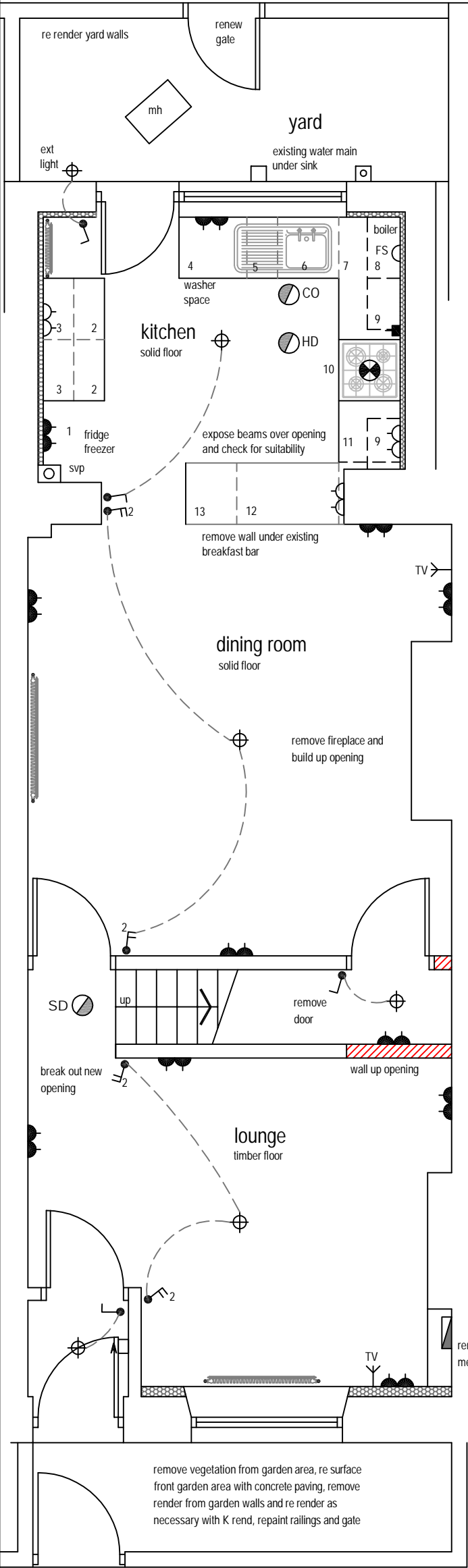


GENERAL
These notes to be read in conjunction with detailed specification from Burnley Council.
Any discrepancies are to be reported to any supervising officer and Burnley Council.
All workmanship and materials to comply with current Building Regulations and relevant British Standards, Codes of Practices.
All electrical work to conform to current edition of IEE regs and carried out by part P approved contractor.
Any gas related works to be carried out by gas safe registered contractor.
All materials to be fixed, applied or mixed in accordance with manufacturer's instructions and specifications.
The contractor shall take into account everything necessary for the proper execution of the works.
All dimensions to be checked on site by the contractor prior to ordering of any materials and any discrepancies brought to the attention of the client.
All work to be carried out in accordance with CDM regulations 2015 and Health & Safety at work act.

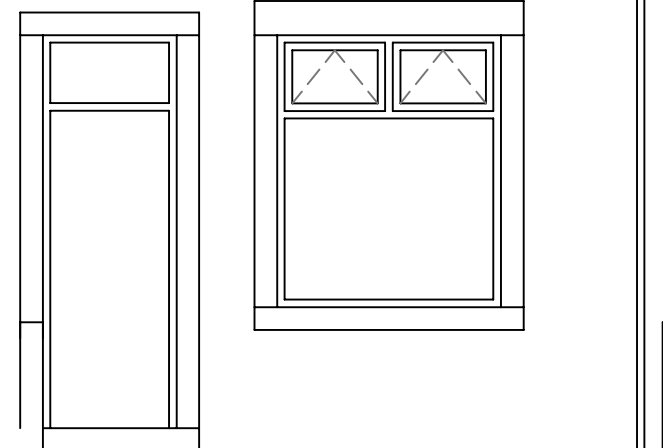
Kitchen Unit Schedule

1. fridge freezer space
2. 600mm base unit with worktop over (2no)
3. 600mm wall unit 720mm high (2no)
4. washer space with worktop over
5. 300mm base unit with worktop over
6. 600mm sink base unit and sink
7. 1200mm corner base unit with worktop over
8. 600mm wall unit 720mm high housing boiler
9. 500mm wall unit 720mm high (2no)
10. 600mm cooker space for integrated oven with gas hob, gas & electric cooker point, extract over ducted to external air
11. 600mm drawer pack with worktop over
12. 1000mm base unit with worktop over and back panel
13. 500mm base unit with worktop over and back panel



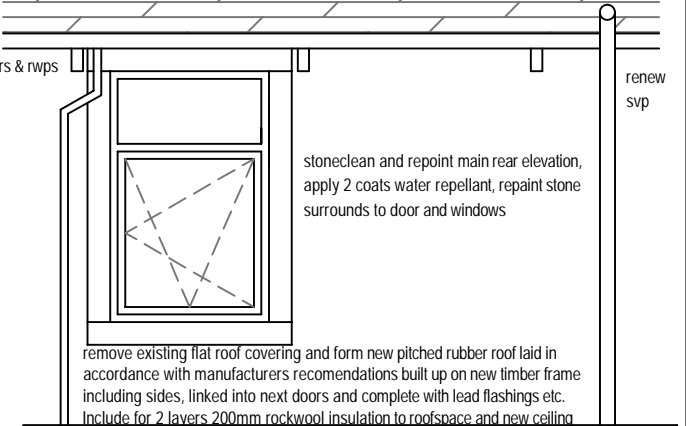
Proposed Ground Floor Plan

Replace all windows with uPVC (colour as per specification) complete with double glazed units and trickle ventilation fixed to heads of all windows.
Openers to bedrooms be suitable for escape in case of fire in accordance with Building Regulations.
Any glazing below 800mm above internal floor level to be toughened safety glazing in accordance with approved document 'N' of the building regulations.
Replace front and rear doors with composite doors



Proposed Front Elevation

strip off and reslate roof on new tanalised battens on new breathable felt, replacing any missing or damaged slates, take off and rebed / repoint ridge tiles, check and make good pointing to chimney stack



Proposed Rear Elevation

Strip out and rewire property to points shown, all electrical work to conform to current edition of IEE regs and to be carried out by part P approved contractor. Include for new security alarm

Kitchen mechanical extract ventilation to achieve 30 litres/second adjacent to a hob or 60 litres/second elsewhere.
Bathroom / shower fan to have 15 minutes overrun and to operate via the light switch
Smoke / heat detectors to be mains wired with battery back up and interlinked

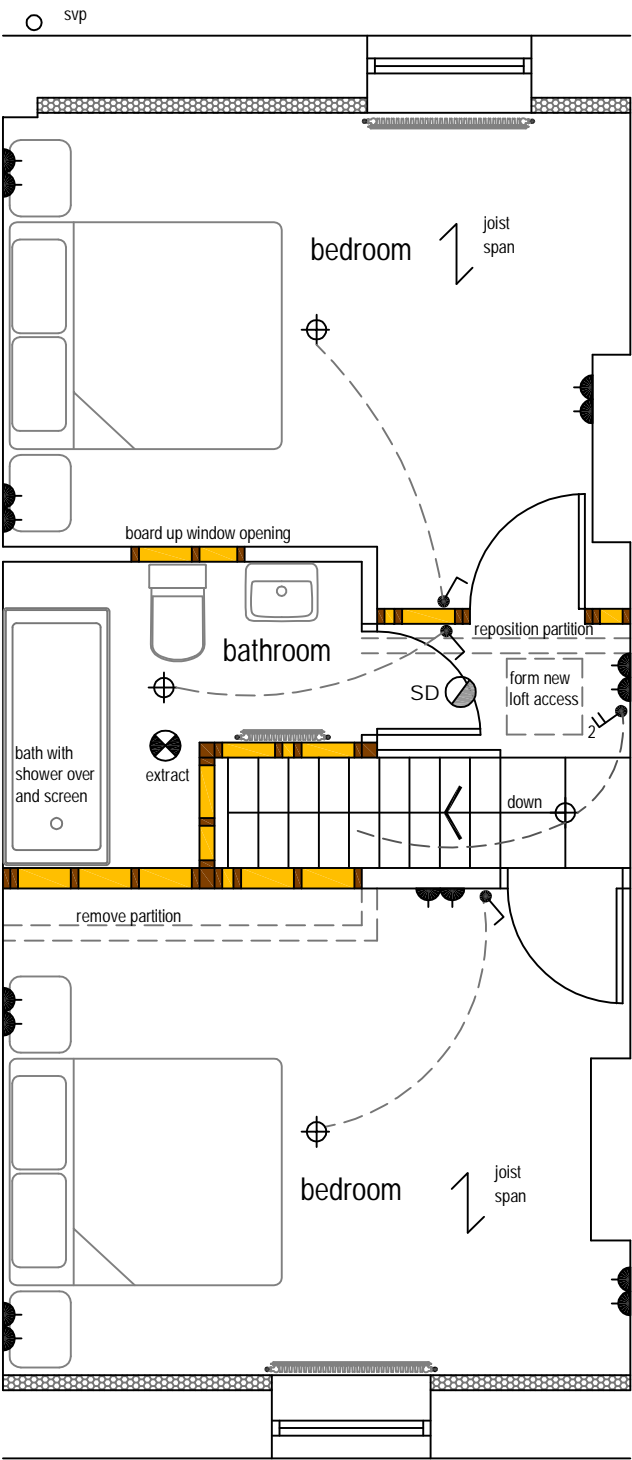
ELECTRICAL SYMBOLS

- 13 amp high level double switched sockets
- 13 amp low level double switched sockets
- FS Fused outlet (boiler etc)
- High level switch with neon indicator and socket below
- Cooker control unit complete with socket
- Light switch one way
- Light switch two way
- Pull switch
- External wall light
- Internal ceiling light
- HD Heat detector
- CO Carbon monoxide detector
- SD Smoke detector
- TV socket
- Alarm keypad
- consumer unit
- extract

Strip out all plumbing and heating and provide and fix new hot and cold water pipework, wastes, svp etc to new bathroom and kitchen.
Provide and fix new class A rated gas fired boiler with fan assisted flue to kitchen fixed in accordance with manufactures instructions, TRV's to new radiators
Provide and fix new kitchen units as per schedule.
New bathroom suite with deep seal anti vac traps to wastes to connect to new soil and vent pipe. Include for shower over the bath, all tiling and shower screen etc.
100mm drainage laid to falls 1:40 to manufacturers instructions and runs agreed and inspected by Building Control Officer

Remove existing partitions as necessary, new partitions required to be 100 x 50mm timber studding with acoustic insulation, 9mm plasterboard both sides and skim finish.
Provide extra noggings in floor as necessary.
Include for new doors complete with new frames, architraves, skirtings etc.
Remove steps and 'jubilee' bathroom partitions, floor etc and form new bathroom at same level as existing main first floor. Include for new floor joists over stairs ensuring 2m minimum headroom is maintained to stairs, include for new ceiling joists as necessary at same level as existing main first floor ceilings, form new partitions as shown and new balustrade to landing.

Remove / overboard ceilings with 12.5mm plasterboard and skim ceilings to rooms indicated on schedule, provide 2 layers 200mm rockwool insulation laid in opposite directions to roofspace and new insulated access hatch.
Remove plasterwork to walls as indicated on schedule, external walls lined out with Thermaline super board and party walls with soundbloc boards with skim finish.
Provide new dpc to all ground floor walls including waterproof render / tanking prior to dry lining



Proposed First Floor Plan

Project
Alterations / Refurbishment
9 Fir Street, BURNLEY

Client
Burnley Borough Council

Description
Proposed Layout

Scale
1:50 @ A3

Date
Oct 2022

Drawn
CW

Drawing No
624/02