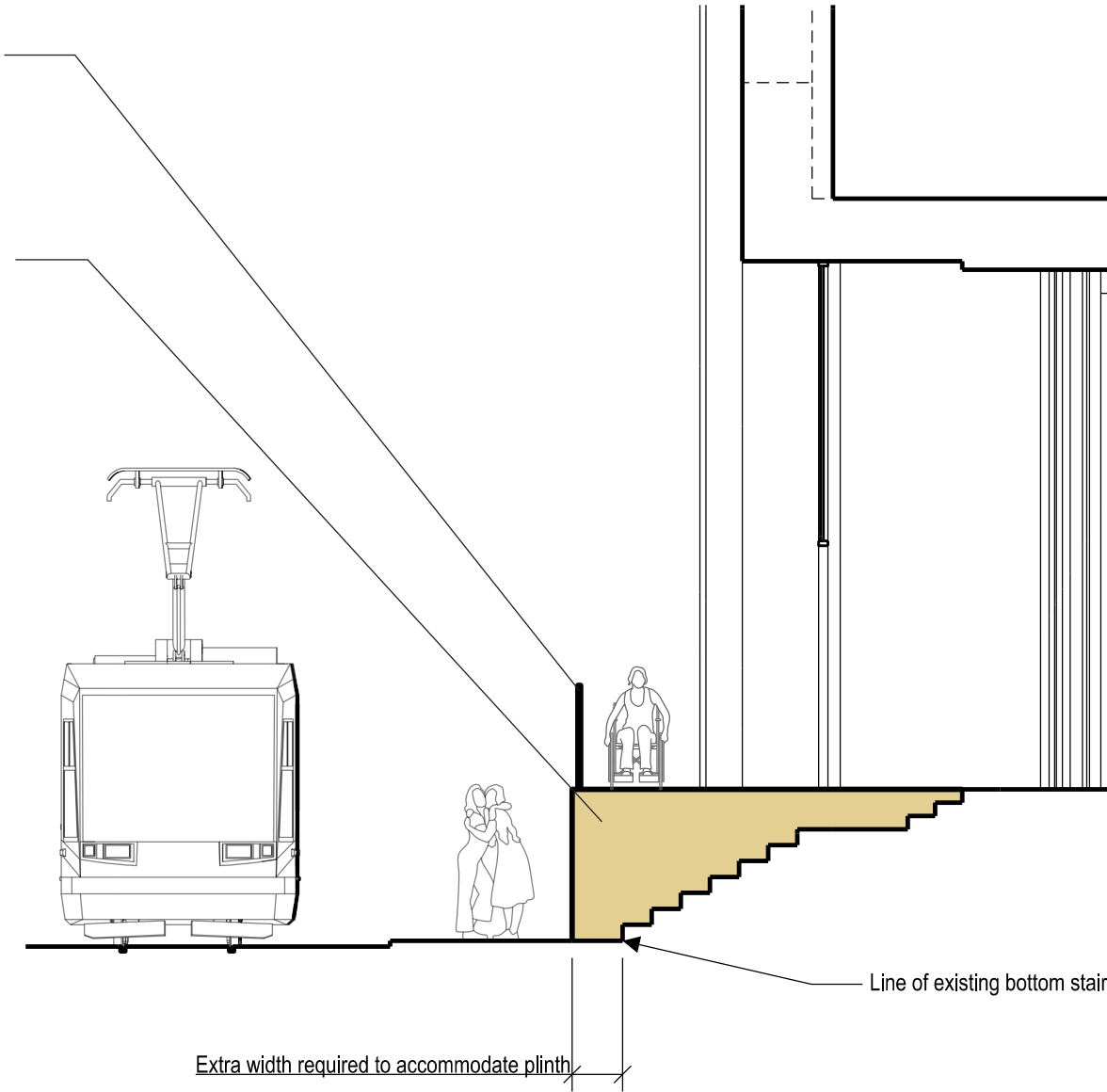
New stone level access running parallel with the existing facade. Minimum width 1200mm

'Whats On' digital advertisement board omitted to reduce the visual impact on the facade.

Single run of stairs down from main entrance to meet existing pavement level

'Harmony Works' signage carved into new stone plinth

New stone level access running parallel with the existing facade. Minimum width 1200mm

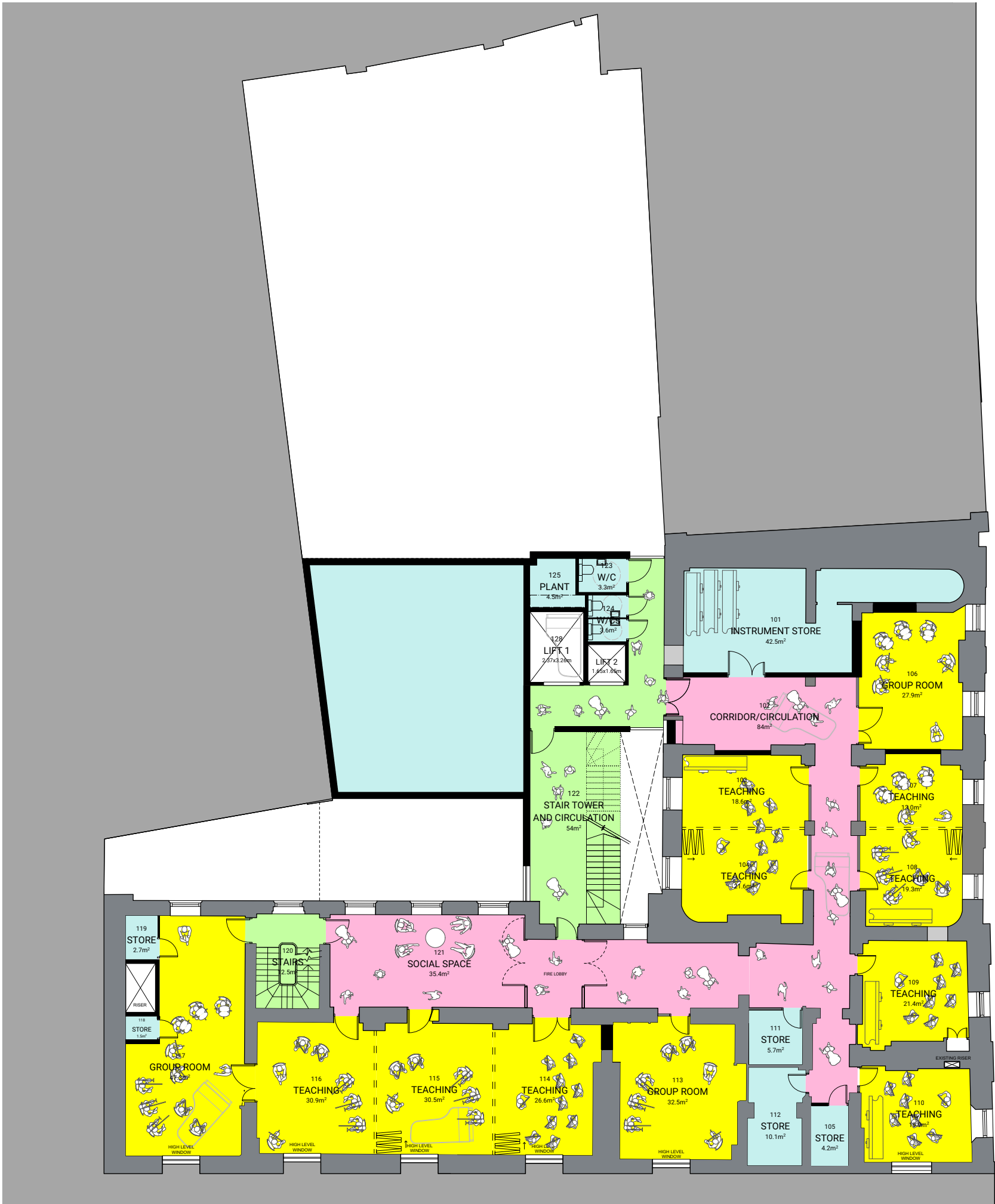


HARMONY WORKS |
POPULATED FLOOR PLANS

LOWER GROUND FLOOR PLAN

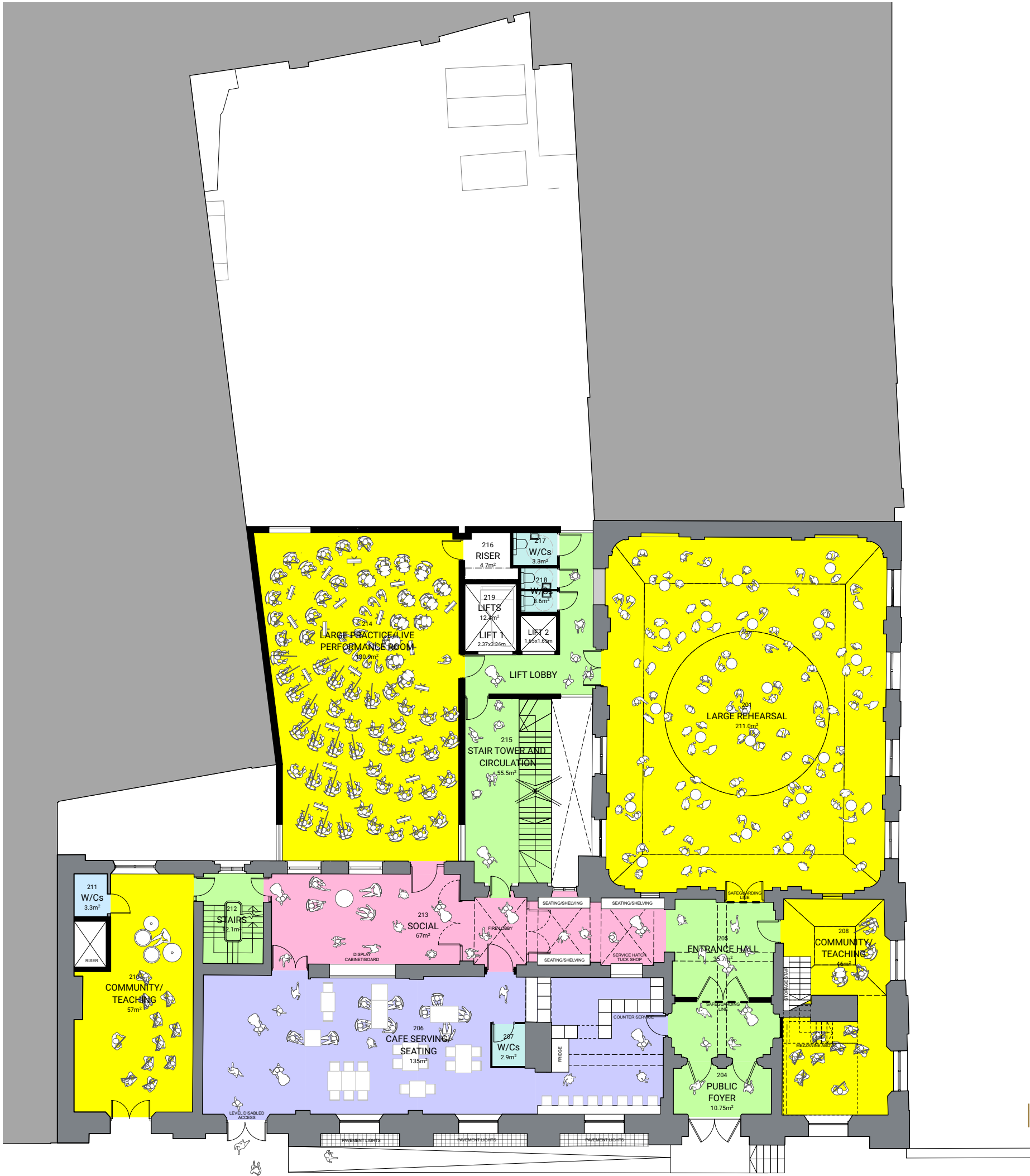


HARMONY WORKS |
POPULATED FLOOR PLANS
UPPER GROUND FLOOR PLAN



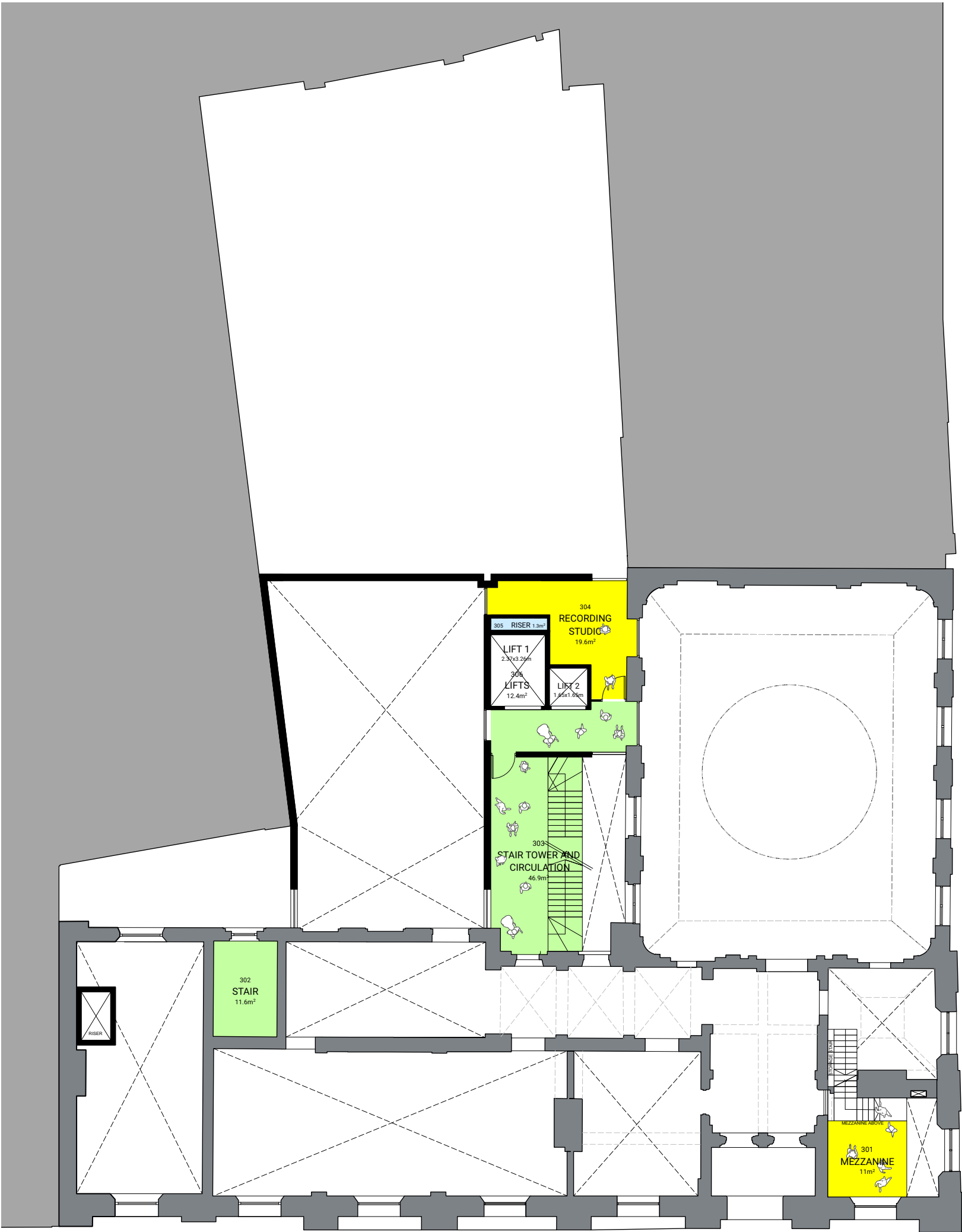
HARMONY WORKS |
POPULATED FLOOR PLANS

GROUND FLOOR PLAN



HARMONY WORKS |
POPULATED FLOOR PLANS

GROUND FLOOR MEZZANINE PLAN

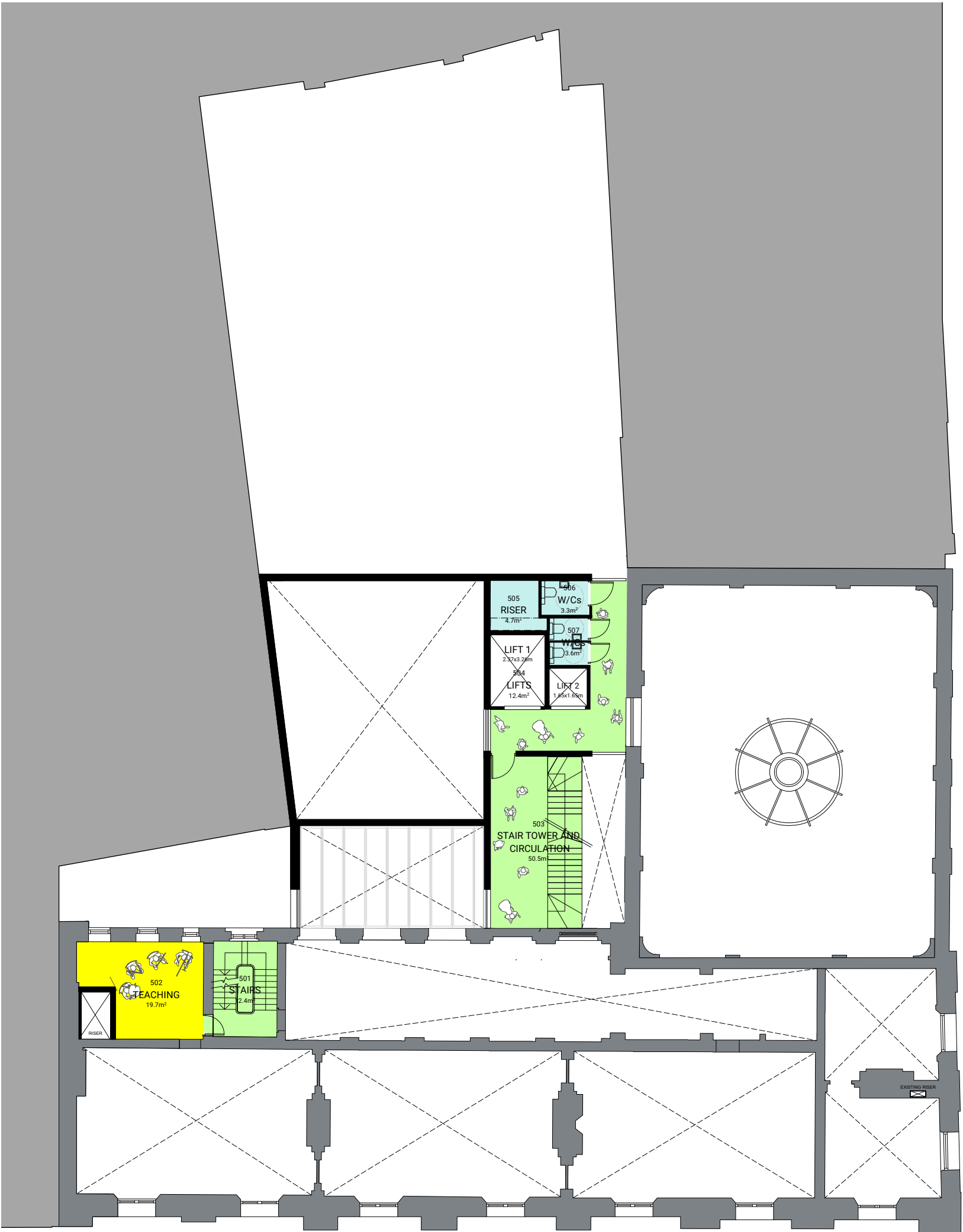


HARMONY WORKS |
POPULATED FLOOR PLANS

FIRST FLOOR PLAN



HARMONY WORKS |
POPULATED FLOOR PLANS
FIRST FLOOR MEZZANINE PLAN



HARMONY WORKS |
POPULATED FLOOR PLANS
SECOND FLOOR PLAN



HARMONY WORKS |
POPULATED FLOOR PLANS

SECOND FLOOR MEZZANINE PLAN

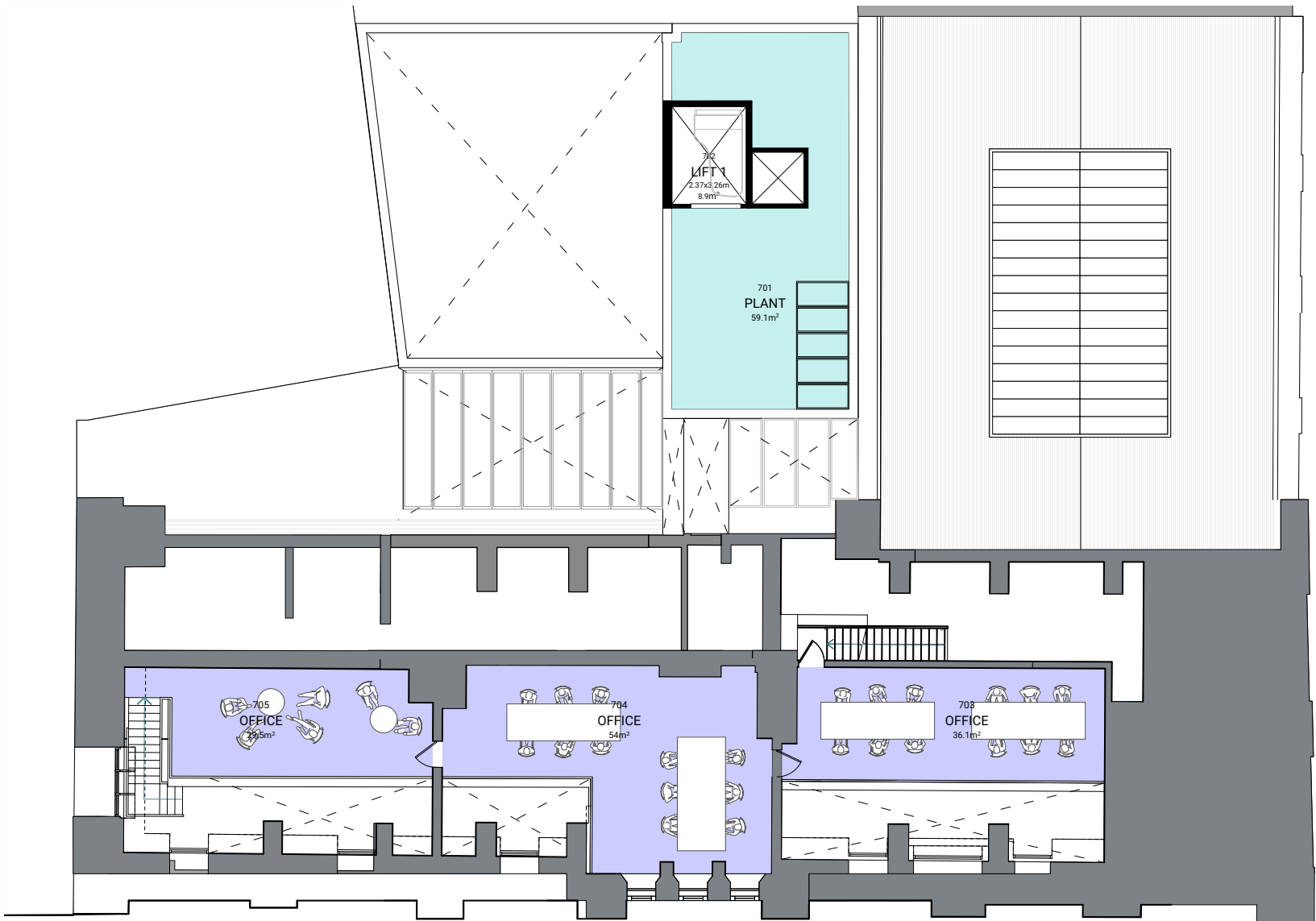




Image 2.0- Grand Main Hall arched entrance



Image 2.1- Main Hall



Image 2.2- Decorative Ceiling of the first floor board room.

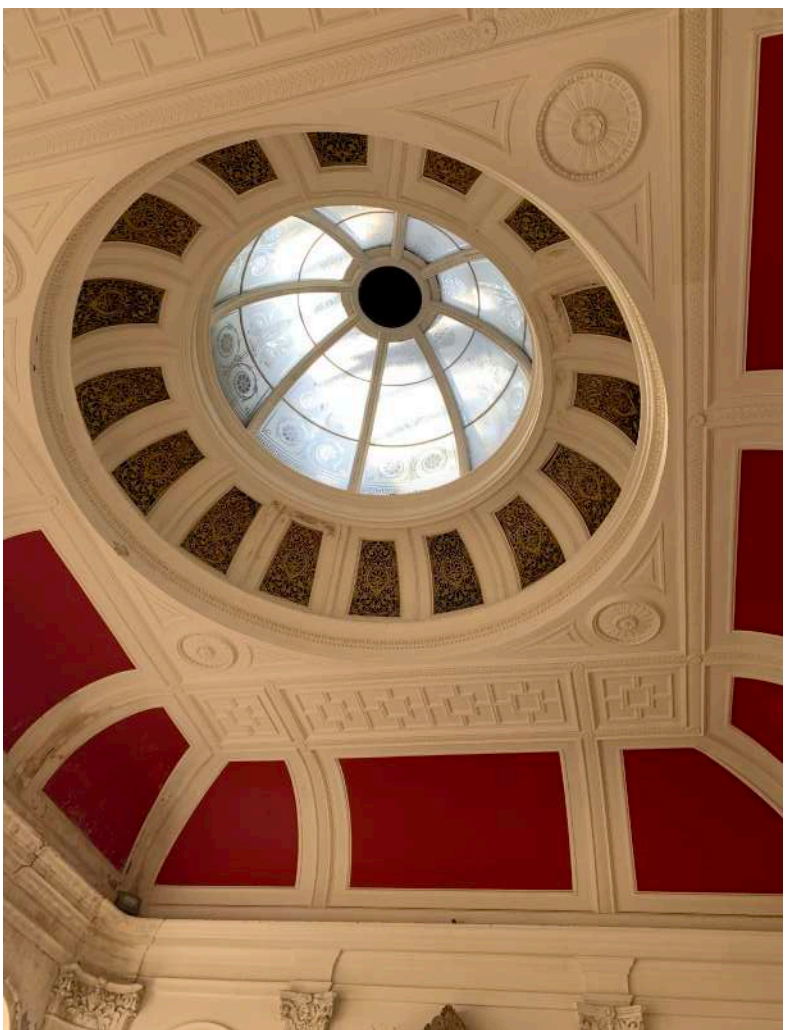


Image 2.2- Decorative Ceiling of the Main Hall with domes top light.



Image 3.1- Rear Elevation, knuckle of the building



Image 3.2- North East Rear Elevation



Image 3.3- North East Rear Elevation in relation to the adjacent B&M Bargains Building,

Appendix

1- Existing Building Images



Image 1.1 - Canada House South West and South East Elevations from Commercial Street



Image 1.2 - Canada House South East Elevation, Shude Hill



Image 1.3 - Canada House South East Elevation, Shude Hill

