

Construction (Design and Management) Regulations 2015 (CDM2015)

In line with CDM2015 we are obliged to inform the client of the risks that may be encountered in the construction of these works. All design work has been carried out with Health and Safety aspects given full consideration. Wherever possible risks have been eliminated from the design, however, due to the complex nature of this type of work it is not possible to remove all the risks from the design. We would also remind the client of their obligation to take all reasonable steps in ensuring that only competent contractors who have a valid safety policy are employed. They should also provide satisfactory responses of tender stage as to the manner in which they will deal with the elements of risk involved in this type of work and in particular those highlighted in the Designer's Risk Assessment document which is included in our Design Information Package that is supplied to you on completion of the design phase. You should ensure that a copy of the Designer's Risk Assessment is provided to each prospective building contractor when you invite them to prepare and submit their quotation for the works, along with copies of the project drawings, structural calculations and Party Wall Act documents, where applicable.

CDM2015 also requires that your appointed building contractor shall act as the "Principal Contractor" and ensure that in all respects, the work on site complies with the requirements of CDM2015. No notification is required to the Health and Safety Executive EXCEPT in the circumstances that either:

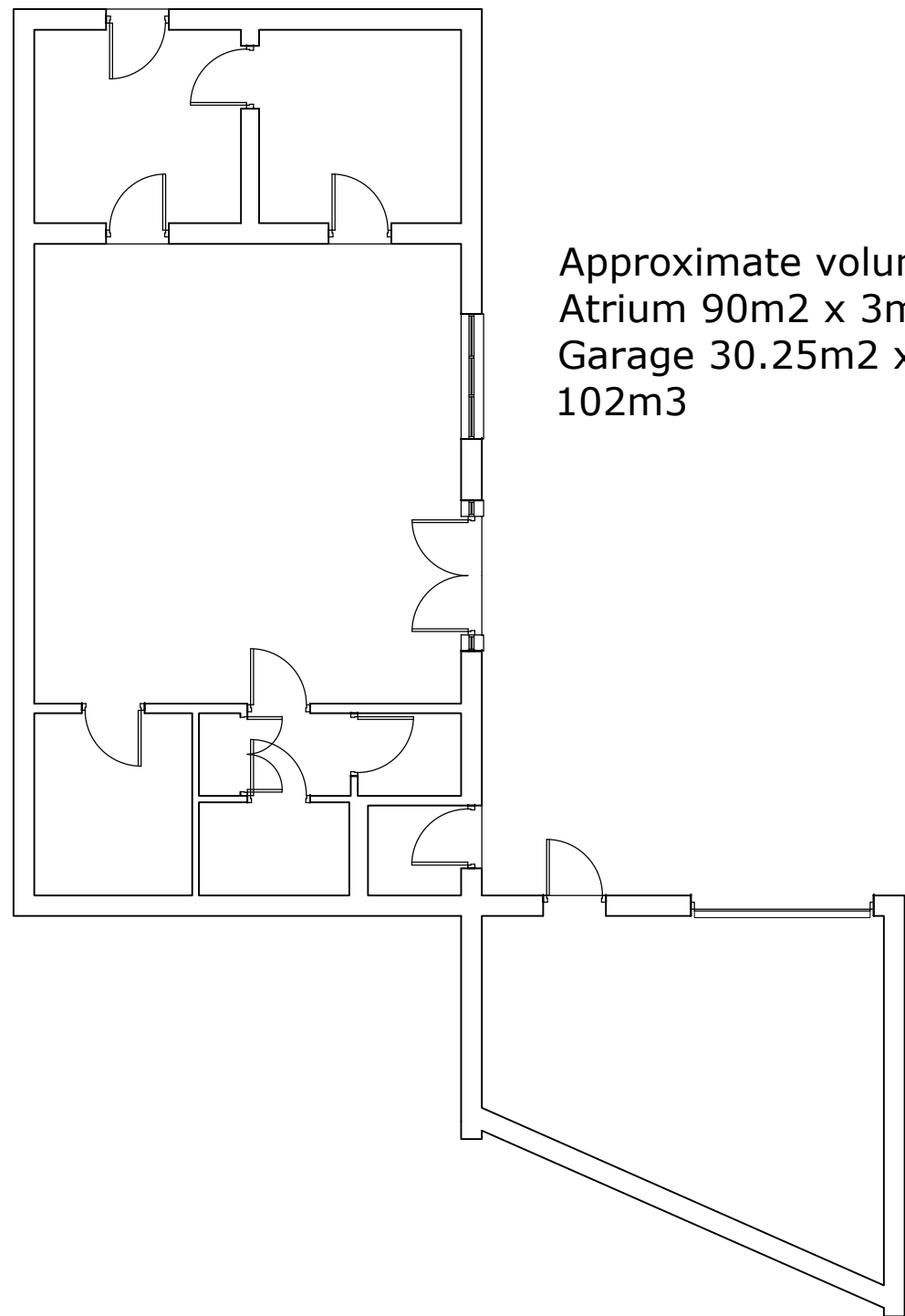
a) Construction work is expected to last longer than 30 working days AND more than 20 workers will be on site simultaneously at any point in the project, OR;

b) The project will be on site for more than 500 person days in total

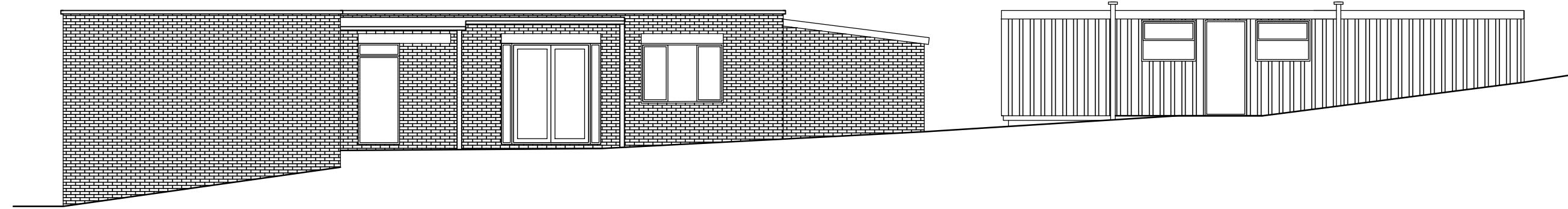
In these cases it is the Client's responsibility to ensure that necessary formal Notification is sent to the Health and Safety Executive, however, the Client can appoint another competent person to do this on their behalf. We recommend that you make your Principal Contractor responsible for doing this.

Disclaimer:
All work to comply with Planning and Building Regulation approved plans. The Contractor is to agree the requirements for lighting, power, decorations and fittings with the client prior to tendering.
The Contractor is to include for any protection required and for making good and removing all building debris.
All dimensions and levels shown are in metric and should be checked prior to commencing of the works or of ordering materials.
IF IN DOUBT, ASK.

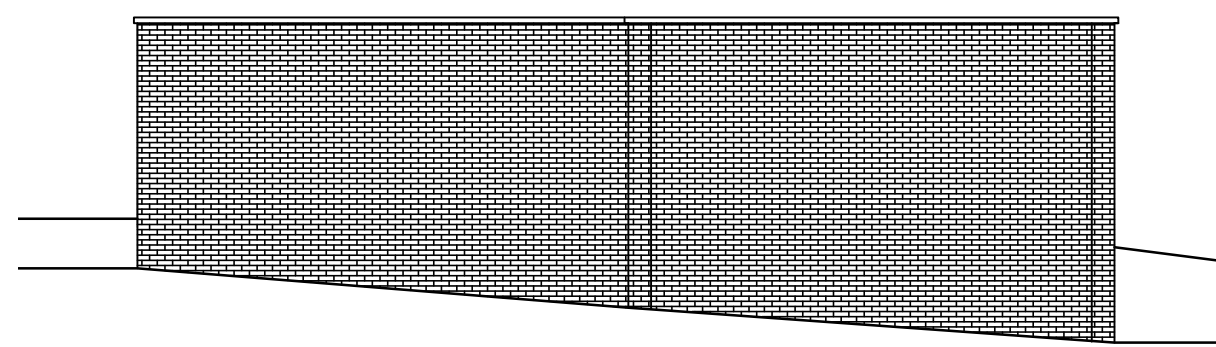
All materials to be used in strict accordance with manufacturers instructions. Any discrepancies should be reported immediately before commencement of the works or ordering of materials.
Should a public sewer be found within 3m of the development it will be necessary to carry out works as required by the Local Authority under the requirements of Section 106 of the Public Health Act 1936. Whilst every care is taken during the survey, the responsibility is to be borne by the client for any unforeseen circumstances or any expenses incurred. Furthermore, the builder should include an allowance for such unforeseen operations.



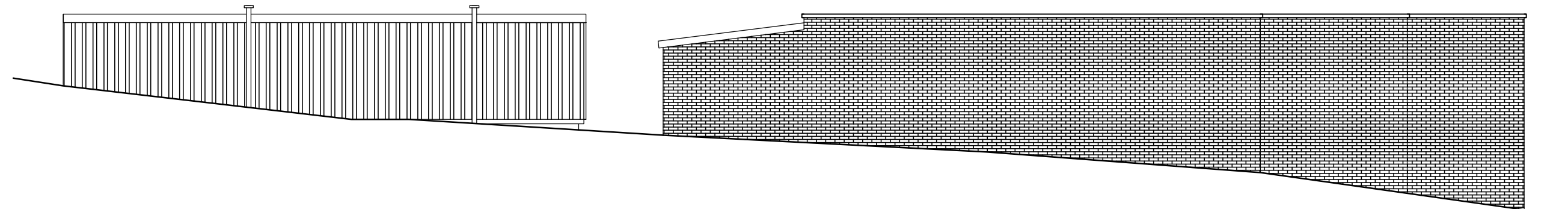
Approximate volume
Atrium 90m2 x 3m = 270m3
Garage 30.25m2 x 3.375 = 102m3



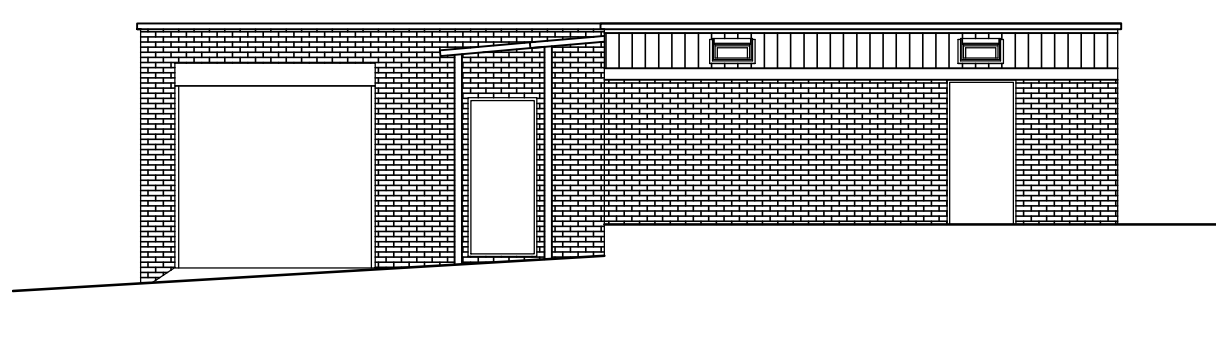
EXISTING ATRIUM & CURIOSITY CORNER FRONT ELEVATION



EXISTING ATRIUM SIDE ELEVATION

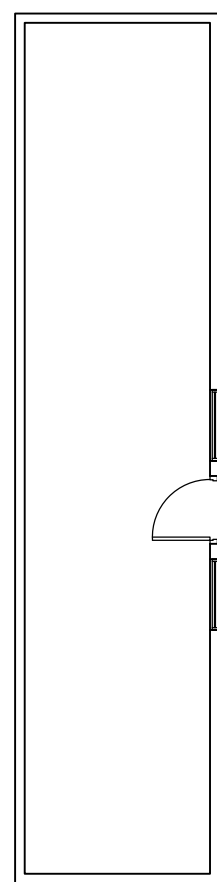


EXISTING ATRIUM & CURIOSITY CORNER REAR ELEVATION



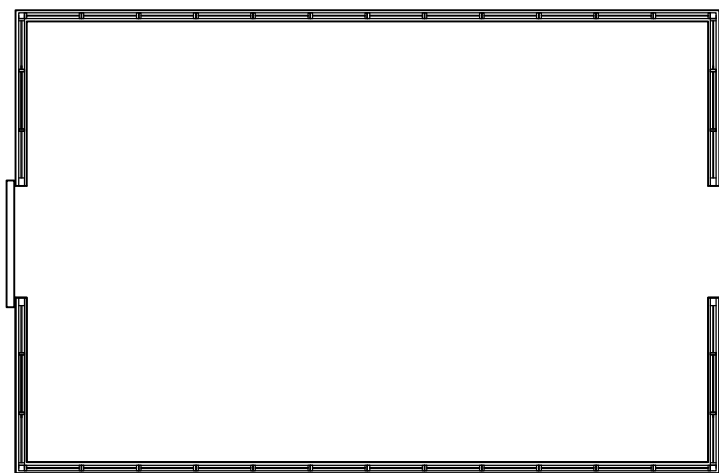
EXISTING ATRIUM SIDE ELEVATION

EXISTING ATRIUM FLOOR PLAN



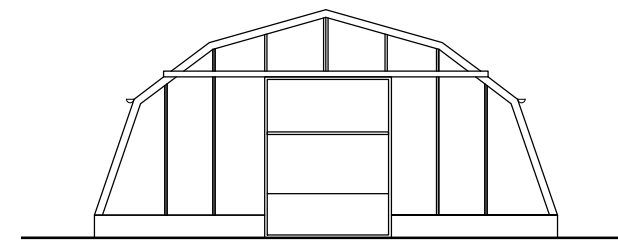
EXISTING CURIOSITY CORNER FLOOR PLAN

Approximate volume
Curiosity corner 31.9m2 x 2.4m = 75.56m3

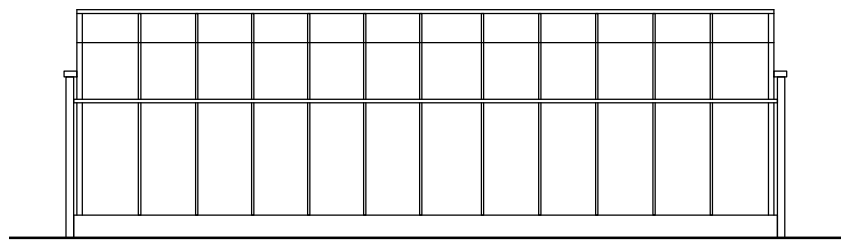


Approximate volume
Conservatory = 131.50m3

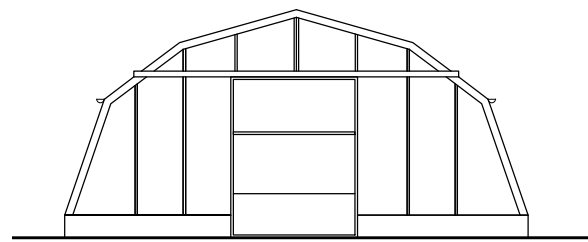
EXISTING CONSERVATORY FLOOR PLAN



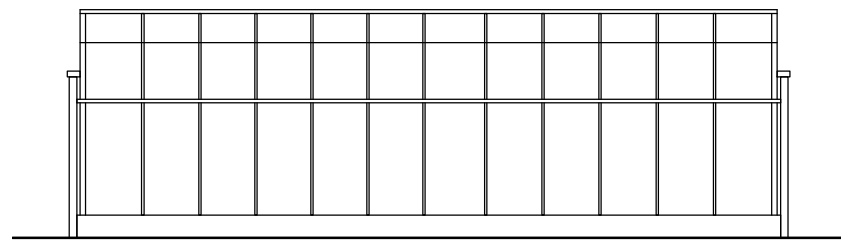
EXISTING CONSERVATORY FRONT ELEVATION



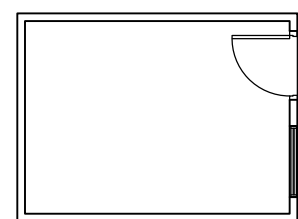
EXISTING CONSERVATORY SIDE ELEVATION



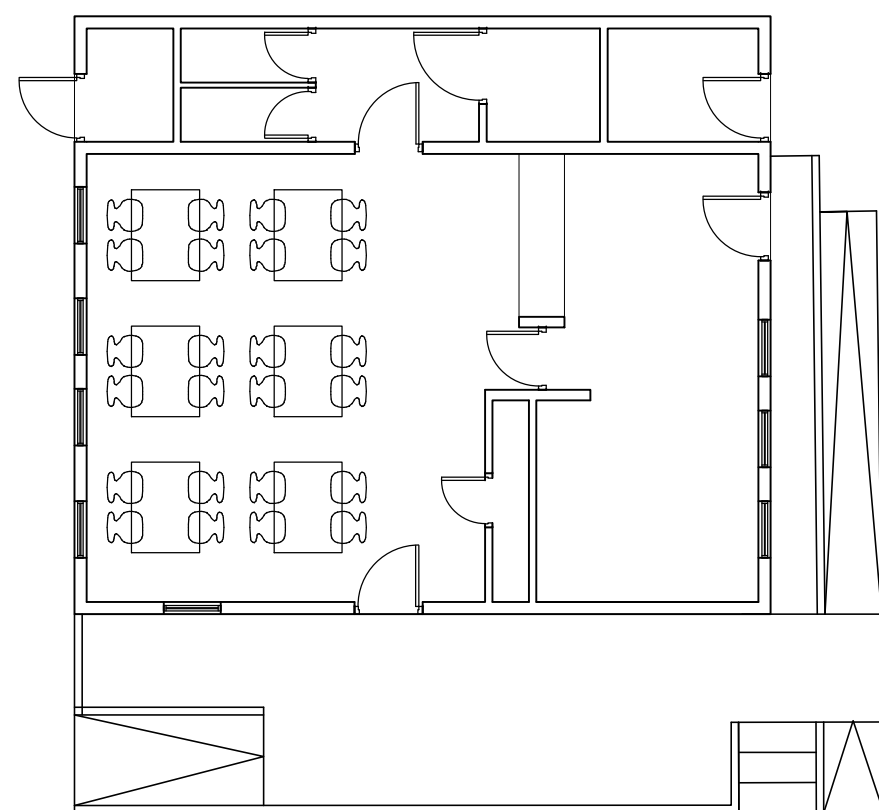
EXISTING CONSERVATORY REAR ELEVATION



EXISTING CONSERVATORY SIDE ELEVATION

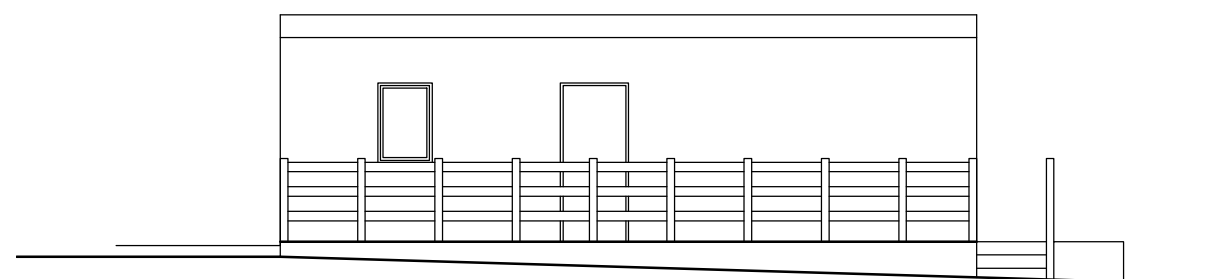


Approximate volume
Food Store 10.175m2 x 2.4m = 24.42m3

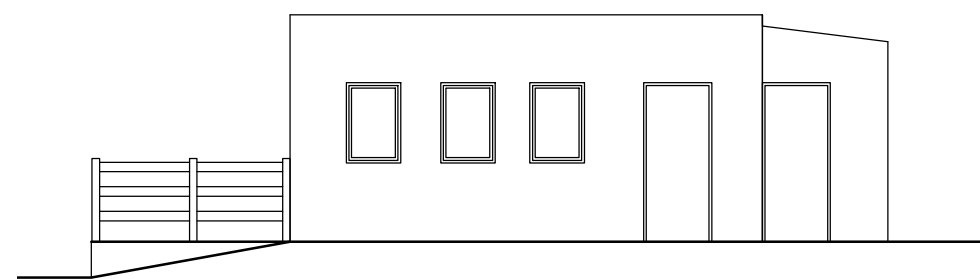


Approximate volume
Cafe 72.766m2 x 2.7m = 196.47m3

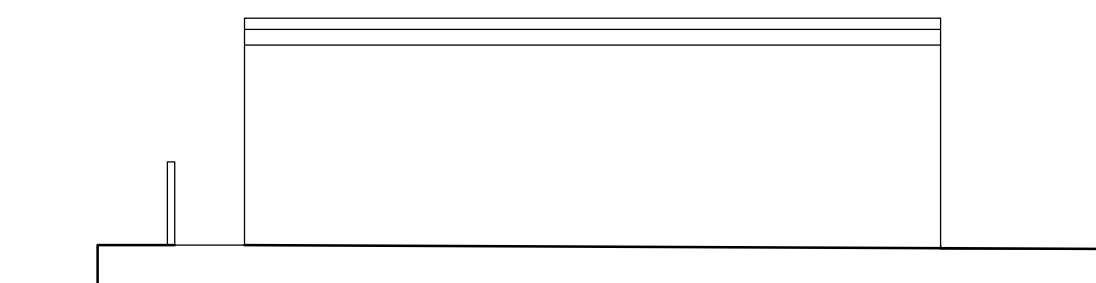
EXISTING CAFE & STORE FLOOR PLANS



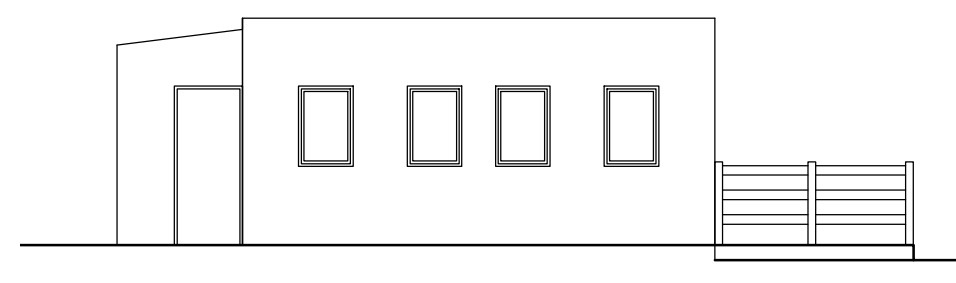
EXISTING CAFE FRONT ELEVATION



EXISTING CAFE SIDE ELEVATION



EXISTING CAFE REAR ELEVATION



EXISTING CAFE SIDE ELEVATION

Rev	Date	Amendments	By	Ap
C	01.09.23	Redrawn	MT	RT
B	07.08.23	Planning drawing issue	MT	RT
A	26.04.23	Drawing issue	MT	RT

Unauthorised copying or use of this drawing is not permitted
Copyright © 2021 Taylor Tuxford Associates Limited



Drawing Status

PLANNING

Project/Client
Winthrop Gardens

Drawing Title
Existing floor layout plans

Drawn By	Checked By	Date	Scale © A1
M Tuxford	R Taylor	Nov '21	1:50

DO NOT SCALE. IF IN DOUBT, ASK.
ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE STATED.

Drawing Number
21/3290/003/C

Taylor Tuxford Associates Limited
10 Flash Lane Bramley Rotherham S66 1TY
Tel: 01709 730 780 & 0114 245 3321
Email: info@taylorluxford.co.uk www.taylorluxford.co.uk
Registered office: 10 Flash Lane Bramley Rotherham S66 1TY Company Reg No: 693573

Building the Future together