

**EMPLOYERS REQUIREMENTS
FOR
THE RENOVATION
OF
TWO FULL SIZE POROUS ASPHALT TENNIS COURTS
AND
ASSOCIATED WORKS
AT**

WICKHAM COMMUNITY TENNIS CLUB

MAY 2025

PREPARED

BY



FOR WICKHAM & KNOWLE PARISH COUNCIL

PROJECT REF. NR. 2025/023 WCTC CRT WKS

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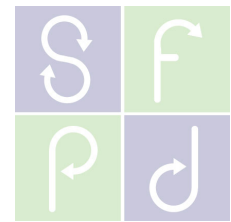
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SECTION 1.00

PRELIMINARY PARTICULARS



1.00 PRELIMINARY PARTICULARS **SFPD REF NR 2025 CAS 023 WCTC CRT WKS**

1.01 General

This document sets out the Employers Requirements to be included in the Conditions of Contract in respect of the Design and Construction of the Works described herein and includes the obligations and restrictions to be imposed upon the Contractor.

1.02 Project

The works comprise the design and construction of various works detailed within Section 2.00 of this document.

1.03 Parties and Consultants

Wickham & Knowle Parish Council
Knowle Village Hall
Knowle Avenue
Knowle
HANTS. PO17 5GR.

Employers Representative :-

Mrs Sophie Thorogood Tel. 01329 553254 Mob. 07770 246293

Email : clerk@wickhamparishcouncil.org

Sports Floodlighting Consultants :-

Sports Facility Planning & Design Limited
39 Hemwood Road
Windsor
BERKSHIRE.
SL4 4YX.

Contact : Mr L. West Tel. 01753 850123 Mob. 07770 366259

Email : office@sfpad.co.uk

Employers Agent :-

Sports Facility Planning & Design Limited
39 Hemwood Road
Windsor
BERKSHIRE.
SL4 4YX.

Contact : Mr L. West Tel. 01753 850123 Mob. 07770 366259

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The site of the proposed works is located on land at Wickham Recreation Ground, Fareham Road, Wickham, Fareham, HANTS. PO17 5BY.

1.05 Access to the Site

Access to the site area will via the contractors sheet boarded or metal interlocking panel temporary access road from the existing car park which forms part of these works.

The Contractor shall allow for forming a suitable temporary site access route (steel/aluminium or plastic interlocking protective boarding) from the internal access road area to the court block area, with temporary 1.80m temporary rigid panel fencing to both sides and all reinstatement of this on completion of the works.

1.06 Limitations of Working Space

The Contractor shall confine everything pertaining to the Contract within the area of the proposed works and surrounding areas.

The Contractors operations are to be confined to the minimum area required to carry out the works which shall be executed carefully so as to cause minimum nuisance and inconvenience to the users of adjoining facilities.

Contractors vehicles will be required to park within the boundaries of the Poole Park public park within a compound formed adjacent to the court block area.

1.07 Restrictions on Working Hours

Generally no specific restrictions will be placed upon normal working hours (8.00 a.m. to 6.00 p.m.) other than weekend working (i.e. Saturdays, Sundays and Bank Holidays) which will not be permitted without prior formal approval from the Employer.

The Contractor is required to state within his tender during what hours he proposes to undertake the works.

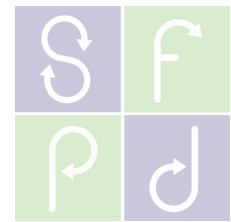
1.08 Trespass and Nuisance

All reasonable means shall be used to avoid inconveniencing adjoining owners and occupiers.

No persons employed on the works shall be allowed to trespass on adjoining properties.

The Contractor shall indemnify the Employer against any claims or action for damage on account of any trespass or other misconduct of the Contractors' employees.

The Contractor or any of his subcontractors, their staff and workmen will not be allowed to park any vehicles or plant on the surrounding roads.



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1.09 Inspection of the Site

The Contractor is recommended to visit the site and surrounds as no claim due to lack of knowledge which could have been obtained by such a visit will be entertained.

Permission to visit the site must be obtained from the Employers Representative.

1.10 Drawings and Other Documents

Drawings will be issued with these Tender documents and this will indicate the position of the existing tennis courts, adjacent facilities and surrounds.

1.11 Name Boards

Not required.

1.12 Advertisements

All rights of advertising on the site shall be reserved by the Employer and the Contractor shall take all necessary measures to ensure that no unauthorised advertising takes place.

1.13 Publicity

No information, either written or verbal, nor photography or drawings concerning this Contract shall be supplied by the Contractor to any persons without the written authority of the Employer.

1.14 Programme

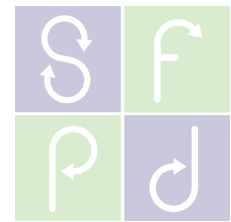
The Contractor shall before being given possession of the site prepare and submit his proposed programme for the execution of the works for comment by the Employer.

Thereafter the Contractor shall amend and revise the programme as required by the Conditions of Contract or as requested by the Employer.

1.15 Method Statement

The Contractor should provide, at the time of tendering, a statement describing their proposed general and detailed arrangements and methods for carrying out the works.

The Method Statement should include details of how all stages of the works will be executed. It should detail procedures to ensure the specified parameters are obtained, the appropriate climatic conditions in which the surfacing can be laid, the appropriate Health and Safety requirements and training that personnel will undergo prior to working on site. The document should indicate areas of work that will be sub- contracted and detail the company(s) that will be employed.



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1.16 Site Meetings

Formal pre-start, monthly progress or stage completion and practical completion hand over meetings will be held by the Employer and minutes will be taken and distributed by the Contractor.

1.17 Plant, Tools and Vehicles

The Contractor shall allow for providing all plant, tools and vehicles necessary for the completion of the Works.

1.18 Site Administration

The Contractor shall allow for all necessary site administration for the proper execution of the Works. Prior to commencing the works on site the Contractor shall confirm to the Employer the name of the person in charge of the site together with brief details of his experience. This person is not to be changed without the prior agreement of the Employer, which will not be unreasonably withheld.

The Contractor shall ensure that the works and the site are properly protected and secured at all times, including any works outside the site boundary, and that the Employer is indemnified against any claim for loss, damage, theft or the like. The use of guard dogs will not be allowed.

1.19 Site Security and Temporary Fencing

The Contractor shall provide all temporary and permanent fencing as necessary.

The Contractor must provide for situating his temporary buildings and offices and the storing of materials etc. within the site boundaries.

The site is to be maintained in a secure state until completion at which time all temporary fencing, building materials and equipment is to be removed and all works made good. The site is also to be left in a safe and tidy state at the end of each working day.

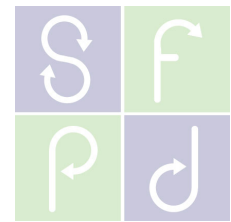
1.20 Water for the Works

An existing water supply is present to side of court Nr 2.

The Contractor shall allow for distributing water for the whole of the Works including all temporary arrangements for storing and distributing.

1.21 Lighting and power for the works

The Contractor shall allow for providing all necessary artificial lighting and supplying electric power for mechanical tools and plant for the whole of the Works to a standard not inferior to that laid down in the Institute of Electrical Engineers' Regulations.



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1.22 Temporary Roads, Hard Standings etc.

The Contractor shall allow for providing all temporary roads, hard standings, crossings and the like necessary for carrying out the whole of the Works and removing the same on completion.

1.23 Temporary Accommodation for Use by the Contractor

The Contractor shall allow for providing and maintaining all necessary temporary offices or storage for materials for his own requirements.

No offices, stores or temporary buildings shall be erected on site without first obtaining the consent of the Employer as to the position in which they are to be erected.

1.24 Temporary Telephone

Not required.

1.25 Safety, Health and Welfare of Work people

The Contractor shall allow for providing and maintaining all welfare and safety measures to a standard not inferior to that laid down in statutory instruments, rules and orders and subsequent amendments thereto for all workmen employed on the site including the employees of Subcontractors.

Sanitary accommodation for workmen and staff shall be provided, connected to existing drainage where practicable, and maintained in a thoroughly clean, deodorised and orderly condition.

All huts and other temporary facilities shall be removed, and contaminated soil disinfected and all damage made good on completion of the Contract.

The Contractor must provide industrial safety helmets complying with the latest BS for the use of all personnel including subcontractors and authorised visitors attending the site. They will be expected to use his best endeavours to ensure that the helmets are worn by all such personnel on site in accordance with current legislation.

The Contractors' attention is particularly drawn to his obligations under the Health and Safety at Work Act etc., 1974.

1.26 Maintenance of Roads Etc.

The Contractor shall maintain all public and private roads, footpaths, paved areas, boundary walls and fences on or adjacent to the site in their present condition and on completion, make good any damage arising from the works and reinstate to the satisfaction of the Employer.

The Contractor is to make good any damage caused to any land, public and private roads, footpaths, services under, kerbs, paved areas, boundary walls, and fences etc.. by his own and by subcontractors and suppliers plant, transport and activities, at his own expense or pay the cost and charges in connection therewith.

1.00 PRELIMINARY PARTICULARS

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The Contractor is to carry out a photographic survey of the site boundaries, footpaths and roads and agree this with the Employer prior to works commencing.

No storage of materials will be allowed on the adjoining roads or pavements.

1.27 Keeping Roads, etc. Clean

The Contractor shall keep any public, private and existing roads, footpaths and paving on or adjacent the site or used by traffic entering or leaving the site in a clean and unobstructed and safe state to the satisfaction of the Employer, the Police and the Local Authority. He shall use all means to prevent mud or rubbish of any kind being carried on to such roads, footpaths and paving, by vehicles belonging to himself or any other subcontractor to the reasonable satisfaction of the Employer.

Where, however, in spite of such precautions, mud or rubbish is carried on to the roads, footpaths or paving, he must immediately clean up such mud or rubbish at his own expense by scraping, brushing, shovelling and removing to tip. Special attention must be given to prevent mud becoming embedded in the road and footpath surfaces.

1.28 Removing Rubbish etc.. and Cleaning Works on Completion

The Contractor shall allow for removing all rubbish, protective casings, coverings and debris from the site.

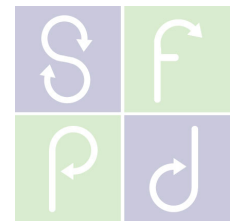
1.29 Police Regulations

Police regulations shall be ascertained and the Contractor shall allow for complying with any such regulations or requirements concerning pedestrian or vehicular traffic control, the loading and unloading of or waiting by vehicles on the public highway, site ingress and egress, safety precautions and other matters affecting the works.

1.30 Control of Noise and Pollution

The attention of the contractor is drawn to the provision of Section 60 of the Control of Pollution Act 1974 with references to the control of noise in relation to any construction works, and must comply therewith.

The Contractor is recommended to confer with the Chief Environmental Officer in relation to proposed method and noise level resultant.



1.00 PRELIMINARY PARTICULARS
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1.31 The Construction (Design and Management) Regulations 2015

This Contract will be executed strictly in accordance with the Regulations.

The Contractor named in the Articles of Agreement of the Contract will be deemed the Principal Contractor.

The C.D.M. Principal Designer will be as stated below, or his successor as confirmed in writing by the Employer.

The Health and Safety Information document that has been established for this project by the C.D.M. Principal Designer is attached to these Employers Requirements, and the Contractor shall incorporate this into their own Health and Safety Plan.

The Contractor shall, if formally requested, submit their Construction Health and Safety Plan for the project within their tender and shall execute the whole of the Contract strictly in accordance with this.

The Contractor shall allow the CDM Principal Designer access to the Works and afford him every reasonable facility for the performance of his duties.

The Contractor shall co-ordinate with the CDM Principal, execute the Health and Safety Plan and contribute as required to the Health and Safety File.

CDM Principal Designer : The appointed Court Works Contractor

1.32 Shared Use of the Site

During the construction period the existing Public Recreation Ground will remain operational utilising the areas not directly affected by these Contract Works.

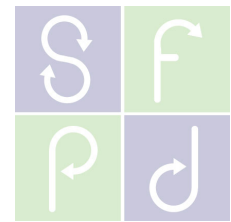
The Contractor shall allow and make necessary arrangements for the joint use of access roads, parking, paths, surfaces etc., to the areas which remain in use including providing temporary diversions, facilities etc., as may be required to maintain the operation of the Public Recreation Ground.

1.33 Ground Conditions & Site Investigation

It is the responsibility of the Contractor to satisfy themselves as to the nature of the existing ground, the bearing capacity and the required court sub-base design for this project.

The responsibility for the court sub-base design must lie entirely with the Contractor and no increase in the tender price or subsequent Contract Sum will be allowed for any costs of whatever nature.

On the award of the contract the successful Contractor will have been deemed to have undertaken their own site investigation prior submitting their tender for the works. No claims will be accepted for lack of information or inaccuracies in this respect.



1.00 PRELIMINARY PARTICULARS
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1.34 Tender Submission

The Contractor is to provide the following within their Contractors Proposals :-

MINIMUM REQUIREMENT

- i) Detailed specifications for all aspects of the court works
- ii) General Method Statement for the overall execution of the works
- iii) The completed S.F.P.D. Tender Sum Analysis pages
- iv) Programme for the Works

SUPPLEMENTARY (WHERE AVAILABLE)

- v) CV's for all site supervisory personnel (Site & Contracts Manager's)
- vi) Information as requested by the CDM Principal Designer
- vii) Working hours (Monday - Friday only) No work allowed before 8.00a.m.
- viii) List of Proposed Construction and As Built Drawings for the works
- ix) Performance information in respect of the court colour coatings and line markings
- x) Indicative maintenance schedule and requirements for court surfaces
- xi) Anticipated design life of court surfaces
- xii) Details of any warranties provided.

SECTION 2.00

DESCRIPTION OF WORKS

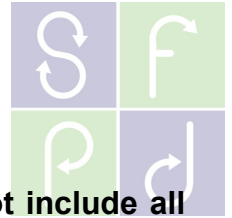
FOR

POROUS ASPHALT

TENNIS COURTS

2.00 DESCRIPTION OF THE WORKS

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2.01 General

A general description of the works is given below, the items do not include all activities required and the Contractor is to allow for all works necessary.

The Contractor will be responsible for all aspects of the design of the scheme, the following are only to be used as descriptions of the Employers Requirement.

The Employer requires the renovation of two existing full size porous asphalt tennis courts.

The new porous asphalt full size tennis courts will be used for competitive tennis and general training.

The intention of the Employer is not to restrict the type of footwear used, but the manufacturer's recommendations in this respect will be followed so far as is reasonably practicable.

The completed facility is to provide a durable facility requiring the minimum of maintenance.

The facility is expected to be used for up to 12 hours per calendar day.

The Contractor is to check all dimensions and is to notify the Employer of any discrepancies prior to any work commencing.

2.02 Materials

Subject to more detailed information given elsewhere in this section the following basic standard requirements shall apply.

Materials and components shall be new, shall comply with European and British Standards where such exist or other equivalent standards, and shall be delivered to the site in the manufacturer's wrapping where provided.

Handling and storage shall be in accordance with manufacturer's instructions.

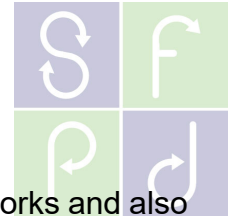
Prior to the contract being awarded the contractor shall supply reference samples of all materials, as requested by the employer, that they propose to use during the works.

The contractor shall furnish such information as to the quality, weight, strength or origin of materials as the Employer may require.

The contractor, on request, shall supply at their own expense certificates and test sheets, signed by a test house, maker or supplier, giving the results of the tests applicable to the materials used. (This applies to all materials supplied by the contractor.)

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2.03 Site Clearance & Weed Removal Operations

The contractor is to allow for any site clearance required to carry out the works and also is to carry out any weed killing operations required.

The contractor shall take down the nets and net posts at the commencement of the works and hand them over to the Council for safe storage.

Note : The existing CIA ClubSpark gate shall be raised upwards by 25mm by the Employer prior to these works commencing on site.

The contractor shall break out and remove from site all the existing tennis court centre net anchors sockets including the insitu concrete foundations to existing court Nrs 1 – 2 inclusive.

Net post sockets shall be retained to court Nrs 1 – 2. All existing nets, net posts and centre net anchors shall be handed to the Employer on the commencement of the works.

The contractor is to allow for any further site clearance required to carry out the works and also is to carry out moss and weed killing operations required to the entire new and renovation court block areas.

The Contractor shall specify the type and manufacturer of the moss / algae / weed killer and the dosage rates intended to be used. The contractor shall confirm the stage during the works when the moss / algae / weed killer is to be applied and the rate of application.

All debris and excavated material arising from the works shall be disposed off site by the Contractor to a licensed disposal facility by a registered waste carrier. All waste disposal documents for the project shall be copied to the Employer as part of a due diligence process for waste disposal or recycling.

2.04 The Renovation of Two Full Size Porous Asphalt Tennis Courts

The Employer requires the renovation of two full size porous asphalt double court Nrs 1 – 2.

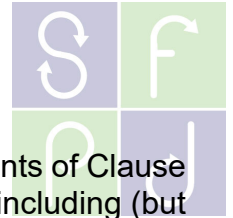
The renovated porous asphalt full size tennis courts shall comprise one block of two doubles court Nrs 1 – 2.

The renovated porous asphalt full size court Nrs 1 - 2 shall retain the existing dimensions i.e. two court doubles block with overall dimensions 34.75m long (maximum) x 31.70m wide (maximum) all as the layout drawings.

The Contractor shall allow for all preparation and remedial works to the existing porous asphalt court surfaces to court Nrs 1 – 2. This shall include, but not be limited to, rolling with vibrating compaction equipment and repairs to any cracks to the existing asphalt surfaces and the repair of any dips, hollows or bumps to provide a stable base for the renovation and a level surface as described in Clause 2.05 below.

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The new porous asphalt court Nrs 1 – 2 must meet the porosity requirements of Clause 2.06 and the Contractor shall allow in their tender for any works required including (but not limited to) piercing the existing porous asphalt surfacing in all areas to a maximum depth of 100mm and at a maximum spacing of 450mm centres, the holes (minimum 25mm - 37mm diameter which shall not be exceeded) are to be filled with clean free draining non-frost susceptible aggregate chippings. The contractor shall note that piercing the holes at a larger diameter and at an increased spacing will not be permitted.

Note the vibration compaction activities shall be carried out in two directions over the court block areas to full size court Nrs 1 – 2 following the piercing and aggregate filling works to ensure the fine aggregate chipping infill material has fully settled into the pierced holes to ensure no voids are present which may lead to subsequent collapse in the future.

The detailed composition and the diameter of the aggregate chippings shall be stated by the Contractor. The proposed method and equipment proposed to be used by the contractor for the piercing works shall be detailed within the Contractors Proposals.

The filling aggregate material is to be well consolidated and finished flush with the existing surface and shall be bound in place with an application of bitumen emulsion.

All of the existing porous asphalt surfacing to court Nrs 1 – 2 shall be coated with an application of bitumen emulsion. *Details of bitumen emulsion and the rates of application to be submitted by the Contractor within his proposals documentation.*

The Contractor shall allow for all necessary cleaning and power washing of the existing asphalt surfaces to full size court Nrs 1 – 2 to remove all vegetation, dirt and debris present. This shall be undertaken prior to the piercing, filling and compaction works.

All tennis court setting out and marking dimensions shall be agreed with the Employer before the Contractor commences the Works.

The Contractor is to allow for all works necessary to ensure that a stable base is provided for the renovated court surface.

2.05 Gradients and Levels

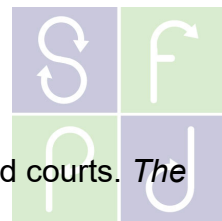
The levels provided must ensure that no bumps, hollow ridges, joints, texture variations that would effect ball bounce are present within the total playing area.

It is anticipated that the new porous asphalt playing surface of renovated court Nrs 1 – 2 will finish 25mm above the existing court playing surface.

Subject to the above the permitted tolerance in levels will be a maximum of 8mm under a 3m straightedge. *Note : This tolerance shall apply to the entire tennis court block area and including the full area around the tennis net post socket positions with no deviations permitted.*

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The falls of the existing two court block's shall be retained in the renovated courts. *The existing fall of the courts shall be stated within the Contractors Proposals.*

2.06 Porosity

On the date of practical completion the full size and mini courts shall have an infiltration rate that exceeds 150mm/h when tested in accordance with ITF CS/06/01.

The new playing surface must also be free draining and should be clear of surface water within 15 minutes of rain ceasing for a further period of at least two years from the date of practical completion.

2.07 Porous Asphalt Surfaces

A surface course of porous asphalt shall be laid to a minimum compacted depth of 25mm to existing court Nrs 1 – 2 inclusive. The asphalt surfacing shall consist of nominal 6mm open grade surface course coated asphalt laid hot.

The surface course asphalt shall be a proprietary AC 6 Open mix and specially formulated / formally certified by the manufacturer for use in tennis court construction and produced in accordance with Clause 2.14. of the Code of Practice Second Edition (C.P.C.M.T.C.) issued by The Sports and Play Contractors' Association.

The Contractor shall provide fully detailed specifications for both the binder course and surface course asphalt's within the Contractors Proposals.

Cold lay asphalt's and asphalt's containing recycled aggregates or white quartzite shall not be used for either the binder or surface course. Prior to the manufacture of the asphalt the Contractor shall confirm the aggregate type to be used by the manufacturer for the asphalt surface course.

No fibre additives shall be used.

Cut-back oils shall not be used.

There shall be no ridges or changes in the surface texture or bay joints that result in erratic ball behaviour.

The surfacing shall have a uniform and consistent texture and bay joints shall, so as is reasonably practicable, accord with play lines.

Asphalt surface course bay joints to be longitudinal with no discernible cross joints to the tennis courts. *The proposed arrangement of asphalt bays shall be stated within the Contractors Proposals for the tennis court block area.*

The asphalt surface course shall be well rolled and consolidated over the entire court areas in two directions.

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2.08 Porous Asphalt Colour Coating & Court Markings

The porous asphalt surfacing shall be coloured with proprietary textured paints, the court shall be coloured and the run-backs and side runs. Both shall be in accordance with reference colours supplied at the time of tender. The paint shall contain a fungicide to inhibit the growth of moss.

The Contractor shall allow for two colours to the full size tennis court areas.

Two sets of tennis court doubles markings shall be applied to the court block's. Tennis court markings shall be proprietary textured non-slip white paint set out in accordance with the Rules of Tennis issued by the International Tennis Federation (I.T.F.). Court markings shall be 50mm wide except base lines which may be up to 100mm wide. When measured with a calibrated steel tape all permanent markings are to be within 10mm of their true position as specified in the Rules of Tennis.

Tennis line markings should be within 0.1% of the specified dimension for lines above 5.00m in length with lines below 5.00m being within 5mm.

Straight marking lines shall not deviate by more than 10mm from a line joining their ends nor include any sudden steps. All lines should be bright, straight and have a sharp and defined edge.

The wet or dry slip resistance of the court, including line markings, shall be greater than 60, when measured using test procedure as set out within BS EN 13036 Part 4 using the CEN rubber test foot.

The value of slip resistance shall be obtained within one month of Practical Completion and for a period of twelve months thereafter.

The value shall be obtained during this period in all climatic conditions in which the court might reasonably be expected to be used.

The Contractor shall state the manufacturer and reference numbers of the court colour coating and the line marking paints.

Final colour selection to be formally agreed with the Employer at least twenty one days prior to the coating works commencing on site.

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2.09 Perimeter Edgings

The contractor shall carefully break out a 300 - 400mm wide section of existing asphalt to the outer perimeter of the full size court block's i.e. in front of existing fence posts or edgings.

The Contractor shall allow for the reinstatement and replacement of any existing perimeter fence posts, precast concrete edgings disturbed or damaged by this work.

The new surface course of asphalt shall be feathered down to the level of the existing asphalt surfacing or precast concrete kerb edgings (where present) at the perimeter of the court block.

2.10 Fencing : Existing Retained

The existing perimeter fencing to full size court Nrs 1 – 2 inclusive shall be fully retained.

The contractor shall state within their proposals the extent to which the existing fencing will be dismantled to the courts to allow satisfactory access for the works to take place.

The contractor shall also allow for any necessary raising and readjustment of the weld mesh panels (or cutting/trimming to the bottom of the existing weldmesh panels) to suit the new finished level of the courts.

2.11 Gates : Existing Retained

The contractor shall allow for altering the height of all of the existing access gates (where retained) to existing court Nrs 1 - 2 to suit the new finished level of the courts.

The contractor shall submit their detailed proposals in this respect.

Note : The CIA gate will be raised prior to the works commencing on site by the Employers directly employed contractors.

2.12 Root Barriers (Extra Over Cost)

The Contractor shall construct any root barriers that are considered necessary to ensure that the courts are not disturbed by root penetration at any time in the future (following prior formal approval by the Employer that no Tree Preservation Orders apply to the trees that may be affected by the installation of the root barriers).

Root barriers shall comprise in-situ concrete to a minimum of 1 m depth and 300 mm width or proprietary root membrane sheet of minimum 1m depth. The root barriers shall be positioned outside or inside (with the Employers Prior formal approval) the court area.

2.13 Tree Surgery

Carefully carry out surgery to the existing trees as necessary following prior formal approval by the Employer that no Tree Preservation Orders apply to the site.

2.00 DESCRIPTION OF THE WORKS

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The Contractor shall also carry out such all cutting and trimming operations to trees, hedging and the like to enable the works to be undertaken.

This item shall also include for the severing and removal of tree roots.

The voids created within the court area by the removal of tree roots shall be filled with D.O.T. Specification for Highway Works Class Type 1 (modified - reduced fines content) or appropriately graded free draining crushed rock and thoroughly compacted.

2.14 Court Equipment

The existing court fittings shall be taken down and set aside for re-erection on completion of the works to court Nrs 1 – 2 inclusive. Where reasonably practicable two sets of raising pieces or spacing plates shall be provided for raising the height of the existing net posts to match the new level of the new porous asphalt court surface to court Nrs 1 - 2.

New centre net anchors shall be installed to full size court Nrs 1 - 2 only. *The Contractor shall specify the manufacturer and type of centre net ground anchors to be installed.*

Two (2) sets of net posts (complete with singles sticks), heavy duty green or black nylon net, centre band swivel to court Nrs 1 - 2. *The Contractor shall specify the manufacturer and type of net post sockets, centre net ground anchors, nets, singles sticks and net posts to be installed.*

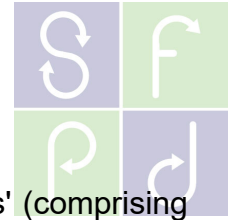
An extra over cost shall be submitted for breaking out the existing net post sockets and raising/resetting to match the new level of the renovated court surface to court Nrs 1 - 2.

An extra over cost shall be submitted for the supply and installation of 2 Nr sets of net post sockets to court Nrs 1 - 2. *The Contractor shall specify the manufacturer and type of net post sockets, centre net ground anchors, nets, singles sticks and net posts to be installed.* Existing net post sockets and other court fittings shall be broken out and removed from site. Sockets for tennis posts and centre band sockets shall be installed and set in in-situ concrete. *The dimensions of the concrete surround to the tennis post (minimum 1.00m x 1.00m x 1.00m) and centre band socket (minimum 0.30mm x 0.30mm x 0.3mm) shall be stated within the contractors proposals.*

2.15 Draw Pits, Manholes and Inspection Chamber

The contractor shall allow for raising the any existing draw pit covers, manhole covers or inspection chamber lid or covers to suit the raised finished level of the new asphalt surface course.

2.00 DESCRIPTION OF THE WORKS
SFPD REF NR 2025 CAS 023 WCTC CRT WKS



2.16 Drawings and Manuals

The Contractor shall provide detailed construction and 'as built drawings' (comprising A3 plan layouts and A4 cross sections for all works) and manuals for the maintenance of the courts.

The Contractor shall list the drawings which are proposed to be provided within their contractors proposals.

SECTION 3.00

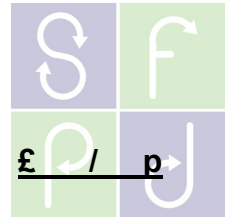
TENDER SUM ANALYSIS

AND

FORM OF TENDER

3.00 TENDER SUM ANALYSIS
SFPD REF NR 2025 CAS 023 WCTC CRT WKS

3.01 TENDER SUM ANALYSIS



1. Preliminaries

2. Contract Conditions

3. Tennis Court Nrs 1 – 2

3.1 Site Preparation

**3.1.1 Preparation of Existing Asphalt
Court Areas to court Nrs 1 – 2**

3.1.1.1 Power washing and cleaning

3.1.1.2 Piercing asphalt surfaces & pea shingle
Filling to pierced holes

3.1.1.3 Vibration compaction of asphalt surfaces
(in two directions across court block)

3.1.1.4 Application of bitumen emulsion tack coat
to existing asphalt surfaces

3.1.1.5 Remove net post sockets and centre net
anchors

3.1.1.6 New perimeter edge detail court Nrs 1 – 2
(form chase to outer perimeter)

3.1.2 Weed Killing Operations :-

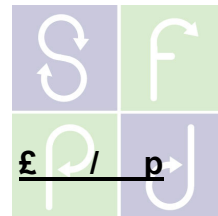
Name of product :

Rate of application

CARRIED TO COLLECTION £

3.00 TENDER SUM ANALYSIS
SFPD REF NR 2025 CAS 023 WCTC CRT WKS

3.01 TENDER SUM ANALYSIS



3. Tennis Court Nrs 1 – 2

3.2 Porous Asphalt Courts

3.2.1 Asphalt surface course : 25mm depth
(court Nrs 1 - 2)

3.2.2 Colour Coating – Two Tone

3.2.2.1 Doubles Tennis Courts
Court Nrs 1 - 2

3.2.3 Court markings

3.2.4.1 Two Doubles Tennis Courts
(Colour White) Court Nrs 1 - 4

3.3 Existing Fencing to Court Nrs 1 – 2

3.3.1 Dismantle & re-erect to allow access

3.3.2 Trim/Cut and restrain fencing

3.3.3 Adjust gates (where necessary)

3.4 Court Equipment – Full Size Courts Only

3.4.1 Raising pieces to existing post sockets : 4 Nr &
new centre net anchors : 2 Nr

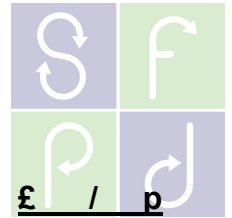
3.4.2 Net Posts, Nets and centre band strap
– 2 Nr Sets

3.5 Raising existing drawpit & manhole covers

CARRIED TO COLLECTION £

3.00 TENDER SUM ANALYSIS
SFPD REF NR 2025 CAS 023 WCTC CRT WKS

3.01 TENDER SUM ANALYSIS

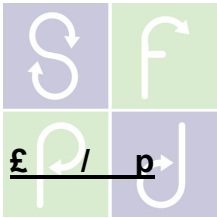


3. Tennis Court Nrs 1 – 6

3.6 Any items not listed above

3.7 Construction and As Built Drawings
& Operation and Maintenance Manuals

CARRIED TO COLLECTION £



COLLECTION

1) Porous Asphalt Court Nrs 1 – :-

PAGE 3/1	£	}	
PAGE 3/2	£	}	
PAGE 3/3	£	}	£

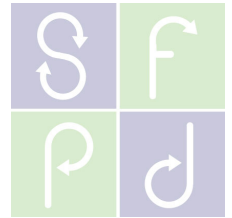
TOTAL CARRIED TO FORM OF TENDER	£		=====

EXTRA OVER ITEMS - COURT NRS 1 – 2

A)	Break out and reset existing net post sockets to court Nrs 1 - 2 only : 2 No. sets of existing fittings	£	_____
B)	Break out existing net post sockets and install new To court Nrs 1 - 2 : 2 No. sets	£	_____
C)	Increase compacted depth asphalt surface course to 32mm to court Nrs 1 – 2 (winter working only) (Details to be submitted by Contractor)	£	_____
D)	Two sets of temporary doubles court markings applied in In white non-slip paint to new asphalt surface course (Details to be submitted by Contractor)	£	_____

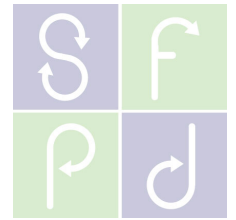
3.00 TENDER SUM ANALYSIS
SFPD REF NR 2025 CAS 023 WCTC CRT WKS

3.02 TENDER SUM ANALYSIS



EXTRA OVER ITEMS - COURT NRS 1 – 2

E)	Wax oil or latex modified asphalt surface course to court Nrs 1 – 2 (Details to be submitted by Contractor)	£	<hr/>
F)	Permitted tolerance in levels of surface course asphalt will be a maximum of 6mm under a 3m straightedge to court Nrs 1 – 2 and 3 - 4	£	<hr/>
G)	Application of polyurethane binder to court Nrs 1 – 4 (Details to be submitted by Contractor)	£	<hr/>
H)	Installation of root barriers :- Membrane barrier :- Court Nrs 1 - 2 _____ m @ £ .. / per m	£	
	Insitu concrete barrier :- Court Nrs 1 - 2 _____ m @ £ .. / per m	£	<hr/>



**THE FOLLOWING INFORMATION SHALL BE ISSUED WITH THIS EMPLOYERS
REQUIREMENTS DOCUMENT :-**

1) DRAWINGS :-

AS ISSUED BY P.C.

LAYOUT PLANS



WICKHAM COMMUNITY TENNIS CLUB

FORM OF TENDER

To: **Wickham & Knowle Parish Council, Knowle Village Hall, Knowle Avenue, Knowle. HANTS. PO17 5GR.**

For: **The renovation of two porous asphalt tennis court Nrs 1 - 2 and associated works**

From:(Contractor)

Sirs,

I\We having read the Conditions of Contract and Employers Requirements delivered to me\us and having examined the drawings referred to therein do hereby offer to execute and complete in accordance with the Conditions of Contract the whole of the Works described within (insert number) weeks from the date of possession for the sum of :

.....

.....(£.....) VAT exclusive

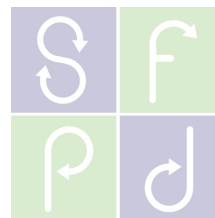
I\We agree that should obvious errors in pricing or errors in arithmetic be discovered before acceptance of one of these offers in the Contract Sum Analysis submitted by me\us these errors will be corrected in accordance with Alternative 2 contained in Section 10 of the NJCC "Code of Procedure for Tendering for Design and Build" dated March 1996.

I\We undertake to enter into a formal contract by deed in the form referred to in the above documents. I\We agree that until this tender is incorporated in such a formal contract, executed under deed by the Employer, this tender together with your written acceptance thereof will constitute a binding contract between us.

I\We confirm that if our tender is accepted we will require a period of weeks to obtain all necessary approvals prior to works commencing on site.

I\We further agree that this tender remains open for consideration for twelve (12) weeks from the last day of submission of tenders.

I\We note that you do not undertake to accept the lowest or any tender and that the Contractors tendering do so free of charge.



WICKHAM COMMUNITY TENNIS CLUB

FORM OF TENDER

I\We declare this tender to be a bona fide tender intended to be competitive and that I\We have not fixed or adjusted the amount of the tender by or under or in accordance with any agreement or arrangements with any other person.

I\We confirm that the Annual Renewal Date of Insurance as supplied by me\us and referred to in Conditions of Contract

is.....

I\We confirm that we have visited the site before submitting this tender.

Dated thisday of2025

For and on behalf of

Signed

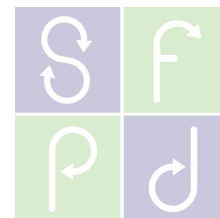
Registered Address

.....

Witness (Signature)

Occupation

Address



WICKHAM COMMUNITY TENNIS CLUB

FORM OF TENDER

Assignment of Subcontracting

The Contractor is to state in the following schedule the names of **all** the Subcontractors which he will employ on the Works and their stated trades:-

**Description of Trade
or Service**

**Name and Address
of Subcontractor**

Value Added Tax

The Contractor is to set out below a provisional indication of the amount of Value Added Tax the Employer will be called upon to pay under the VAT Agreement.

..... (£.....)