

BRIEF - MEASURED SURVEY

Please provide your fixed price quotation to carry out a survey and produce the following information:

1	Building Survey Scope
	Carry out a measured survey with a view to producing 2D printed drawings presented at a 1:100 scale.
1.1	All floor plans inside the dotted red line marked on the appended Site Plan, to include all levels of building including all attic spaces/roof voids.
1.2	All roof plans.
1.3	All elevations.
1.4	Sections through the building to extents and orientation as marked on appended Roof Plan.
	Detail
	<p><i>Detail of walls - stud / masonry / lined.</i></p> <p><i>Doors, windows and openings showing internal and external heights to sills / heads / thresholds and opening direction and door leaf size.</i></p> <p><i>Ceiling heights.</i></p> <p><i>Visible structural detail.</i></p> <p><i>Overhead structure with spot levels top and bottom – beams, change in ceiling level, roof lights, loft hatches etc.</i></p> <p><i>Roof space plan to show positions of trusses, purlins, ridges and hip etc. Size and position with general rafter size and spacing clearly noted.</i></p> <p><i>Typical truss arrangements shown in section drawings where appropriate.</i></p> <p><i>Stairs, steps and ramps and direction of ascent.</i></p> <p><i>Levels relative to established datum in and around the buildings to show all changes in floor level and height of features (wall tops / openings / panelling etc).</i></p> <p><i>For sections and elevations extend ground lines to dotted red line on Site Plan to show immediate landscape context.</i></p> <p><i>Joist directions, where possible.</i></p> <p><i>Floor finishes to be labelled on plans and external materials to be labelled on elevations.</i></p> <p><i>Gas, telecom, electrical (not including electrical fittings) – entry into building, meters, distribution boards.</i></p> <p><i>Boiler, tanks, radiators, heaters, towel radiators, etc.</i></p> <p><i>Sanitary fittings, soil and vent pipes, extractors and ducts.</i></p> <p><i>Internal inspection chambers with cover and invert levels and direction of flow and pipe sizes.</i></p> <p><i>Rainwater goods, downpipes and gullies.</i></p> <p><i>Elevation info with spot heights.</i></p> <p><i>Solar PV. Eaves, ridges and valleys with levels shown across stepped valleys. SVPs, roof vents.</i></p> <p><i>Door and window frame and casement details and opening directions.</i></p> <p><i>All other protrusions.</i></p>

2	Topographic Survey
2.1	Carry out a measured survey with a view to producing 2D printed drawings presented at a 1:100 scale.
2.2	Topographic plan to extents outlined in dotted red line on appended plan. (To approx. halfway across the width of the surrounding roads).
2.3	Site Sections to extents and orientation as marked on appended roof plan so that as much information as possible can be derived regarding the roof structure and rainwater drainage strategy.
	Detail -
	<p><i>Footprints, ridge and eaves of buildings with internal and external floor levels identified at thresholds.</i></p> <p><i>Footprints, ridge and eaves heights of buildings adjacent to site where visible for context as appropriate.</i></p> <p><i>External levels on a max 5m grid with 3D contours at 0.5m intervals related to OS datum.</i></p> <p><i>Heights and positions of retaining walls and boundary structures, fences and gates.</i></p> <p><i>Steps and ramps.</i></p> <p><i>Positions and sizes of services covers - water/gas/telecom/power, etc.</i></p> <p><i>Overhead services – telecom/power cables and posts.</i></p> <p><i>Manhole, rodding eyes and gullies showing cover and invert levels, direction of flow and pipe sizes and label to show whether FW or SW.</i></p> <p><i>Positions, canopy spread, height and girth of mature trees on and within falling distance of the site.</i></p> <p><i>Paths, banks, ditches, hard / grassed areas, planting beds and hedges, road kerbs, verges.</i></p> <p><i>Surface finishes to be labelled.</i></p> <p><i>Other features that characterise the site.</i></p>
3	Architect's Requirements
	<p>Drawings</p> <p>Text on plans to be "Arial" with legible font size at 1:100.</p> <p>All levels to relate to OS Datum.</p> <p>All lines drawn to logical and clearly labelled layer/class according to what they represent.</p> <p>All lines, polylines etc to intersect at junctions.</p> <p>Window and door frames must not be part of wall polylines/polygons.</p> <p>All redundant survey information (classes, symbols etc) to be purged from files before final issue.</p> <p>Where survey has not been conclusive as result of overgrowth of vegetation or other obstruction this must be clearly marked on the survey information.</p> <p>Issue of information</p> <p>All information to be issued in DWG or VWX format digital files along with PDF versions.</p> <p>Any information not being included in your survey to be clearly identified.</p> <p>Any queries to be directed to the Architect for clarification.</p>
4	3D PhotoMesh Model (Priced Separately)
4.1	<p>3D PhotoMesh for import into SketchUp</p> <p>Please price separately for a 3D PhotoMesh model in a compatible file format for import into SketchUp.</p>

- 4.2 Please confirm the file format that you would recommend and use. We ask for a sample model to be provided in advance of the survey to check for compatibility.
Please price as separate item with
- Cost for taking information during survey.
 - Cost for developing information as model at a later date if required.
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Site Address: Bideford Pannier Market, Market Place, Bideford, EX39 2DR.

APPENDIX

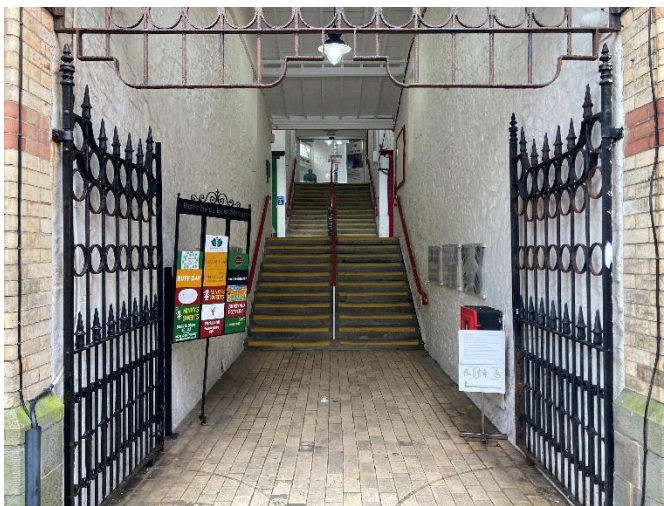
A: Survey Extents

- Please see separate SITE PLAN showing extents of topographic survey information.
- Please see separate ROOF PLAN showing measured survey section line extents.

B: Site Photos



1. Butchers Row: Exterior from Grenville Street (North East Elevation).



2. Butchers Row: Steps from East Entrance leading up to Market Hall looking west.



3. Market Hall: Interior looking North East.



4. Market Hall: Exterior from Honestone Street (South West Elevation).



5. Market Hall: Exterior from Market Place (North Elevation).