

## CDM – Pre-Construction Information

Nature of project		Comments/response
Name of client		Ruan Minor Village Hall Committee
Location of project		Village Hall, Ruan Minor, Helston, TR12 7JN
Nature of construction work to be carried out (e.g. scope of works)		Thermal improvements to main hall, installation of air conditioning unit and air flow improvements to roof void.
Timescale for completion of construction work		November 2023 – 2 months.
Contact names and addresses of the project team (if appointed)		RTP Surveyors – Principal Designer and Contract Administrator (Liam Mainstone BSc (Hons) PGDip Surv AssocRICS contact point)  JHA Consulting - Structural Engineer – John Harding BSc CEng MStructE
The existing environment		Comments/response
Surrounding land uses and related restrictions adjacent to proposed construction site (e.g. premises, schools, shops or factories)		Vehicular access to the property is accessed via Glebe Terrace, with private parking available for several vehicles.  Additional parking is available to the rear of the Village hall in Long Reach Car Park.  We recommend that the use of site radios is prohibited. The use of noise reduction screens should be considered if noise levels are predicted to over 80dB (A), in order to reduce noise pollution.  There are no Public Rights of Way within the boundaries of the property. Although we note pedestrians do use the rear  There are no Rights of Access within the property boundaries.
Planning restrictions, which may affect health and safety		There are no planning restrictions identified that may affect the proposed works.  The extension to rear of the building was approved by Cornwall Council for Building Control and Planning with a decision date of 4 <sup>th</sup> April 1990. Ref: W2/89/01732/F  The site is within an Area of Outstanding Natural Beauty.  Grid Ref: SW719152
Existing services including both underground and overhead		There are two LV overhead lines within the vicinity of the property namely 4c 50 ABC (4 core 50mm Aerial Bundle Cable) as indicated on drawing No.4 National Grid included within the SoW appendices.

	<p>We are not aware of any public mains services within the boundaries of the property.</p> <p>There is a C /150 / VC (150mm Vitrified Clay) mains sewer pipe running beyond the Southern boundary of the site, to the East there is a 4 inch cast iron mains water supply running under the far side of the road as indicated on the plan in the appendices to the SoW.</p> <p>WPD/National Grid requirements apply.</p> <p>Underground/concealed services are not known within the boundaries of the property itself and scanning is required before opening-up/excavation.</p>
<p><b>Existing traffic systems and restrictions</b> (e.g. access for emergency services, waste disposal, deliveries, etc.)</p>	<p>Deliveries to be made to the front of the Village Hall within the boundaries of the property.</p> <p>Warning cones to be used when deliveries are made with Hiab trucks and are positioned on the road when craning.</p> <p>Banksman to be utilised always when reversing around site.</p> <p>Pedestrian access should be cordoned off during times of vehicle movement.</p> <p>Access to the site should be maintained at all times during working hours, for the provision of emergency services to access the site.</p>
<p><b>Existing structures</b> (any hazardous materials in existing structures which are being demolished or refurbished, any fragile materials which require specific safety precautions or have instability problems, structural limitations or loadings)</p>	<p>As identified in the Asbestos Refurbishment and Demolition Survey carried out by Allium. Report ref: L – 18511RV1 dated 30 July 2021 and 26 May 20232</p> <p>A copy of the report is attached at Appendix 1 of the SoW.</p> <p>Structural Engineer proposals to be carried out to roof trusses as per Structural Engineer's report. JHA 2032 SK Prelim 01 Truss Checks for Susp Ceiling 260723.</p> <p>Any structural defects identified on site during the works are to be notified to the Principal Designer as soon as is practically possible. Site investigations to be carried out daily as per NBS chorus specification.</p>
<p><b>Relevant information relating to the presence of Asbestos or any other known hazardous substances or materials</b></p>	<p>Asbestos Containing Materials (ACMs) have been identified or presumed to be present in the following areas:</p> <p><b>Cement roof tiles - Roof structure (external) -</b></p>

	<p><b>Chrysotile</b></p> <p>At the time of testing the following areas were inaccessible and therefore not tested;</p> <p>Ground floor, 002 – Play rooms and cupboards. Ground floor, 007 – Store.</p> <p>No other ACMs were identified. However, during the course of works, if ACMs are presumed to be present, works should cease and areas vacated until testing confirms building elements do not contain asbestos.</p> <p>Contractors with asbestos awareness must be used during the works and should asbestos be discovered consult the Principal Designer.</p>
<b>Ground conditions</b> (e.g. contamination, instability, possible subsidence, old mine workings or underground obstructions)	The works do not involve excavations. All ground supporting scaffolding is to be full assessed by the erectors of the scaffolding.
<b>Existing fire and emergency procedures</b>	Adjacent premises to be considered in all fire planning. A fire plan to be produced in the Construction Phase Plan by Principal Contractor.
<b>Existing permit to work arrangement that are to be enforced on this project</b>	Hot works permit. Waste Transfer Licence.
<b>Existing security arrangements that are to be enforced on this project</b>	All windows, doors, etc, to be kept shut and locked outside of working hours.
<b>Existing drawings and existing health and safety file</b>	<b>Comments/response</b>
<b>Available drawings of structure(s) to be demolished or incorporated in the proposed structure(s)</b> (this may include a health and safety file prepared for the structure(s) and held by the client)	There are no existing drawings or health and safety file pertaining to this property as far as we are aware.
<b>Client-specific site-wide elements</b>	<b>Comments/response</b>
<b>Positioning of site access and egress points</b> (e.g. for deliveries and emergencies)	From Glebe Terrace.
<b>Location of temporary site accommodation/welfare facilities</b>	Not required. Contractors are permitted to use the facilities within the Village Hall.
<b>Location of unloading, layout and storage areas</b>	<p>Car Park area within property boundaries, unloading directly from Glebe Terrace, utilise the parking area for deliveries and avoid unloading directly from Glebe Terrace.</p> <p>Weight restrictions to the parking area should be considered, this will be determined by the Principal Contractor at their discretion.</p> <p>We would recommend that gross weight limits of vehicles does not exceed 7.5 tonnes.</p>

<b>Traffic/pedestrian routes</b>	<p>To the rear (North) or the Village Hall it is noted that pedestrians utilise the walkway leading from the Long Reach Car Park to Glebe Terrace.</p> <p>Banksman to be utilised when vehicles are reversing onto Glebe Terrace.</p> <p>Clear safety signage will be needed.</p> <p>Pedestrian routes are identifiable on the CDM Hazard Plan.</p>
<b>Overlap with client's undertaking</b>	<b>Comments/response</b>
<p><b>Consideration of the health and safety issues which arise when the project is to be located in premises occupied or partially occupied by the client or effected by the works</b> (i.e. other activities on or adjacent to the site)</p>	<p>Occupiers in property (see information above). Safe access and egress to be retained. Principal Contractor to show due courtesy and consideration throughout the works.</p>
<b>Site rules</b>	<b>Comments/response</b>
<p><b>Specific site rules which the client or the Principal Designer may wish to lay down as a result of the points above or for other reasons</b> (e.g. specific permit-to-work rules, emergency procedures)</p>	<p>Site emergency procedures will need to be shared with adjacent residents and project team, to ensure ongoing management of safety is retained.</p> <p>Any Hot Works carry out will require a Hot Work Permit prior to such works commencing. The Permit/s should be made available to the Principal Designer.</p> <p>The Principal Contractor is responsible for the implementation of a Fire Plan.</p>
<b>Continuing liaison</b>	<b>Comments/response</b>
<p><b>Procedures for considering the health and safety implications of design elements of the principal contractor's and other contractors' packages</b></p>	<p>All design information to be authorised through RTP Surveyors. Principal Contractor to supply RAMS and adjustments to their Construction Phase Plan for review.</p>
<p><b>Procedures for dealing with unforeseen eventualities during project execution resulting in substantial design change and which might affect resources</b></p>	<p>All design changes to be channelled through RTP Surveyors, to enable the clients to be consulted in correct contractual manner.</p>
<b>Key performance indicators</b>	<b>Comments/response</b>
<p><b>Are there any specific KPIs that the client proposes to initiate during the project that are related to health and safety?</b> (i.e. noise/dust emissions, accidents, health and safety inspections/audits)</p>	<p>Consideration of neighbours required (see above). In particular, dust and noise and traffic arrangements to be planned to reduce nuisance.</p> <p>All contact should be made through RTP Surveyors in correct contractual manner.</p>

### Schedule 3 Risks:

1) Work which puts workers at risk of burial under earthfalls, engulfment swampland or falling from a height, where the risk is particularly aggravated by the nature of the work or processes used or by the environment at the place of work or site; **risks from structural instability/collapse and falls from height to be reviewed and controls to be addressed by the Principal Contractor in their Construction Phase Plan.**



Roof coverings are considered fragile and due care is required, the use of crawl boards should be considered. Additionally, ACMs are identified to the roof coverings, adequate PPM should be given to all employees and adequate protection to the public should be made.

2) Work which puts workers at risk from chemical or biological substances constituting a particular danger to the safety or health of workers of involving a legal requirement for health monitoring; **Weil's disease is a considered low risk, for review and control by the Principal Contractor, as well as historical risks from the building which may apply, such as lime. Lead paints are likely to be present – efforts should be made to reduce associated risks, i.e. no abrasive pads to be used on lead based paints, alternative removal techniques should be applied. Asbestos contamination to be reviewed for the buildings and soil. General soil contamination is to be analysed prior to excavation works.**

3) Work with ionizing radiation requiring the designation of controlled or supervised areas under regulation 16 of the Ionising Radiations Regulations 1999; **not relevant to this site.**

4) Work near high voltage power lines; **risks to be controlled by Principal Contractor (refer to WPD/National Grid information and attached CDM hazard plan).**

5) Work exposing workers to the risk of drowning; **not relevant to this site.**

6) Work on wells, underground earthworks and tunnels; **not relevant to this site.**

7) Work carried out by divers having a system of air supply; **not relevant to this site.**

8) Work carried out by workers in caissons with a compressed air atmosphere; **not relevant to this site.**

9) Work involving the use of explosives; **not relevant to this site.**

10) Work involving the assembly or dismantling of heavy prefabricated components; **no heavy prefabricated works are expected. The risks are to be reviewed and controlled by the Principal Contractor. The timber beams require assessment for safe handling and larger items should be moved with mechanical assistance. Avoidance of repetitive works should be considered where possible, the Exposure Limit Value (ELV) is  $5\text{m/s}^2$  (A)8 and the Exposure Action Value (EAV) is  $2.5\text{m/s}^2$  (A)8.**



Liam Mainstone BSc (Hons) PGDip Surv AssocRICS  
On behalf of RTP Surveyors  
30<sup>th</sup> August 2023

## Appendix A – Construction Hazard Plan

## Appendix B – Asbestos R+D Survey

## Appendix C – South West Water – A3

## Appendix D – National Grid– A3

## Appendix E – Wales and West– A3

# JHA CONSULTING

Tel: 01872 858633

Email: john@jhaconsulting.co.uk

C.D.M. 2015 H&S HAZARD ASSESSMENT

Job No. 2032

UNUSUAL HAZARDS

YES

Date Jul '23

IN THIS ELEMENT

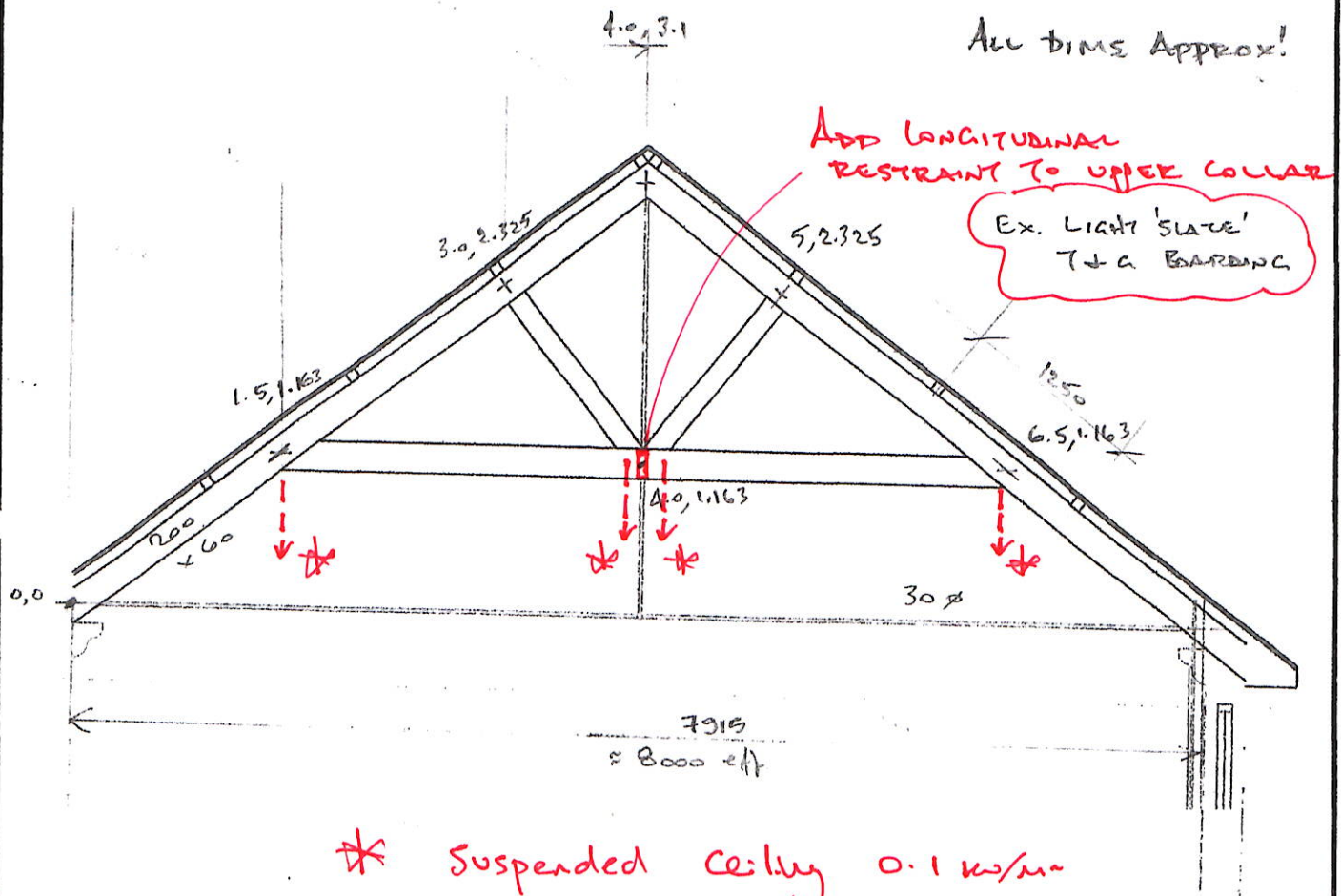
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No. 26.2.23

IF YES SEE RESIDUAL RISK REGISTER

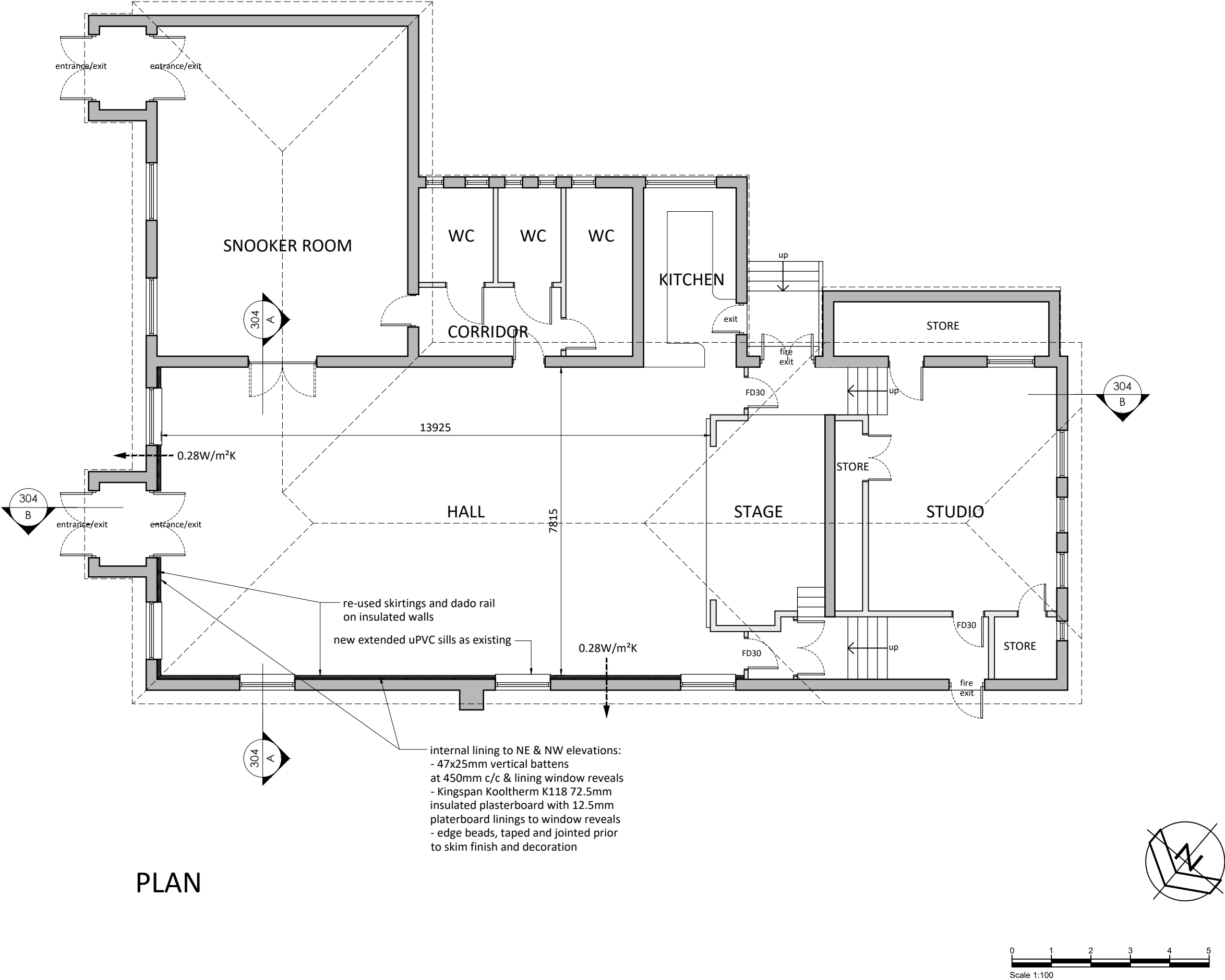
SK/prelim/01

All times Approx!



SPACING 2.1m Approx. 5 N°

Note:  
Written Schedule of Works and  
Specification to take precedence over  
drawing annotations if variations occur.



- STATUS
- ☐ Preliminary
  - ☐ Planning
  - ☐ Building Regulations
  - ☒ Tender
  - ☐ Contract
  - ☐ As Built

PROJECT  
Ruan Minor Village Hall  
Ruan Minor  
Helston  
TR12 7JN

CLIENT  
D Jane & J Halliday

DRAWING TITLE  
Plan  
Tender

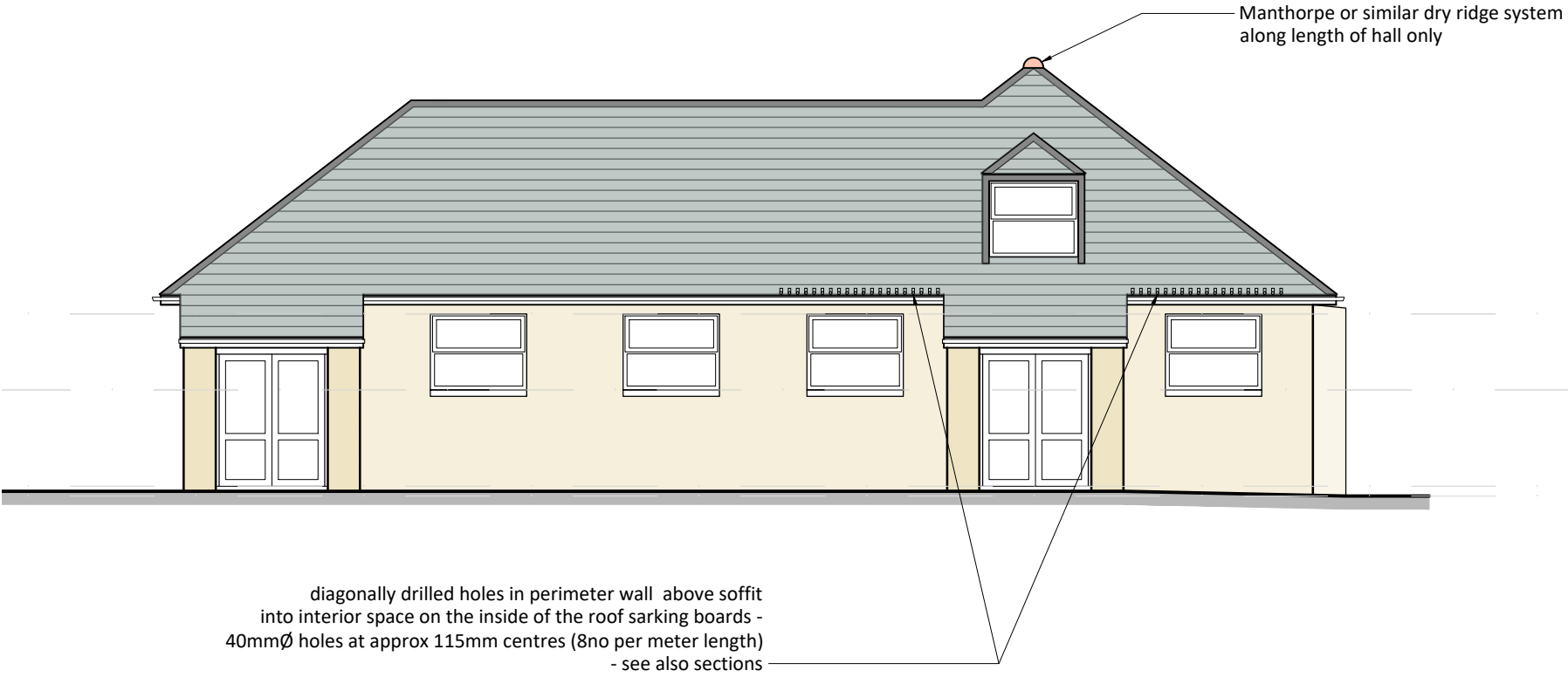
**RTP**  
CHARTERED BUILDING SURVEYORS  
RTP Surveyors  
Tremough Innovation Centre  
Penryn, Cornwall, TR10 9TA  
T 01326 318599  
E Falmouth@rtpsveyors.co.uk  
www.rtpsveyors.co.uk  
Offices also at Bodmin and Plymouth

**RICS**

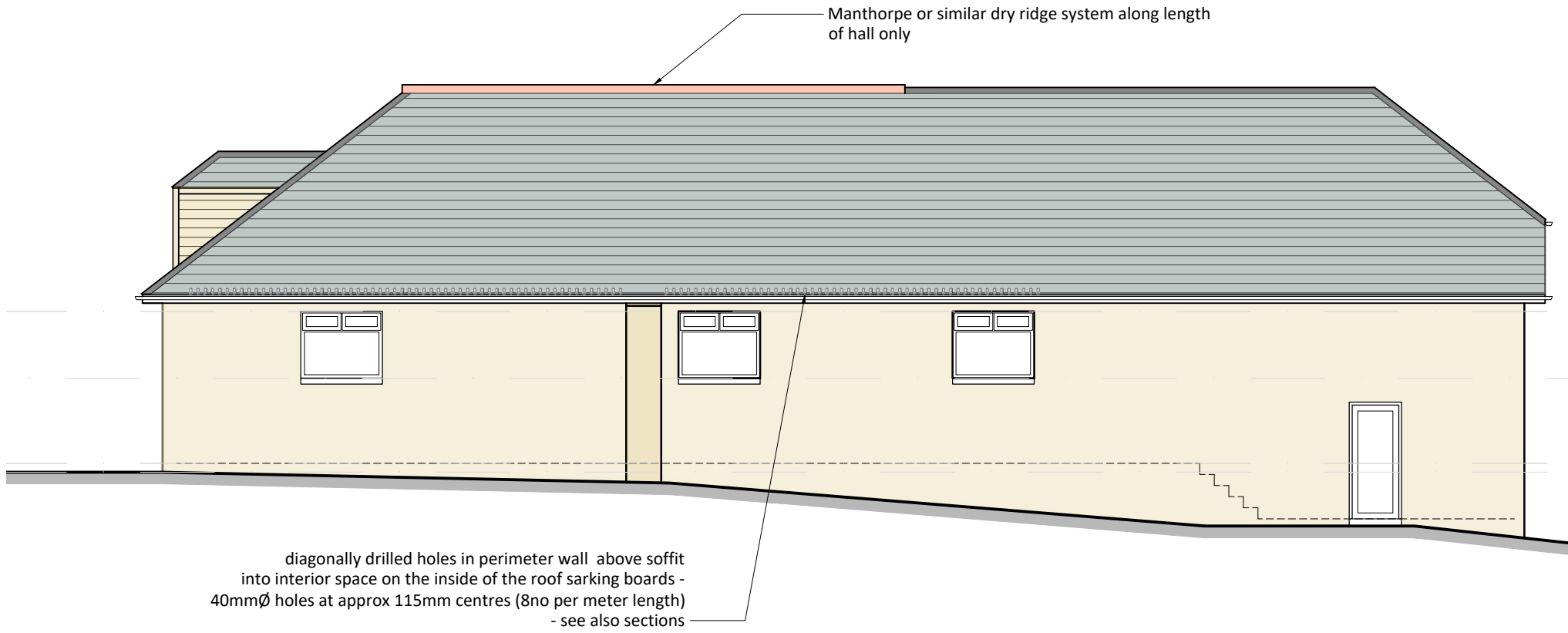
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1:100	PS			
DATE	CHECKED BY			
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This drawing is copyright. All materials and workmanship to comply with the current British Standards and codes of practice.  
Contractors to check ALL dimensions. Work from figured dimensions ONLY.  
Report ANY discrepancy to Architect or Surveyor before proceeding.  
IF IN ANY DOUBT ASK.

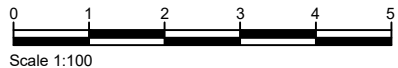




NORTH EAST ELEVATION



NORTH WEST ELEVATION



Note:  
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drawing annotations if variations occur.

-	-	-	-

REVISION	AMENDMENT	INITIAL	DATE
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- STATUS
- ☐ Preliminary
  - ☐ Planning
  - ☐ Building Regulations
  - ☒ Tender
  - ☐ Contract
  - ☐ As Built

PROJECT  
Ruan Minor Village Hall  
Ruan Minor  
Helston  
TR12 7JN

CLIENT  
D Jane & J Halliday

DRAWING TITLE  
NE & NW Elevations  
Tender

**RTP**

CHARTERED BUILDING SURVEYORS

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Tremough Innovation Centre  
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T 01326 318599  
E Falmouth@rtpsurveyors.co.uk  
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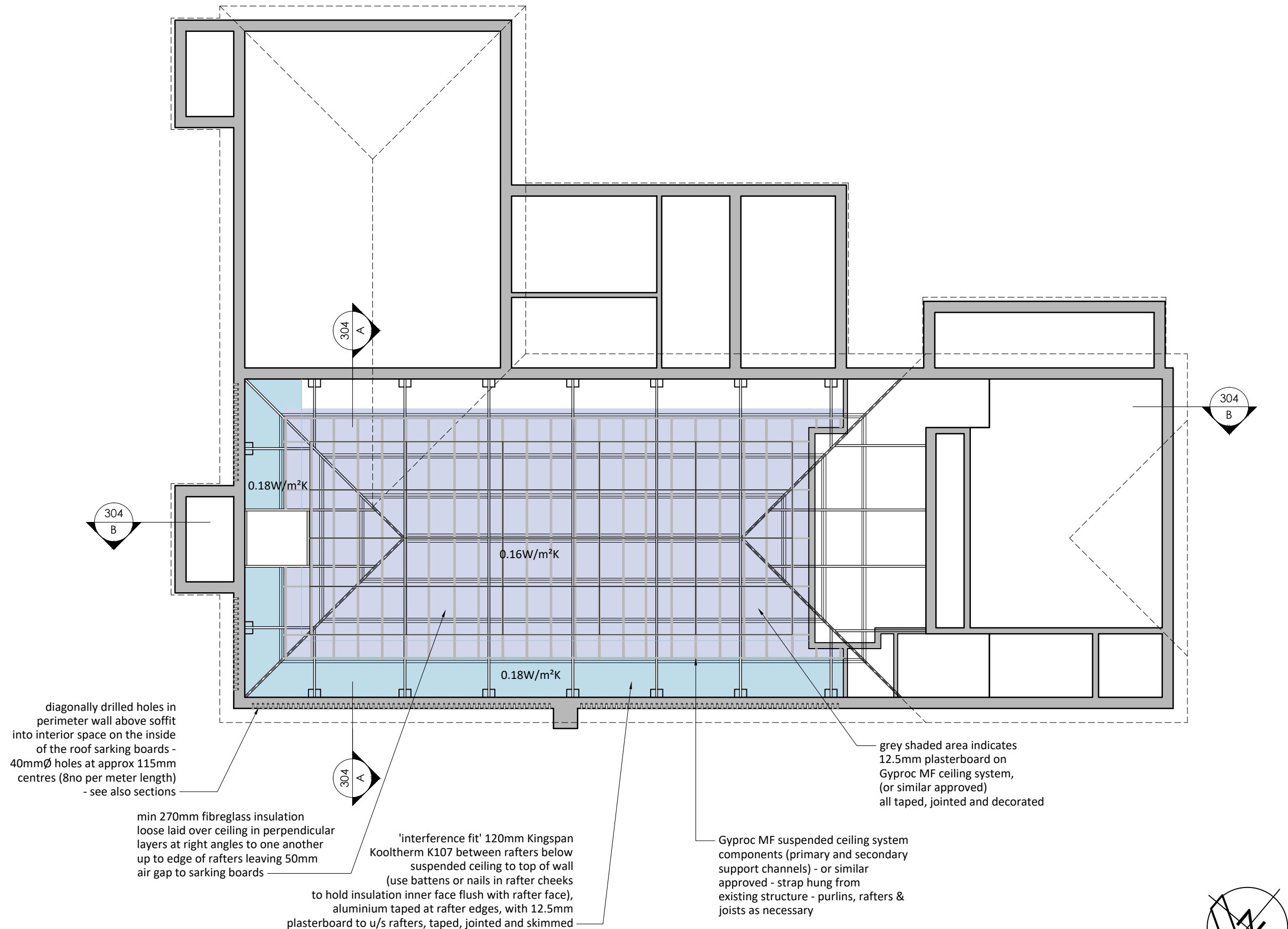
Offices also at Bodmin and Plymouth

**RICS**

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1:100	PS			
DATE	CHECKED BY			
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# REFLECTED CEILING PLAN

- STATUS
- ☐ Preliminary
  - ☐ Planning
  - ☐ Building Regulations
  - ☒ Tender
  - ☐ Contract
  - ☐ As Built

PROJECT

Ruan Minor Village Hall  
Ruan Minor  
Helston  
TR12 7JN

CLIENT

D Jane & J Halliday

DRAWING TITLE

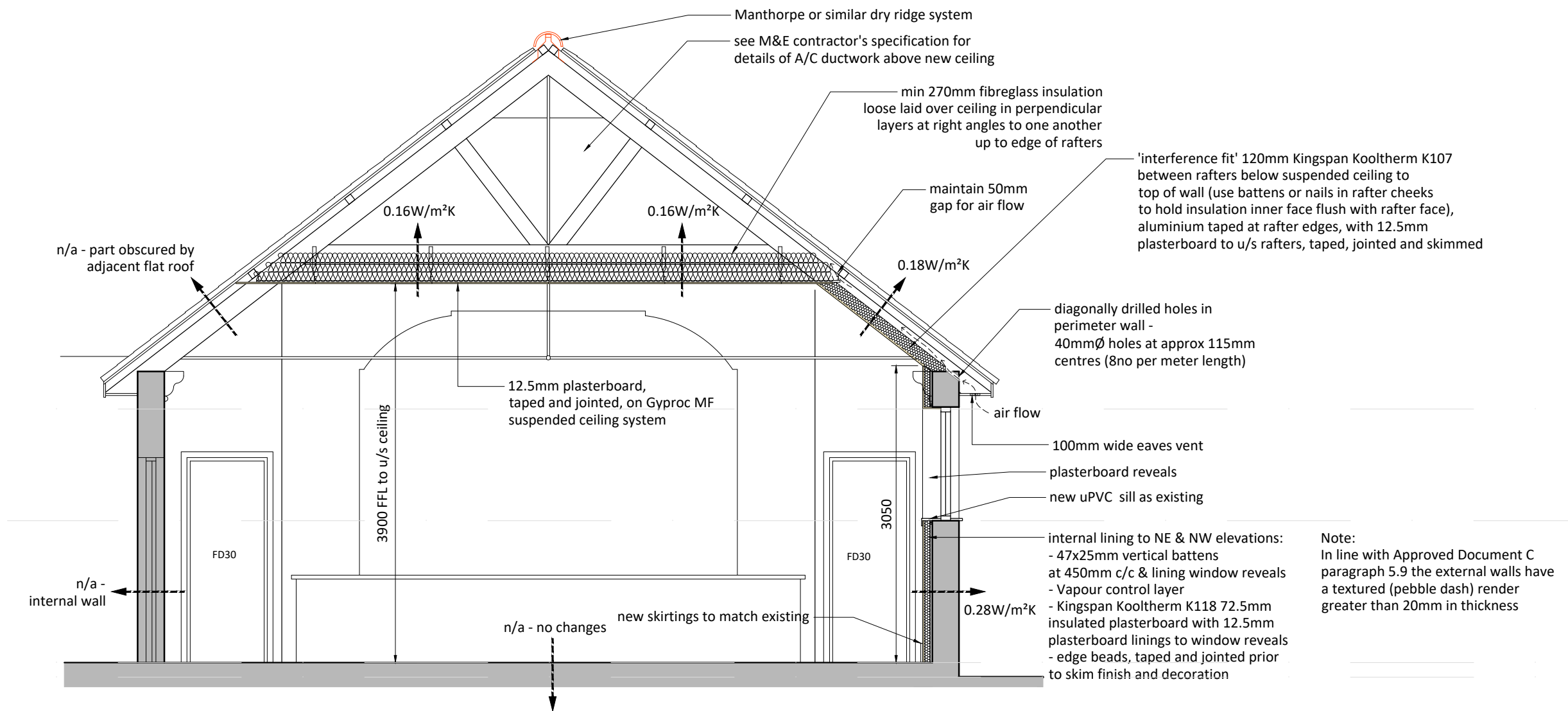
Reflected Ceiling Plan  
Tender

**RTP**  
CHARTERED BUILDING SURVEYORS  
RTP Surveyors  
Tremough Innovation Centre  
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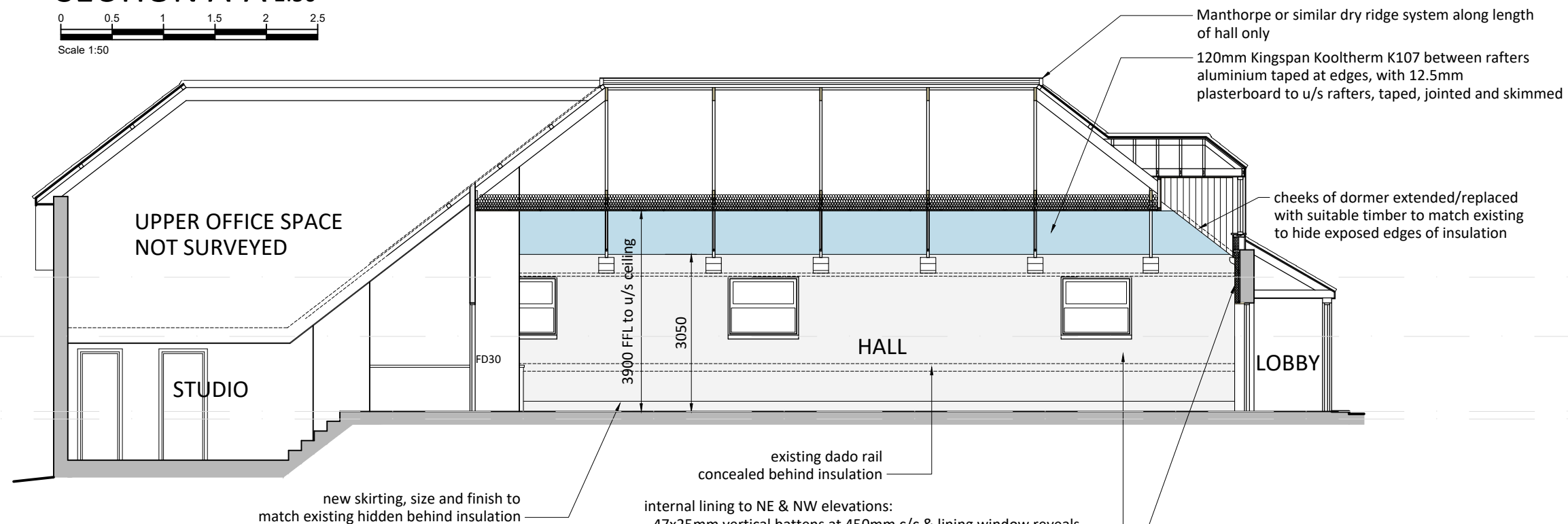
**RICS**

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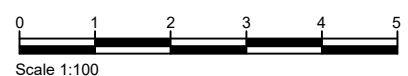
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SECTION A-A 1:50



SECTION B-B 1:100



A	VCL and external render note added	ps	Oct 23
REVISION	AMENDMENT	INITIAL	DATE

STATUS

- ☐ Preliminary
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PROJECT

Ruan Minor Village Hall  
Ruan Minor  
Helston  
TR12 7JN

CLIENT

D Jane & J Halliday

DRAWING TITLE

Sections  
Building Regulations



CHARTERED BUILDING SURVEYORS

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Penryn, Cornwall, TR10 9TA

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E Falmouth@rtpsveyors.co.uk  
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SCALE 1:50, 1:100	DRAWN BY PS	DRAWING NO. P230152-304	REV. A	SIZE A3
DATE Aug 23	CHECKED BY LM			

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## CDM – Pre-Construction Information

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<b>Name of client</b>	Ruan Minor Village Hall Committee
<b>Location of project</b>	Village Hall, Ruan Minor, Helston, TR12 7JN
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	<p>We are not aware of any public mains services within the boundaries of the property.</p> <p>There is a C /150 / VC (150mm Vitrified Clay) mains sewer pipe running beyond the Southern boundary of the site, to the East there is a 4 inch cast iron mains water supply running under the far side of the road as indicated on the plan in the appendices to the SoW.</p> <p>WPD/National Grid requirements apply.</p> <p>Underground/concealed services are not known within the boundaries of the property itself and scanning is required before opening-up/excavation.</p>
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2) Work which puts workers at risk from chemical or biological substances constituting a particular danger to the safety or health of workers of involving a legal requirement for health monitoring; **Weil's disease is a considered low risk, for review and control by the Principal Contractor, as well as historical risks from the building which may apply, such as lime. Lead paints are likely to be present – efforts should be made to reduce associated risks, i.e. no abrasive pads to be used on lead based paints, alternative removal techniques should be applied. Asbestos contamination to be reviewed for the buildings and soil. General soil contamination is to be analysed prior to excavation works.**

3) Work with ionizing radiation requiring the designation of controlled or supervised areas under regulation 16 of the Ionising Radiations Regulations 1999; **not relevant to this site.**

4) Work near high voltage power lines; **risks to be controlled by Principal Contractor (refer to WPD/National Grid information and attached CDM hazard plan).**

5) Work exposing workers to the risk of drowning; **not relevant to this site.**

6) Work on wells, underground earthworks and tunnels; **not relevant to this site.**

7) Work carried out by divers having a system of air supply; **not relevant to this site.**

8) Work carried out by workers in caissons with a compressed air atmosphere; **not relevant to this site.**

9) Work involving the use of explosives; **not relevant to this site.**

10) Work involving the assembly or dismantling of heavy prefabricated components; **no heavy prefabricated works are expected. The risks are to be reviewed and controlled by the Principal Contractor. The timber beams require assessment for safe handling and larger items should be moved with mechanical assistance. Avoidance of repetitive works should be considered where possible, the Exposure Limit Value (ELV) is  $5\text{m/s}^2$  (A)8 and the Exposure Action Value (EAV) is  $2.5\text{m/s}^2$  (A)8.**



Liam Mainstone BSc (Hons) PGDip Surv AssocRICS  
On behalf of RTP Surveyors  
30<sup>th</sup> August 2023



## Appendix A – Construction Hazard Plan

## Appendix B – Asbestos R+D Survey

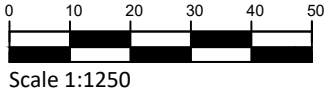
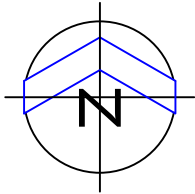
## Appendix C – South West Water – A3

## Appendix D – National Grid– A3

## Appendix E – Wales and West– A3



CONSTRUCTION HAZARD PLAN  
1:500



REVISION	AMENDMENT	INITIAL	DATE

- STATUS
- ☐ Preliminary
  - ☐ Planning
  - ☒ Building Regulations
  - ☐ Tender
  - ☐ Contract
  - ☐ As Built

PROJECT  
Ruan Minor Village Hall  
Ruan Minor  
Helston  
TR12 7JN

CLIENT  
D Jane & J Halliday

DRAWING TITLE  
Construction Hazard Plan



**CHARTERED BUILDING SURVEYORS**  
RTP Surveyors  
Tremough Innovation Centre  
Penryn, Cornwall, TR10 9TA  
T 01326 318599  
E Falmouth@rtpsurveyors.co.uk  
www.rtpsurveyors.co.uk  
Offices also at Bodmin and Plymouth



SCALE	DRAWN BY	DRAWING NO.	REV.	SIZE
as shown	LM			
DATE	CHECKED BY			
Aug 23	LM	P230152-501		A3

This drawing is copyright. All materials and workmanship to comply with the current British Standards and codes of practice.  
Contractors to check ALL dimensions. Work from figured dimensions ONLY.  
Report ANY discrepancy to Architect or Surveyor before proceeding.  
IF IN ANY DOUBT ASK.



## Refurbishment Survey

Survey Reference Number: L-18511RV1

Survey Date: 30 July 2021 & 26 May 2023

Client Specified Areas

Ruan Minor Village Hall  
Ruan Minor  
Helston  
TR12 7JL



## Report Authorised by

Name: Amy Bulpin

Signed:



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This inspection report shall not be reproduced except in full, without the approval of the inspection body and the client.

Allium Environmental Ltd wish to advise our client(s) that no obligation (actual, assumed or otherwise) may be placed upon the client, for further work related to the recommendation from this report.

Please note Allium Environmental Ltd cannot be held responsible for the way in which the client may interpret or act upon the results of the report. This report must be read in its entirety including any appendices. Allium Environmental Ltd accepts no responsibility for sub-division of this report.

No responsibility can be taken for any misinterpretation of this report by third parties.



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## Section 1.0: Executive Summary

**This report has been revised to sample the roof prior to the roof vent works as agreed with the client**

An Asbestos Refurbishment Survey was carried out in accordance with in-house asbestos surveying procedures and HSE guidance documentation *HSG 264: Asbestos: The Survey Guide* to client specified areas at Ruan Minor Village Hall.

The Survey was carried out by Allium Environmental Ltd on behalf of Ruan Minor Village Hall on 30 July 2021 & 26 May 2023.

The purpose of this survey was to locate as far as reasonably practicable the presence and extent of all suspected Asbestos Containing Materials (ACMs) in the building survey area which could be damaged or disturbed during planned refurbishment activities.

During the survey 6 samples were taken for analysis.

A Refurbishment Survey aims to locate all ACMs within the survey area. There is no requirement to assess the condition or 'Priority' information for management purposes. This is because it is presumed that all ACMs found will be removed as part of the planned refurbishment works. However, should any material remain in situ or if the related works are not undertaken then all ACMs identified should be re-assessed and managed in accordance with the recommended action set out in HSG 264 or CAR 2012. To manage the risk from ACMs, it is the Duty Holder's responsibility to keep and maintain an up-to-date record of the location, condition, maintenance and removal of all ACMs on the premises. If there is a risk of exposure due to the condition or location of the ACMs then they should be repaired, encapsulated and labelled, or removed. It is the responsibility of the Duty Holder to maintain ACMs in a good state of repair and regularly monitor the condition; the Duty Holder should inform anyone who is liable to disturb the ACMs about their location and condition.

Item No.	Building Name	Room No. & Name	Asbestos Containing Product	Recommended Action	Risk
11	Ruan Minor Village Hall	External	Cement Roof Tiles - Roof	Remove if affected by proposed refurbishment works	Very Low

Inaccessible areas encountered during the time of the survey, for which no information was obtained, along with areas where access was limited:

Item No.	Building Name	Room No. & Name	Restriction
7	Ruan Minor Village Hall	Ground Floor, 002 - Play Room & Cupboards	No access gained within cupboard due to no key available at the time of the survey.
9	Ruan Minor Village Hall	Ground Floor, 007 - Store	No access gained within room due to no key available at the time of the survey.

## Section 2.0: Introduction

Allium Environmental Ltd was instructed by Jan Halliday of Ruan Minor Village Hall to undertake an Asbestos Refurbishment Survey to ascertain the presence of any Asbestos Containing Materials (ACMs) within: Ruan Minor Village Hall.

The site consists of:

- Circa 1930's block built village hall with a pitched roof.

The survey was carried out on 30 July 2021 by Joe Rider and on 26 May 2023 by Bryan Read of Allium Environmental Ltd.

## Section 2.1: Survey Scope

The scope of the survey as defined by Ruan Minor Village Hall is to carry out a Refurbishment Survey to client specified areas within Ruan Minor Village Hall:

- Areas included in the survey:
  - Areas affected by the fire alarm system upgrade within Ruan Minor Village Hall were included in the survey.
- Agreed areas of exclusion from the survey scope:
  - All other areas of Ruan Minor Village Hall were excluded from the survey.

## Section 2.2: Limitations

During the course of the survey all reasonable efforts were made to identify the presence of Asbestos Containing Materials within the surveyed areas. However, Asbestos Containing Materials (ACMs) are sometimes concealed within the fabric of a building or sealed building voids, and so it is not always possible to regard the findings of a survey as being definitive. Therefore, it must always remain a possibility that further Asbestos Containing Materials may be found during any alterations, refurbishment or demolition works. Asbestos Containing Materials (ACMs) may be hidden within the fabric of a building and may not be visible until the building is dismantled; it is therefore recommended that a complete review of the Asbestos register is undertaken before commencement of any works. Where areas have been identified as inaccessible within the report, it indicates that the area specified was not accessible to the surveyor at the time of the inspection either because such areas were locked despite requests for access to be arranged, or to gain entry would require an unreasonable degree of dismantling to the structure of the building. The client is therefore advised to the possibility of there being Asbestos Containing Materials in such areas.

HSE guidance: HSG 264: Asbestos: the survey guide states it is now recognised that even with 'complete' access demolition surveys, all ACMs may not be identified and this only becomes apparent during demolition itself. Therefore in buildings that are occupied, due to be re-occupied or due to extenuating circumstances, following the completion of the survey it may be required to undertake additional inspections or sampling prior to/during proposed refurbishment works to account for all hidden Asbestos Containing Materials (ACMs). Where this is likely a provision may need to be made to allow for a possible revisit, this may include inaccessible areas that will be listed in this report.

- Inaccessible areas encountered during the survey:
  - 7 - Ground Floor, 002 - Play Room & Cupboards, No access gained within cupboard due to no key available at the time of the survey.
  - 9 - Ground Floor, 007 - Store, No access gained within room due to no key available at the time of the survey.
- Agreed Variations or Deviations from the standard HSG 264 method:
  - Intrusions were kept to a minimum due to continued use of the premises.

## Section 2.3: Details

Site Address:

- Ruan Minor Village Hall, Ruan Minor, Helston, Cornwall, TR12 7JL

Client Name & Address:

- Ruan Minor Village Hall, Ruan Minor, Helston, Cornwall, TR12 7JL

Client Contact:

- Jan Halliday

Survey Start Date:

- 30 July 2021

Survey Completion Date:

- 26 May 2023

Survey Conducted by:

- Joe Rider
- Bryan Read

Assisted by:

- N/A

Report Produced:

- 09 June 2023

## Section 2.4: Survey Type

The nature of the survey is a Refurbishment Asbestos Survey as detailed in HSE publication: *HSG 264 Asbestos: The Survey Guide*. HSE guidance publication *HSG 264: Asbestos: The Survey Guide* describes a Refurbishment survey as a fully intrusive survey. A full sampling programme is undertaken to identify possible ACMs and estimates of volume and surface area made. A Refurbishment survey is required for all work which disturbs the fabric of the building in areas where the management survey has not been intrusive.

This report presents the findings of the survey and analysis reports of any bulk samples taken.

## Section 3.0: Survey Method

Allium Environmental Ltd conducts Refurbishment surveys in accordance with our in-house Asbestos Surveying procedures and HSE guidance publication *HSG 264: Asbestos: The Survey Guide*. While the survey is fully intrusive, disruptive and non-destructive, it may involve penetrating all parts of the building structure, using aggressive inspection techniques to lift carpets and tiles, break through walls, ceilings cladding and partitions, and open up floors.

A Refurbishment survey uses a combination of visual inspection and bulk sampling to confirm the presence of Asbestos. Any area(s) inaccessible at the time of the survey must be presumed to contain Asbestos, and any inaccessible area(s) must have access restricted, and should be inspected prior to access or the commencement of any works.

Any samples collected during the survey will be analysed in-house to ISO/IEC 17025 for the identification of Asbestos fibres in bulk samples, and in accordance with HSE guidance note: *HSG 248: The Analysts' guide for sampling analysis and clearance procedures and best practice* or subcontracted to an approved independent laboratory, which is also UKAS accredited to ISO/IEC 17025 for the identification of Asbestos fibres in bulk samples, and in accordance with HSE guidance note: *HSG 248: The Analysts' guide for sampling analysis and clearance procedures and best practice*. Where applicable and where samples are sub-contracted this will be clearly displayed on the bulk sample test report and within the survey report. Completed Fibre Identification Report for all samples taken can be found in Appendix 2. (Representative samples were also taken of any materials that may be mistaken for potential ACMs). Sampling location stickers, bearing the individual samples unique identification number, have been applied to all sample points where practicable, for future reference.

Products that are very unlikely to contain Asbestos were not sampled (e.g. wallpaper, plasterboard, chipboard, wood etc.).

An item record is completed for each suspect sample taken; for materials strongly presumed to contain Asbestos (i.e. materials visually similar to positively identified ACMs); for areas presumed to contain Asbestos (i.e. areas where no access could be gained at the time of the survey; and non-accessed items of (electrical) equipment and plant).

Each item record contains a colour photograph, individual material assessment scores (as prescribed under HSG 264), management recommendations and general observations / comments (where appropriate).

The item records are combined together to form a site-specific Asbestos Register.

## Section 4.0: General Comments

This report relates to the situation on the day(s) of the inspection and cannot take into account subsequent changes in circumstances. Samples were taken of any materials historically known or presumed to contain Asbestos. This report contains findings based upon visual inspection and results of laboratory analysis

All figures and measurements quoted in the Asbestos Register detailing the extent of ACMs are estimates, based upon visual inspection on the day of the survey and should be used as a guide. It is the responsibility of contractors quoting for Asbestos Removal Works to take their own measurements to determine the exact extent of Asbestos to be removed. Unless otherwise stated pipework insulation and heating plant was not inspected in their entirety. Representative samples were taken at random intervals where suspect material was observed. The scope of the works did not permit complete exposure and assessment of all pipework and heating plant.

No responsibility can be taken for any misinterpretation of this report by third parties.

A limited inspection of pipework concealed by overlying non-Asbestos insulation has been conducted. Inspection of pipework has been restricted primarily to insulation visible. The presence of Asbestos debris to pipework, which is not readily visible or would require the full removal and replacement of overlying insulation, has therefore not been investigated.

No responsibility will be accepted for the presence of Asbestos in voids (under floor, or behind wall or ceiling) or pipework ducts other than those opened up during the survey.

The survey is limited to those areas accessed at the time of the survey.

We have not reported on concealed spaces, which may exist within the fabric of the building, and where the extent and presence of these is not evident, due to inaccessibility or insufficient knowledge of the structure at the time of the survey.

Due to the nature and variety of Asbestos used in building construction and the complex nature of some buildings, especially where modified over the years, it is possible that some ACMs may not have been identified in the survey. Where refurbishment is to follow a refurbishment Survey, it would be prudent in any contract to allow a contingency sum to provide for such possibility.

#### **Section 4.0: General Comments (Continued)**

Certain 'Artex' type textured coatings and decorative plasters may contain very small quantities of Asbestos. In situ, these coatings are often composed of different batches of product, or may have been repaired / patched at different times. It is therefore possible that any 'Artex' samples taken may not be representative of the entire coating. Recent research suggests that in some cases, the fibres may have diameters below 0.1 um. These may not be visible by the optical microscopy method described in HSE guidance publication HSG 248: Asbestos: The Analysts' Guide for Sampling, Analysis and Clearance Procedures.

At the time of the survey no access was gained to materials and/or void areas located above, behind or attached to suspect Asbestos Containing Materials sampled or presumed throughout the site. To do so would have required surveyors to break through suspect ACMs, such as textured coating and insulating board, potentially contaminating themselves and the work area with Asbestos. Therefore, it is recommended that site operatives are made aware of this survey limitation, and instructed to exercise caution when breaking through materials and/or areas located above, behind or attached to suspect ACMs that have been found to contain Asbestos following laboratory analysis.



## Section 5.0: Terminology

**Asbestos** – A term used for the fibrous form of several naturally occurring silicate minerals, used primarily because of its low thermal conductivity, high tensile strength, resistance to chemical attack, flexibility and incombustibility. *The Control of Asbestos Regulations 2012* defines and regulates asbestos as the fibrous forms of the following minerals or any mixture containing them. “Asbestos” means the following fibrous silicates;

***Chrysotile*** (White Asbestos)

***Crocidolite*** (Blue Asbestos)

***Fibrous Grunerite*** - commonly known as *Amosite* (Brown Asbestos)

***Fibrous Tremolite***

***Fibrous Anthophyllite***

***Fibrous Actinolite***

**ACM(s)** - Asbestos Containing Material(s). Any material, substance or product that contains or has been made with Asbestos.

**SPTCA** - Strongly Presumed To Contain Asbestos.

**PTCA** - Presumed To Contain Asbestos.

**NAD** - No Asbestos Detected.

**AD** - Asbestos Detected.

## Section 5.1: Material Assessment Score Algorithm & Risk rating

Sample Variable	Score	Example of Scores
Product Type (including debris from product)	1	Asbestos-Reinforce Composite (Plastic, Resin, Mastic, Roofing Felts, Vinyl Floor Tiles, Semi-Rigid Paints or Decorative Finishes, Asbestos Cement)
	2	Asbestos Insulating Board (AIB), Millboards, Other Low-Density Insulating Boards, Asbestos Textile, Gasket, Ropes and Woven Textile, Asbestos Paper and Felt
	3	Thermal Insulation (e.g. Pipe and Boiler Lagging), Sprayed Asbestos, Loose Asbestos, Asbestos Mattresses and Packing.
Extent of damage/deterioration	0	Good condition: no visible damage
	1	Low damage: a few scratches or surface marks, broken edges on board, tiles etc.
	2	Medium damage: significant breakage of materials or several small areas where material has been damaged revealing loose fibres.
	3	High damage or delamination of materials, Sprays and Thermal Insulation. Visible Asbestos debris
Surface treatment	0	Composite materials containing Asbestos: Reinforced Plastic, Resins, Vinyl Tiles.
	1	Enclosed Sprays and Lagging, AIB (with exposed face painted or encapsulated), Asbestos Cement Sheets etc.
	2	Unsealed AIB, or encapsulated Lagging and Sprays.
	3	Unsealed Lagging and Sprays.
Asbestos type	1	Chrysotile
	2	Amphibole (Amosite) Asbestos excluding Crocidolite
	3	Crocidolite

### Potential to release Asbestos Fibres

- Materials with an assessment score of 10 or more are deemed to have a high risk and potential to release fibres, if subject to minor disturbance, e.g. walking in the vicinity of the material.
- Materials with an assessment score between; 7-9 are deemed to have a medium risk and potential to release fibres.
- Materials with an assessment score between; 5-6 are deemed to have a low risk and potential to release fibres.
- Materials with an assessment score of 4 or less are deemed to have a very low risk and potential to release fibres.

## Section 5.2: Recommended Actions Explained

**Monitor Condition** - This material can stay in situ and be managed accordingly. Monitor condition regularly and record condition.

**Label** - Label the ACM with approved warning signs

**Encapsulate** - Use suitable encapsulating material to seal surface. Work with this material to be carried out in accordance with HSE Publication: *The Control of Asbestos Regulations 2012*.

**Repair** - This material requires repair. Work with this material to be carried out in accordance with HSE Publication: *The Control of Asbestos Regulations 2012*.

**Restrict Access** - Restrict access to area and communicate with employees, contractors and others to keep area free from personnel. Work with this material to be carried out in accordance with HSE Publication: *The Control of Asbestos Regulations 2012*.

**Protect/Enclose** - Use suitable material to protect / enclose ACM to minimise risk of impact damage.

**Remove if Affected** - If this material is likely to be disturbed by/during the proposed refurbishment works then material will need to be removed prior to work commencing. Work with this material to be carried out in accordance with HSE Publication: *The Control of Asbestos Regulations 2012*.

**Remove** - This material requires removal. Work with this material to be carried out in accordance with HSE Publication: *The Control of Asbestos Regulations 2012*.

**No Access/Exercise Caution** - Surveyors were unable to obtain access to material, item, room, area or building to conduct inspection for potential ACMs. Therefore, the area is assumed to contain Asbestos and the Duty Holder should exercise caution.

Please Note:

- Allium Environmental Ltd cannot be held responsible for the way in which the client may interpret or act upon the results of this report.
- Please refer to HSE Publication: *The Control of Asbestos Regulation 2012* prior to undertaking any remedial works on ACMs.
- In some instances more than one recommendation may be used.

## Section 6.0: Survey Findings & Room Construction

Please note

- Where areas were inspected and no ACMs were identified or presumed an entry has been placed into the report findings stating “No Asbestos Detected” within the respective area.

**Room/Area Name & No: 001 – Hall**

**Floor: Ground Floor**


**Building: Ruan Minor Village Hall**


Room Construction / Description			
Ceiling	Textured Coating, Plasterboard	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block, Plasterboard	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**Positive Survey Findings - None Identified**

**No Access Areas - None Identified**

**Negative Survey Findings**

Reference	4	Product Type (A)	N/A	
Sample No	Composite 18511/JR/002	Condition (B)	N/A	
Description	Textured Coating - Ceiling	Surface Treatment (C)	N/A	
Accessibility	Low	Asbestos Type (D)	N/A	
Risk Rating	N/A	Material Score (A+B+C+D)	N/A	
Extent	3m²	Identification	<b>NAD</b>	
Recommendation	No Action			
Comments	Textured coating to plasterboard ceiling continues from 103 Landing.			

Reference	5	Product Type (A)	N/A	
Sample No	18511/JR/003	Condition (B)	N/A	
Description	Textured Coating - Ceiling	Surface Treatment (C)	N/A	
Accessibility	Low	Asbestos Type (D)	N/A	
Risk Rating	N/A	Material Score (A+B+C+D)	N/A	
Extent	3m²	Identification	NAD	
Recommendation	No Action			
Comments	Textured coating to plasterboard ceiling continues from 103 Landing.			

**Room/Area Name & No: 002 - Play Room & Cupboards**

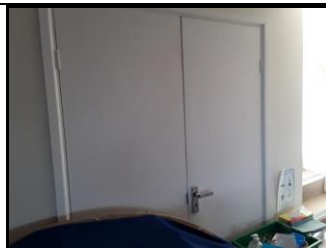
**Floor: Ground Floor**

**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Textured Coating, Plasterboard	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block, Plasterboard	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

### Positive Survey Findings - None Identified

#### No Access Areas

Reference	7	Product Type (A)	N/A	
Sample No	No Sample Taken	Condition (B)	N/A	
Description	No Access Gained - Internal	Surface Treatment (C)	N/A	
Accessibility	Low	Asbestos Type (D)	N/A	
Risk Rating	Low	Material Score (A+B+C+D)	N/A	
Extent	1no.	Identification	PTCA	
Recommendation	Exercise Caution – See section 5.2			
Comments	Presumed to contain asbestos until proven otherwise. No access gained within cupboard due to no key available at the time of the survey.			

#### Negative Survey Findings

Reference	6	Product Type (A)	N/A
Sample No	Composite 18511/JR/004	Condition (B)	N/A
Description	Textured Coating - Ceiling	Surface Treatment (C)	N/A
Accessibility	Low	Asbestos Type (D)	N/A
Risk Rating	N/A	Material Score (A+B+C+D)	N/A
Extent	30m <sup>2</sup>	Identification	<b>NAD</b>
Recommendation	No Action		
Comments	Textured coating to plasterboard. Continues within cupboard 1.		

**Room/Area Name & No: 003 - Main Hall**

**Floor: Ground Floor**

**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Timber	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block, UPVC & Timber	Pipework	N/A
Doors	N/A	Plant/Equipment	Modern Consumer Unit
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**No suspect ACM's were identified within 003 – Main Hall**

**Room/Area Name & No: 004 - Porch**

**Floor: Ground Floor**

**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Timber	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**No suspect ACM's were identified within 004 – Porch**



**Room/Area Name & No: 005 - WCs & Lobby**

**Floor: Ground Floor**

**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Plasterboard	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**No suspect ACM's were identified within 005 – WCs & Lobby**

**Room/Area Name & No: 006 - Snooker Room**

**Floor: Ground Floor**


**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Fibreboard	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**Positive Survey Findings - None Identified**

**No Access Areas - None Identified**

**Negative Survey Findings**

Reference	8	Product Type (A)	N/A	
Sample No	18511/JR/005	Condition (B)	N/A	
Description	Fibreboard - Ceiling	Surface Treatment (C)	N/A	
Accessibility	Low	Asbestos Type (D)	N/A	
Risk Rating	N/A	Material Score (A+B+C+D)	N/A	
Extent	50m <sup>2</sup>	Identification	<b>NAD</b>	
Recommendation	No Action			
Comments				

**Room/Area Name & No: 007 - Store**

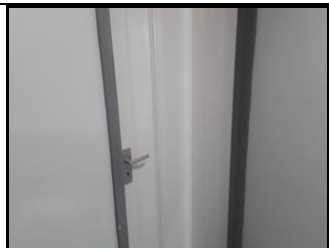
**Floor: Ground Floor**

**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	N/A	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	N/A	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

## Positive Survey Findings - None Identified

### No Access Areas

Reference	9	Product Type (A)	N/A	
Sample No	No Sample Taken	Condition (B)	N/A	
Description	No Access Gained - Internal	Surface Treatment (C)	N/A	
Accessibility	Low	Asbestos Type (D)	N/A	
Risk Rating	Low	Material Score (A+B+C+D)	N/A	
Extent	1no.	Identification	PTCA	
Recommendation	Exercise Caution – See section 5.2			
Comments	Presumed to contain asbestos until proven otherwise. No access gained within room due to no key available at the time of the survey.			

## Negative Survey Findings - Not Applicable

**Room/Area Name & No: 008 - Porch**

**Floor: Ground Floor**

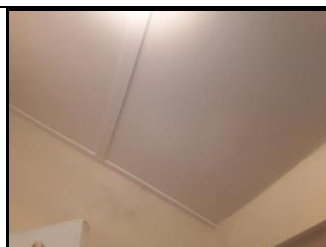
**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Fibreboard	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**Positive Survey Findings - None Identified**

**No Access Areas - None Identified**

**Negative Survey Findings**

Reference	10	Product Type (A)	N/A	
Sample No	Visually Similar to 18511/JR/005	Condition (B)	N/A	
Description	Fibreboard - Ceiling	Surface Treatment (C)	N/A	
Accessibility	Low	Asbestos Type (D)	N/A	
Risk Rating	N/A	Material Score (A+B+C+D)	N/A	
Extent	3m²	Identification	<b>NAD</b>	
Recommendation	No Action			
Comments				

**Room/Area Name & No: 009 - Kitchen**

**Floor: Ground Floor**

**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Plasterboard	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block & Ceramic Tiles	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**No suspect ACM's were identified within 009 - Kitchen**

**Room/Area Name & No: 101 - Meeting Room**

**Floor: First Floor**


**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Textured Coating, Plasterboard	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block, Plasterboard	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**Positive Survey Findings - None Identified**

**No Access Areas - None Identified**

**Negative Survey Findings**

Reference	1	Product Type (A)	N/A	
Sample No	18511/JR/001	Condition (B)	N/A	
Description	Textured Coating - Ceiling	Surface Treatment (C)	N/A	
Accessibility	Low	Asbestos Type (D)	N/A	
Risk Rating	N/A	Material Score (A+B+C+D)	N/A	
Extent	35m <sup>2</sup>	Identification	<b>NAD</b>	
Recommendation	No Action			
Comments	Textured coating to plasterboard. Composite sample			

**Room/Area Name & No: 102 - Store**

**Floor: First Floor**


**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Textured Coating, Plasterboard	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block, Plasterboard	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**Positive Survey Findings - None Identified**

**No Access Areas - None Identified**

**Negative Survey Findings**

Reference	2	Product Type (A)	N/A	
Sample No	18511/JR/002	Condition (B)	N/A	
Description	Textured Coating - Ceiling	Surface Treatment (C)	N/A	
Accessibility	Low	Asbestos Type (D)	N/A	
Risk Rating	N/A	Material Score (A+B+C+D)	N/A	
Extent	8m²	Identification	NAD	
Recommendation	No Action			
Comments	Textured coating to plasterboard. Composite sample			

**Room/Area Name & No: 103 - Landing**

**Floor: First Floor**

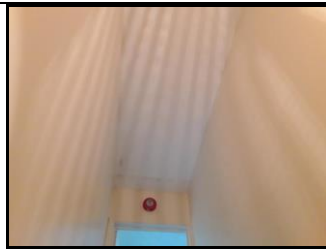
**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	Textured Coating, Plasterboard	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	Block, Plasterboard	Pipework	N/A
Doors	N/A	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	N/A	Other	N/A
Under Floor Ducts	N/A	Comments	

**Positive Survey Findings - None Identified**

**No Access Areas - None Identified**

**Negative Survey Findings**

Reference	3	Product Type (A)	N/A	
Sample No	Composite 18511/JR/002	Condition (B)	N/A	
Description	Textured Coating - Ceiling	Surface Treatment (C)	N/A	
Accessibility	Low	Asbestos Type (D)	N/A	
Risk Rating	N/A	Material Score (A+B+C+D)	N/A	
Extent	2.25m²	Identification	NAD	
Recommendation	No Action			
Comments	Textured coating to plasterboard.			



**Room/Area Name & No: A01 - Roof Space**

**Floor: First Floor**

**Building: Ruan Minor Village Hall**

Room Construction / Description			
Ceiling	N/A	Riser/Boxing	N/A
Firebreak	N/A	Voids	N/A
Walls	N/A	Pipework	N/A
Doors	Timber	Plant/Equipment	N/A
Windows/Sills	N/A	Staircases	N/A
Floor	Plasterboard	Other	N/A
Under Floor Ducts	N/A	Comments	

**No suspect ACM's were identified within A01 – Roof Space**


**Room/Area Name & No: Main Building**

**Floor: External**

**Building: Ruan Minor Village Hall**

Room Construction / Description			
Walls	N/A	Ducts/Pipe Runs	N/A
Cladding	N/A	Ground	N/A
Roof	Cement Roof Tiles	Windows/Sills	N/A
Rainwater Goods	N/A	Soffit Fascia's	N/A
Soil Stacks	N/A	Staircases	N/A
Flues/Cowls	N/A	Other	N/A
Plant/Equipment	N/A	Comments	
Doors	N/A		

### Positive Survey Findings

Reference	11	Product Type (A)	1	
Sample No	18511/BR/006	Condition (B)	1	
Description	Cement Roof Tiles - Roof	Surface Treatment (C)	1	
Accessibility	Low	Asbestos Type (D)	1	
Risk Rating	Low	Material Score (A+B+C+D)	4	
Extent	200m²	Identification	AD	
Recommendation	Remove if affected by proposed refurbishment works – See section 5.2			
Comments	Sample does not include extension roof			





**No Access Areas - None Identified**

**Negative Survey Findings - Not Applicable**

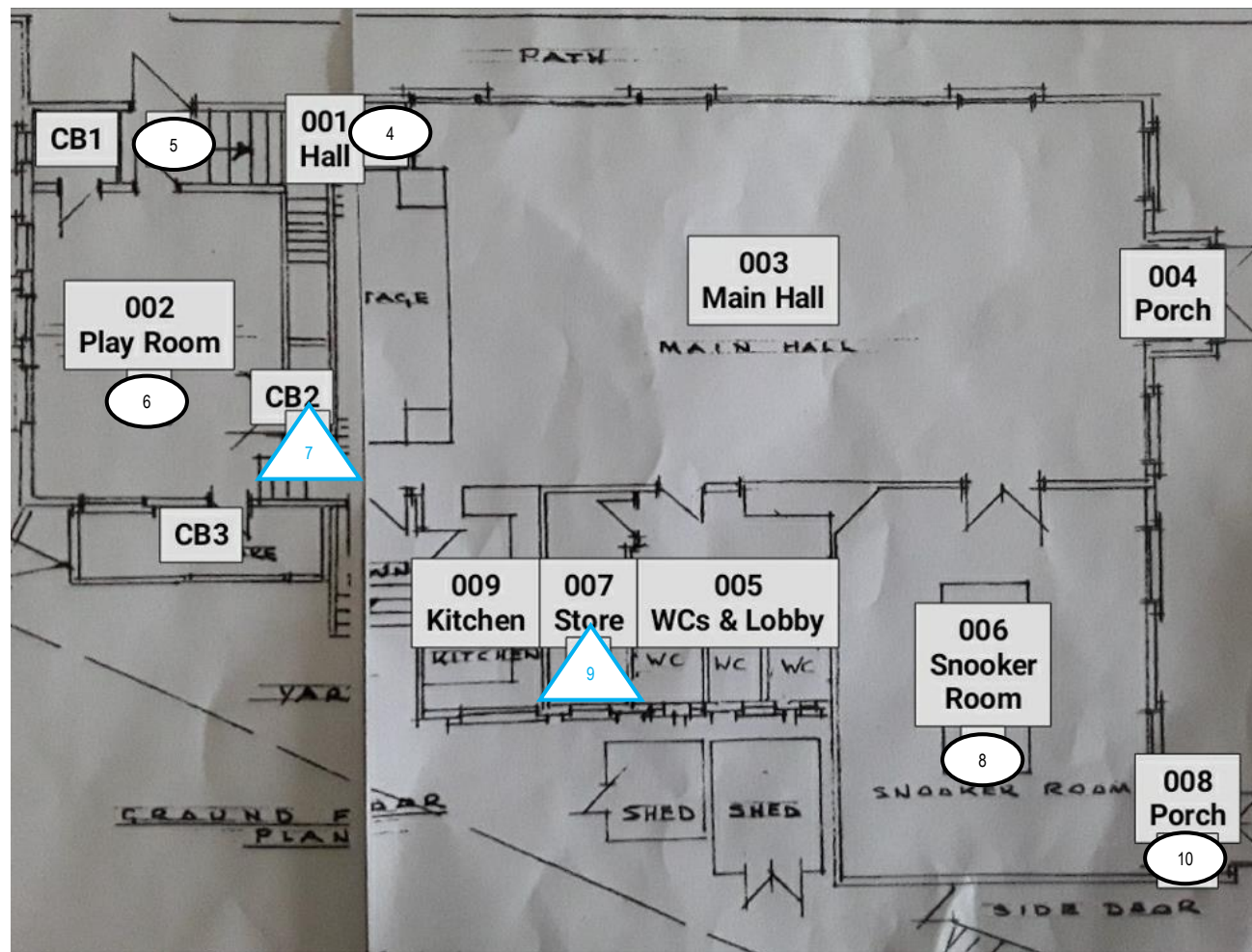


Site:	Ruan Minor Village Hall Ruan Minor Helston TR12 7JL
Building:	Circa 1930's block built village hall with a pitched roof.
Floor Level / Area:	Ground Floor
Ref No & Plan No:	L-18511RV1 Page 1 of 3

## KEY

Positive ACMs /items	
Non Asbestos / Negative ACMs	
No Access / Limited Access	
Areas excluded from the survey	

Please note:  
Where provided floor plans should be regarded as sketch-plans and for identification purposes only. They are intended to provide a visual appreciation of the buildings surveyed, showing locations of suspected ACMs, areas of no access and where samples were taken.







- THIS PLAN SHOULD BE READ IN CONJUNCTION WITH THE MAIN BODY OF THE REPORT AND INDIVIDUAL ITEM RECORDS

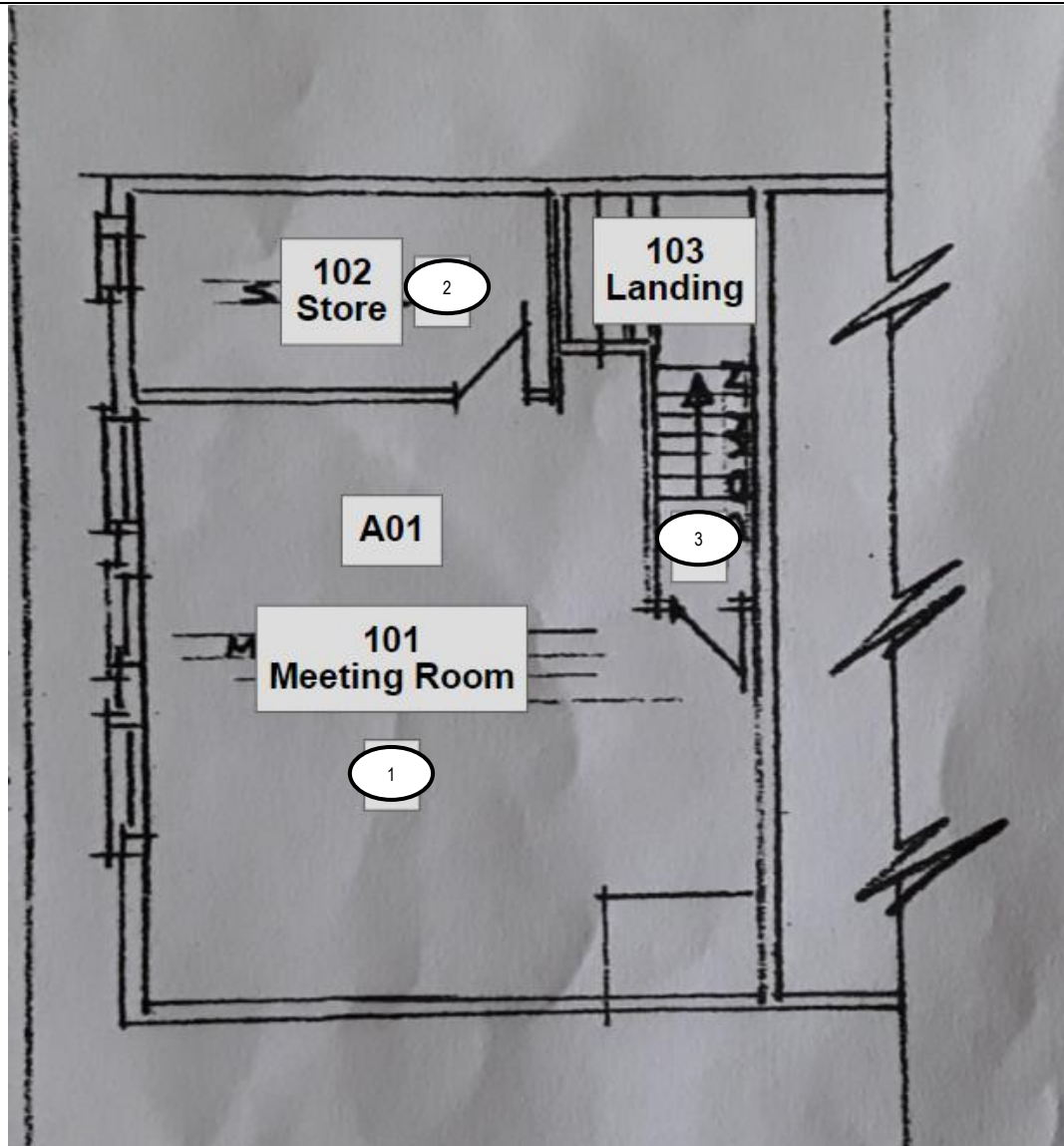


Site:	Ruan Minor Village Hall Ruan Minor Helston TR12 7JL
Building:	Circa 1934 block built village hall with a pitched roof.
Floor Level / Area:	First Floor
Ref No & Plan No:	L-18511RV1 Page 2 of 3

## KEY

Positive ACMs /items	
Non Asbestos / Negative ACMs	
No Access / Limited Access	
Areas excluded from the survey	

Please note:  
Where provided floor plans should be  
regarded as sketch-plans and for  
identification purposes only. They are  
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- THIS PLAN SHOULD BE READ IN CONJUNCTION WITH THE MAIN BODY OF THE REPORT AND INDIVIDUAL ITEM RECORDS

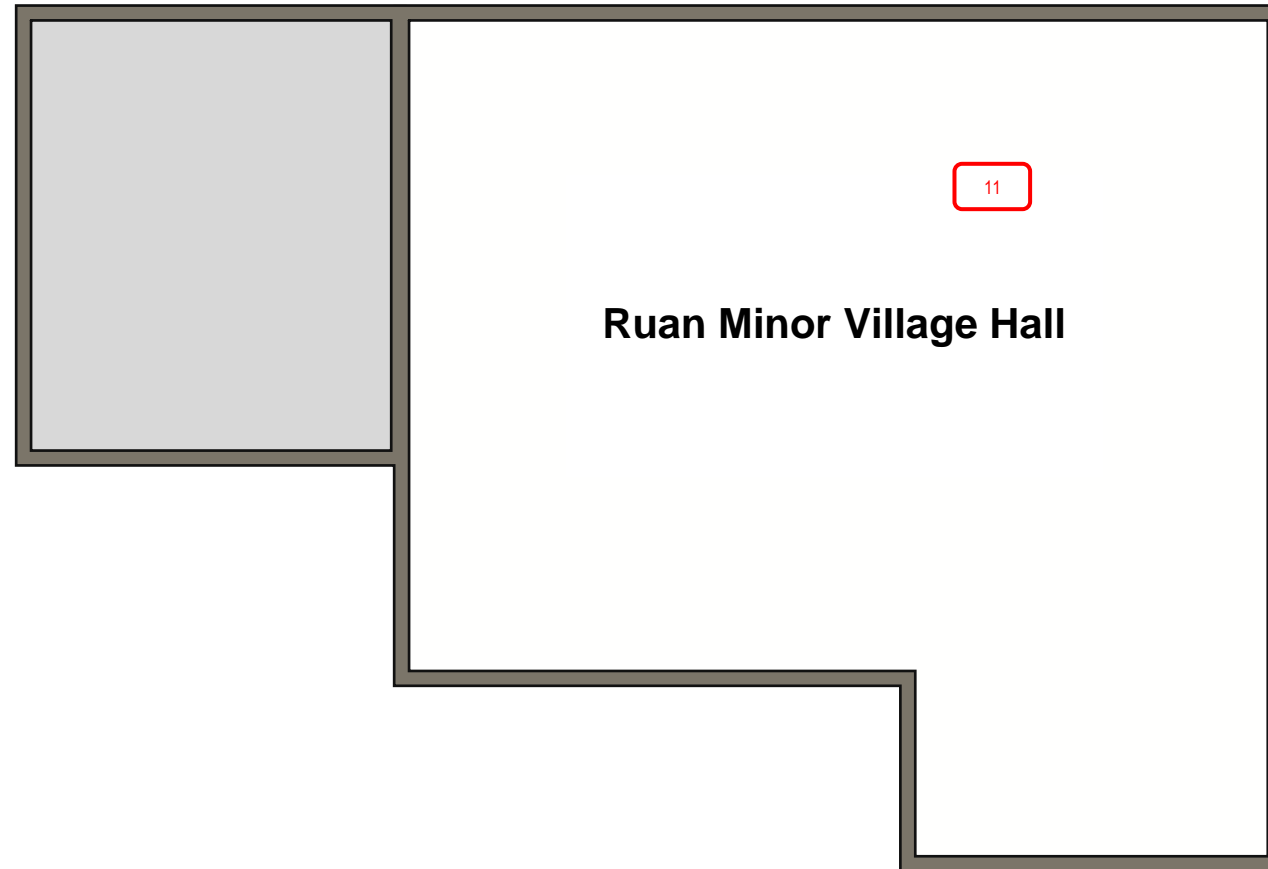


Site:	Ruan Minor Village Hall Ruan Minor Helston TR12 7JL
Building:	Circa 1934 block built village hall with a pitched roof.
Floor Level / Area:	External
Ref No & Plan No:	L-18511RV1 Page 3 of 3

## KEY

Positive ACMs /items	
Non Asbestos / Negative ACMs	
No Access / Limited Access	
Areas excluded from the survey	

Please note:  
Where provided floor plans should be regarded as sketch-plans and for identification purposes only. They are intended to provide a visual appreciation of the buildings surveyed, showing locations of suspected ACMs, areas of no access and where samples were taken.



- THIS PLAN SHOULD BE READ IN CONJUNCTION WITH THE MAIN BODY OF THE REPORT AND INDIVIDUAL ITEM RECORDS

## Appendix 2: Certificate of Bulk Sample Analysis



Our Ref: J215043 FI: 5  
Your Ref: L-15811  
Date: 09/08/2021

**ENVIROCHEM**  
Analytical Laboratories Ltd.  
12 The Gardens  
Broadcut, Fareham  
Hampshire  
PO16 8SS



1227  
Tel: (01329) 287777  
Fax: (01329) 287755  
www.envirochem.co.uk  
office@envirochem.co.uk

### Asbestos Fibre Identification Report

**Client:** Allium Environmental Ltd  
Baldhu House, Wheal Jane Earth Science Park, Baldhu, Truro, TR3 6EH

**Site Address:** Ruan Village Minor Hall, L-18511, -

**Sampled By:** Allium Environmental Ltd

**Date sampled/received:** 4th August 2021

**Date analysed:** 7th August 2021

**Analyst/s:** Matt Hurst

**Analysis Location:** 12 The Gardens, Broadcut, Fareham, Hampshire, PO16 8SS

#### ANALYTICAL PROCEDURE

Fibre identification was carried out in accordance with the documented 'in-house' method (2.01) based on the HSE Guidance Note HSG 248. These employed stereo microscopy, polarized microscopy and dispersion staining techniques.

#### RESULTS

Sample No.	Sample Ref.	Location	Asbestos Detected	Asbestos Type
001	BS695486	101 Meeting room. Textured coating.	No	
002	BS695487	Composite. Textured coating.	No	
003	BS695488	001 Hall. Textured coating.	No	
004	BS695489	002 Play room. Textured coating.	No	

#### NOTES:

1. Sample(s) were examined for the presence of 6 types of asbestos fibres: crocidolite (blue), amosite (brown), chrysotile (white), anthophyllite, actinolite and tremolite.
2. The results shown in this report specifically refer to the sample(s) tested as received unless otherwise stated and samples collected by the client are evaluated using information provided by the client. For samples collected by the client the date of receipt is deemed to be the same as the date sampled.
3. Envirochem is a UKAS accredited laboratory for sampling and identification of asbestos containing materials.
4. Comments, observations and opinions are outside the scope of UKAS accreditation.
5. The analytical method in the HSG248 does not quantify the amount of asbestos present, therefore UKAS accreditation does not permit quantification.
6. If, during fibre identification, only 1 or 2 fibres are seen and identified as asbestos, then the term 'trace asbestos identified' is used.
7. This report shall not be reproduced except in full, without written approval of Envirochem.

SIGNATURE:



Authorised signatory

PRINT NAME: Frances Scott

Reg. No. 2378228 England, Registered Office: Envirochem, 12 The Gardens, Broadcut, Fareham, Hampshire, PO16 8SS.

Page 1 of 2





Our Ref: J215043 FI: 5  
Your Ref: L-15811  
Date: 09/08/2021

**ENVIROCHEM**  
Analytical Laboratories Ltd.  
12 The Gardens  
Broadcut, Fareham  
Hampshire  
PO16 8SS



1227  
Tel: (01329) 287777  
Fax: (01329) 287755  
www.envirochem.co.uk  
office@envirochem.co.uk

## Asbestos Fibre Identification Report

**Client:** Allium Environmental Ltd  
Baldhu House, Wheal Jane Earth Science Park, Baldhu, Truro, TR3 6EH  
**Site Address:** Ruan Village Minor Hall, L-18511, -  
**Sampled By:** Allium Environmental Ltd  
**Date sampled/received:** 4th August 2021  
**Date analysed:** 7th August 2021  
**Analyst/s:** Matt Hurst  
**Analysis Location:** 12 The Gardens, Broadcut, Fareham, Hampshire, PO16 8SS

### ANALYTICAL PROCEDURE

Fibre identification was carried out in accordance with the documented 'in-house' method (2.01) based on the HSE Guidance Note HSG 248. These employed stereo microscopy, polarized microscopy and dispersion staining techniques.

### RESULTS

Sample No.	Sample Ref.	Location	Asbestos Detected	Asbestos Type
005	BS695490	006 Snooker room. Fibreboard.	No	

#### NOTES:

1. Sample(s) were examined for the presence of 6 types of asbestos fibres: crocidolite (blue), amosite (brown), chrysotile (white), anthophyllite, actinolite and tremolite.
2. The results shown in this test report specifically refer to the sample(s) tested as received unless otherwise stated and samples collected by the client are evaluated using information provided by the client. For samples collected by the client the date of receipt is deemed to be the same as the date sampled.
3. Envirochem is a UKAS accredited laboratory for sampling and identification of asbestos containing materials.
4. Comments, observations and opinions are outside the scope of UKAS accreditation.
5. The analytical method in the HSG248 does not quantify the amount of asbestos present, therefore UKAS accreditation does not permit quantification.
6. If, during fibre identification, only 1 or 2 fibres are seen and identified as asbestos, then the term 'trace asbestos identified' is used.
7. This report shall not be reproduced except in full, without written approval of Envirochem.

SIGNATURE: 

Authorised signatory

PRINT NAME: Frances Scott

Reg. No. 2378228 England. Registered Office: Envirochem, 12 The Gardens, Broadcut, Fareham, Hampshire, PO16 8SS.

Page 2 of 2



Allium Environmental Ltd.  
Baldhu House, Wheal Jane Earth  
Science Park, Baldhu, Truro TR3 6EH  
Tel: 01872 276375  
Email: [enquiries@allium.uk.net](mailto:enquiries@allium.uk.net) Web: [www.allium.uk.net](http://www.allium.uk.net)



# BULK ANALYSIS TEST REPORT


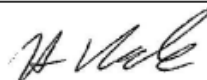
Report Number:	L-18511	Issue No:	1	Date Reported:	09/06/23	Page 1 of 1
Comments:						
Client:	Ruan Minor Village Hall					
Client Address:	Ruan Minor Village Hall, Ruan Minor, Helston, TR12 7JL					
Site Address/Location:	Ruan Minor Village Hall, Ruan Minor, Helston, TR12 7JL					
Date Sampled:	26/05/23	Sampled By:	Bryan Read			
Date Samples Received:	01/06/23	Client Order No.:	Invoice prior	No. of Samples:	1	
Date Analysed:	08/06/23	Analysed by:	Gary Lowe			

Analysis of samples was carried out in accordance with the documented 'in-house' procedures and methods based upon HSE Guidance Document HSG 248 Appendix 2. Comments, opinions and interpretations herein are outside the scope of UKAS accreditation. This report may not be reproduced except in full, without written approval of the laboratory.

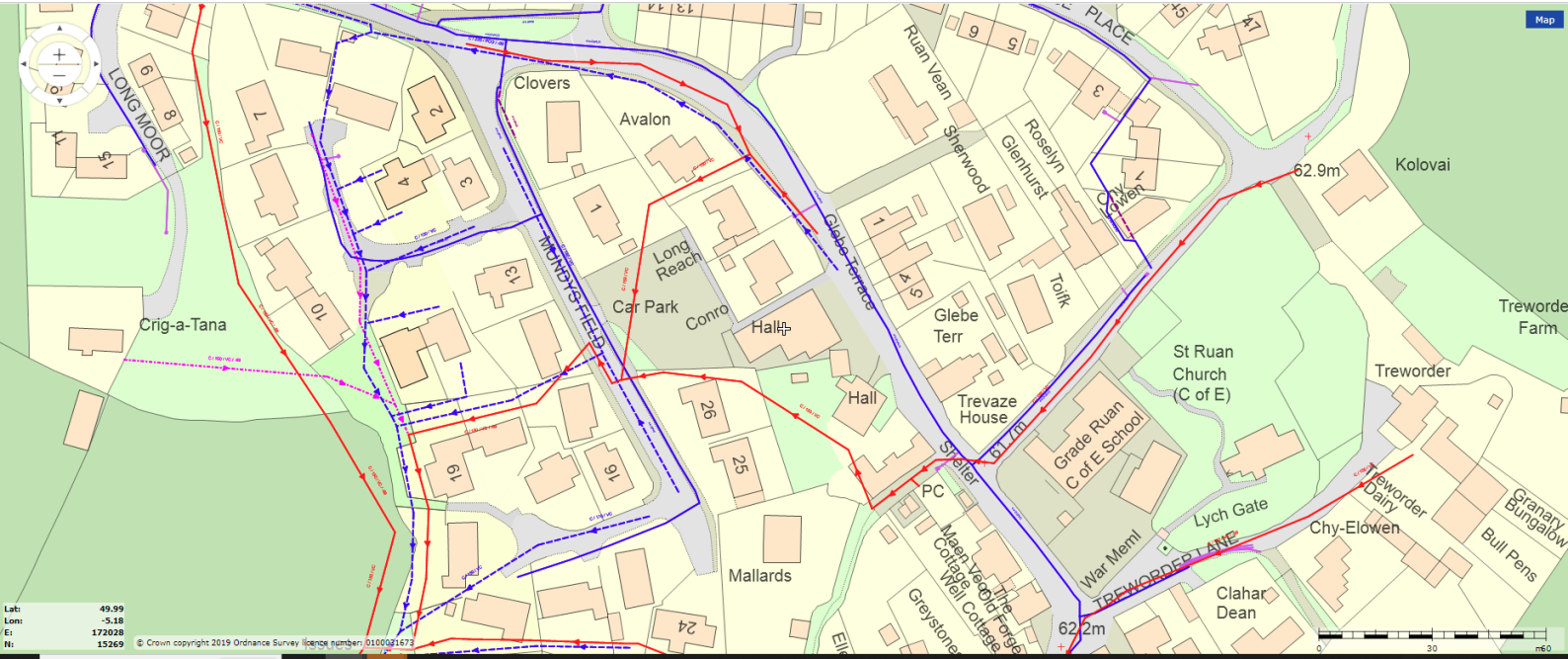
# ANALYSIS RESULTS

Lab Sample Ref. No.	Client Ref.	Sample Type	Sample Details/location/description	Asbestos Type (s)
006		Cement	External, External/Roof - Cement Roof Tiles	Chrysotile

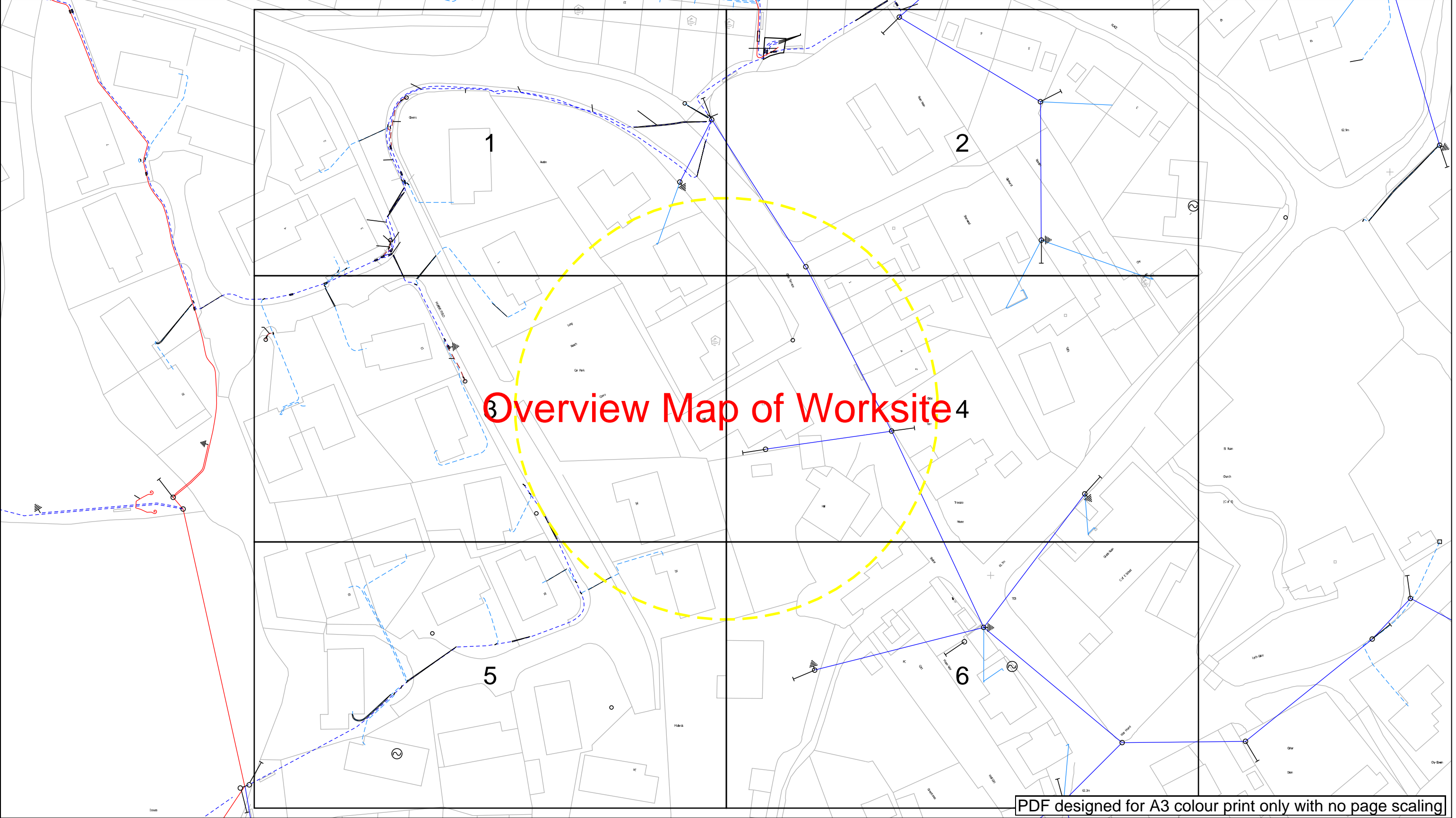
- Materials have been referred to as Asbestos Insulating Board or Asbestos Cement based upon their asbestos content and visual appearance alone.
- Where samples have not been taken by Allium Environmental Ltd the results apply to the sample as received. It can only report analysis results. No responsibility can be taken for any consequences arising from the client's sampling strategy or procedures, for the acts or omissions of others, or the use of these results in subsequent reports.
- Samples marked \$ in this report have been subcontracted to a UKAS accredited laboratory.
- Quantification of the amount of asbestos is not permitted, if 1 or 2 fibres are observed and identified as asbestos, the term 'trace asbestos identified' will be reported.
- Sample(s) were examined for the presence of 6 types of asbestos fibres: Crocidolite (blue), Amosite (brown), Chrysotile (white), Anthophyllite, Actinolite and Tremolite.
- Where samples have been taken by Allium Environmental Ltd this has been to the in-house surveying/sampling procedure AL003, a copy of which is available on request.

Additional Comments:	Analyst:	Gary Lowe
	Analysts Signature:	
	Approved by:	Hadyn Veale
	Authorised Signature:	
E N D O F R E P O R T		





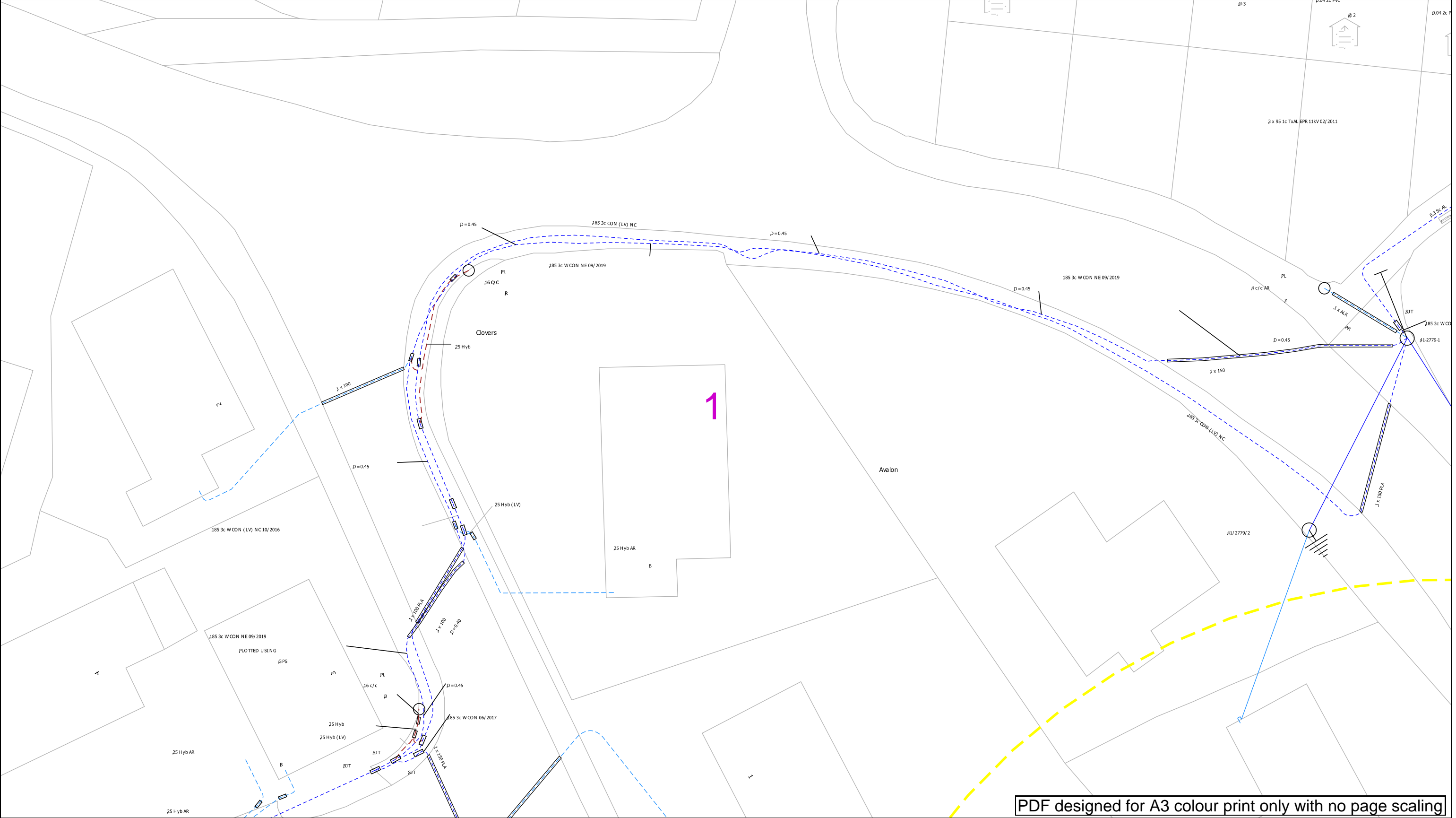
Lat: 49.99  
Lon: -5.18  
E: 172028  
N: 15269



# Overview Map of Worksite 4

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<p><b>Contact Us</b></p> <p>Mapping Enquiries: 0121 623 9780</p> <p>General Enquiries: 0800 096 3080</p> <p>Date Requested: 30/08/2023</p> <p>Job Reference: 30673783</p> <p>Site Location: 171970 015253</p> <p>Requested by:</p> <p>Mr Liam Mainstone</p> <p>Your Scheme/Reference:</p> <p>P230152</p> <p>Scale: 1:769 (When plotted at A3)</p>	<p><b>IMPORTANT NOTICES</b></p> <ul style="list-style-type: none"><li>This information is given as a guide only and its accuracy cannot be guaranteed. Services or recent additions to the network may not be shown.</li><li>Cables, overhead lines &amp; substations owned by other electricity network owners or private companies may be present and may not be shown.</li><li>You should always verify exact locations of cables using a cable locator and by careful use of hand tools in accordance with HSE guidance note HSG47.</li><li>When working within 10m of any overhead electric line you should follow the requirements of HSE Guidance Note GS6.</li><li>For further advice on working near our electricity cables or lines, call our Contact Centre on 0800 096 3080.</li><li>Advice should be sought from the National Grid Electricity Distribution Contact Centre for any work that is to take place in proximity to 66kV or 132kV underground cables and 66kV 132kV overhead lines – 0800 096 3080</li></ul>	<table><tr><td><p><b>Link Box</b></p><p>●</p></td><td><p><b>Overhead Line</b></p><ul style="list-style-type: none"><li>○ PL</li><li>○ Service</li><li>○ LV</li><li>○ HV (11kV)</li><li>○ HV (33kV)</li><li>○ HV (66kV)</li><li>○ HV (132kV)</li></ul></td><td><p><b>Underground Cable</b></p><ul style="list-style-type: none"><li>○ PL</li><li>○ Service</li><li>○ LV</li><li>○ HV (11kV)</li><li>○ HV (33kV)</li><li>○ HV (66kV)</li><li>○ HV (132kV)</li></ul></td><td><p><b>National Grid Telecoms</b></p><ul style="list-style-type: none"><li>○ PME Earth</li><li>○ Underground Earth</li></ul></td><td><p><b>Pilot Cables</b></p><ul style="list-style-type: none"><li>○ Pole Mounted Transformer</li><li>○ Ground Mounted Transformer</li></ul></td></tr></table> <p><b>Report damage immediately</b></p> <p><b>KEEP EVERYONE AWAY FROM THE AREA</b></p> <p><b>0800 6783 105</b></p>	<p><b>Link Box</b></p> <p>●</p>	<p><b>Overhead Line</b></p> <ul style="list-style-type: none"><li>○ PL</li><li>○ Service</li><li>○ LV</li><li>○ HV (11kV)</li><li>○ HV (33kV)</li><li>○ HV (66kV)</li><li>○ HV (132kV)</li></ul>	<p><b>Underground Cable</b></p> <ul style="list-style-type: none"><li>○ PL</li><li>○ Service</li><li>○ LV</li><li>○ HV (11kV)</li><li>○ HV (33kV)</li><li>○ HV (66kV)</li><li>○ HV (132kV)</li></ul>	<p><b>National Grid Telecoms</b></p> <ul style="list-style-type: none"><li>○ PME Earth</li><li>○ Underground Earth</li></ul>	<p><b>Pilot Cables</b></p> <ul style="list-style-type: none"><li>○ Pole Mounted Transformer</li><li>○ Ground Mounted Transformer</li></ul>	<p><b>nationalgrid</b></p> <p><b>Electricity Distribution</b></p> <p>Email: NGED.MapResponse@NationalGrid.co.uk</p>
<p><b>Link Box</b></p> <p>●</p>	<p><b>Overhead Line</b></p> <ul style="list-style-type: none"><li>○ PL</li><li>○ Service</li><li>○ LV</li><li>○ HV (11kV)</li><li>○ HV (33kV)</li><li>○ HV (66kV)</li><li>○ HV (132kV)</li></ul>	<p><b>Underground Cable</b></p> <ul style="list-style-type: none"><li>○ PL</li><li>○ Service</li><li>○ LV</li><li>○ HV (11kV)</li><li>○ HV (33kV)</li><li>○ HV (66kV)</li><li>○ HV (132kV)</li></ul>	<p><b>National Grid Telecoms</b></p> <ul style="list-style-type: none"><li>○ PME Earth</li><li>○ Underground Earth</li></ul>	<p><b>Pilot Cables</b></p> <ul style="list-style-type: none"><li>○ Pole Mounted Transformer</li><li>○ Ground Mounted Transformer</li></ul>				



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**Contact Us**  
  
Mapping Enquiries: 0121 623 9780  
  
General Enquiries: 0800 096 3080

Date Requested: 30/08/2023  
Job Reference: 30673783  
Site Location: 171970 015253  
Requested by:  
Mr Liam Mainstone  
Your Scheme/Reference: P230152

Scale: 1:250 (When plotted at A3)

**IMPORTANT NOTICES**

- This information is given as a guide only and its accuracy cannot be guaranteed. Services or recent additions to the network may not be shown.
- Cables, overhead lines & substations owned by other electricity network owners or private companies may be present and may not be shown.
- You should always verify exact locations of cables using a cable locator and by careful use of hand tools in accordance with HSE guidance note HSG47.
- When working within 10m of any overhead electric line you should follow the requirements of HSE Guidance Note GS6.
- For further advice on working near our electricity cables or lines, call our Contact Centre on 0800 096 3080.
- Advice should be sought from the National Grid Electricity Distribution Contact Centre for any work that is to take place in proximity to 66kV or 132kV underground cables and 66kV 132kV overhead lines – 0800 096 3080

025m

**Link Box**  
●  
**Site Location Line/Area**  
—|—|—|—|

**Overhead Line**

- PL
- Service
- LV
- HV (11kV)
- HV (33kV)
- HV (66kV)
- HV (132kV)

**Underground Cable**

- 
- 
- 
- 
- 
- 
-

**National Grid Telecoms**

- 
-

**Pilot Cables**

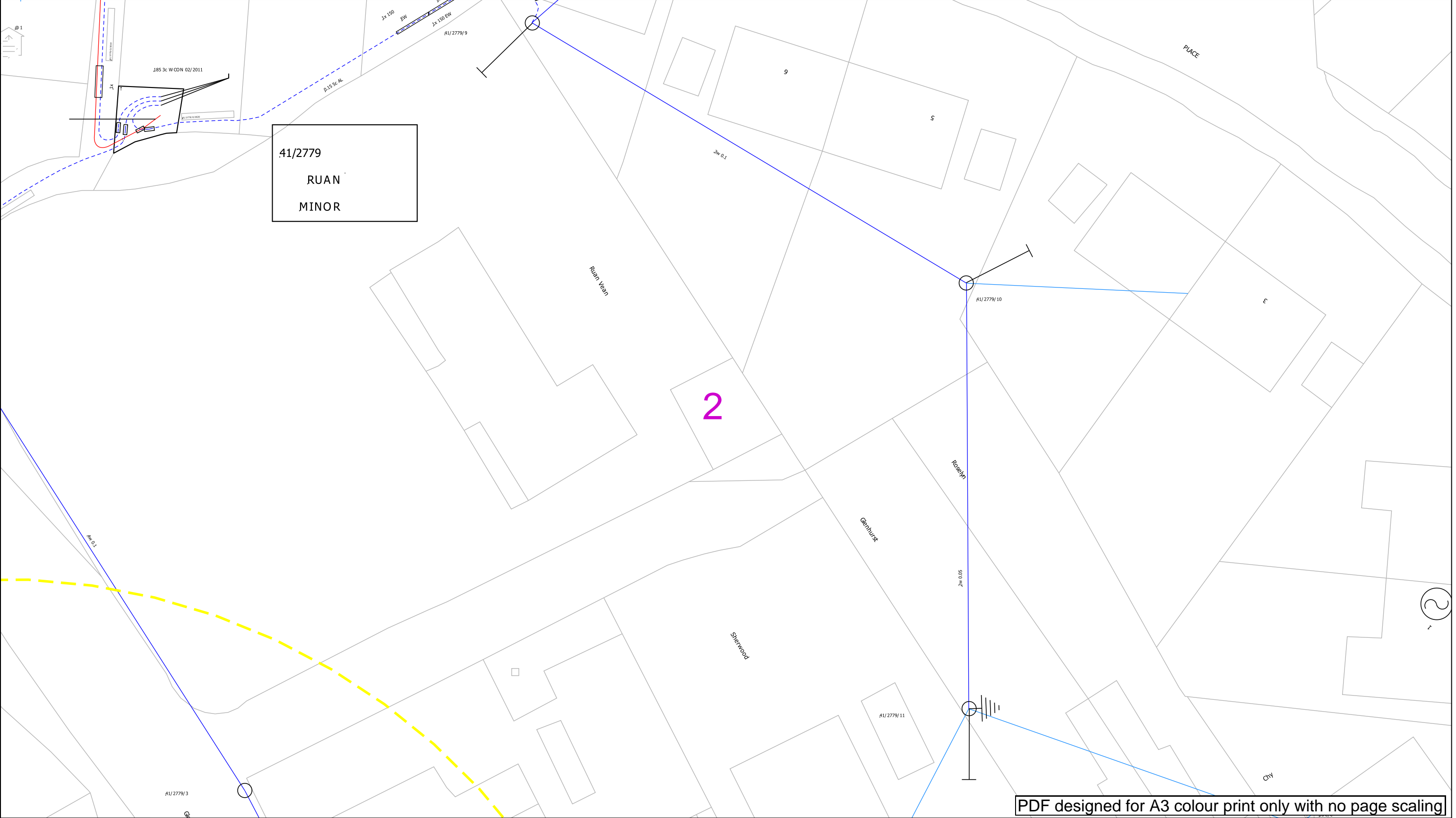
- **Pole Mounted Transformer**
- **Ground Mounted Transformer**

**PME Earth**  
—|—|—|—|

**Underground Earth**  
—|—|—|—|

**Report damage immediately KEEP EVERYONE AWAY FROM THE AREA**  
**0800 6783 105**

Email: NGED.MapResponse@NationalGrid.co.uk



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**Contact Us**

Mapping Enquiries: 0121 623 9780

General Enquiries: 0800 096 3080

Date Requested: 30/08/2023

Job Reference: 30673783

Site Location: 171970 015253

Requested by:  
Mr Liam Mainstone

Your Scheme/Reference: P230152

Scale: 1:250 (When plotted at A3)

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0 25m

**Link Box**

●

**Site Location Line/Area**

— — — — —

**Overhead Line**

- PL
- Service
- LV
- HV (11kV)
- HV (33kV)
- HV (66kV)
- HV (132kV)

**Underground Cable**

- — — — —
- — — — —
- — — — —
- — — — —
- — — — —

**National Grid Telecoms**

- — — — —

**Pilot Cables**

- **Pole Mounted Transformer**
- **Ground Mounted Transformer**

**PME Earth**

— — — — —

**Underground Earth**

— — — — —

**Report damage immediately KEEP EVERYONE AWAY FROM THE AREA**

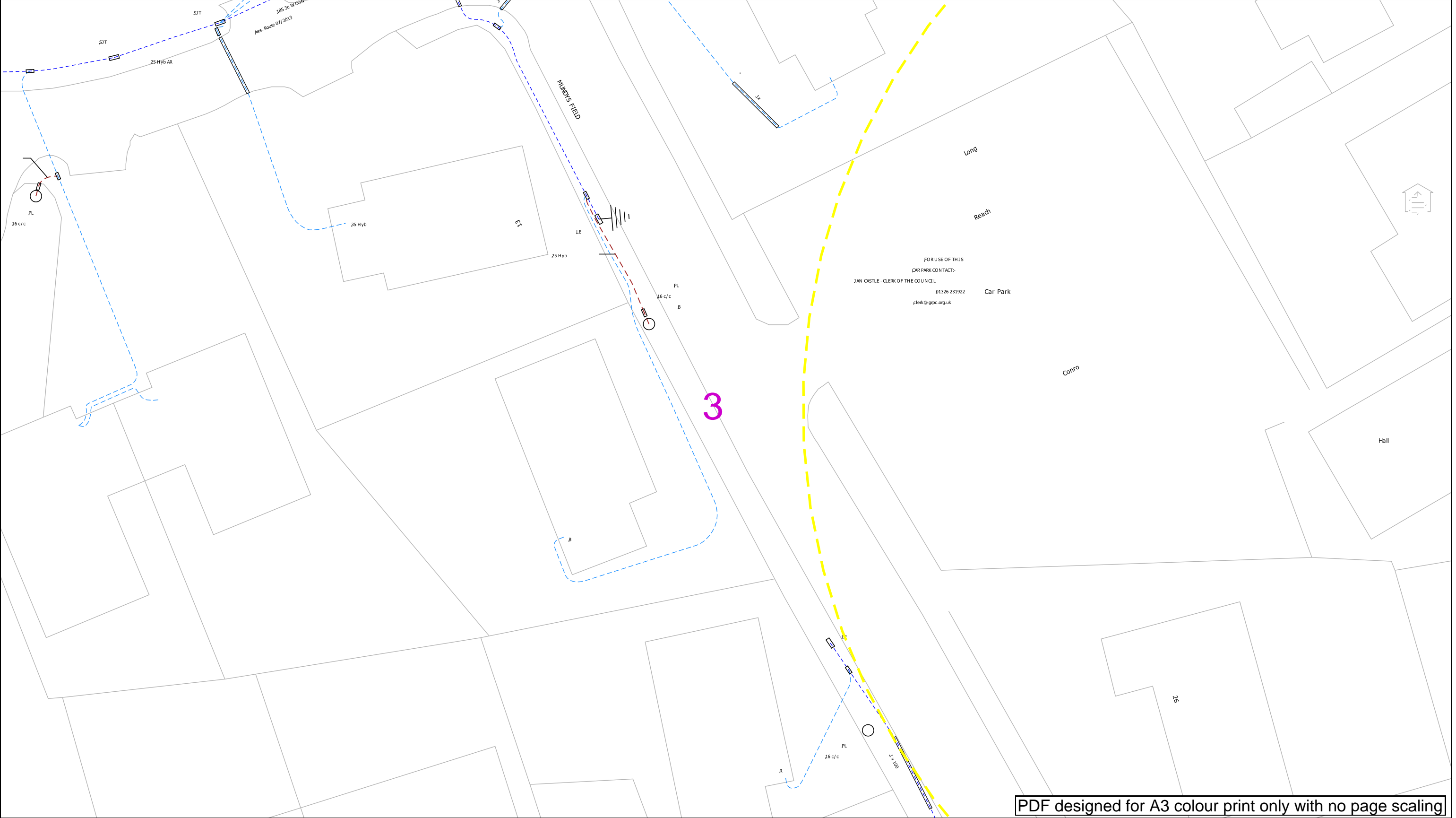
**0800 6783 105**

**nationalgrid**

**Electricity Distribution**

Email: NGED.MapResponse@NationalGrid.co.uk



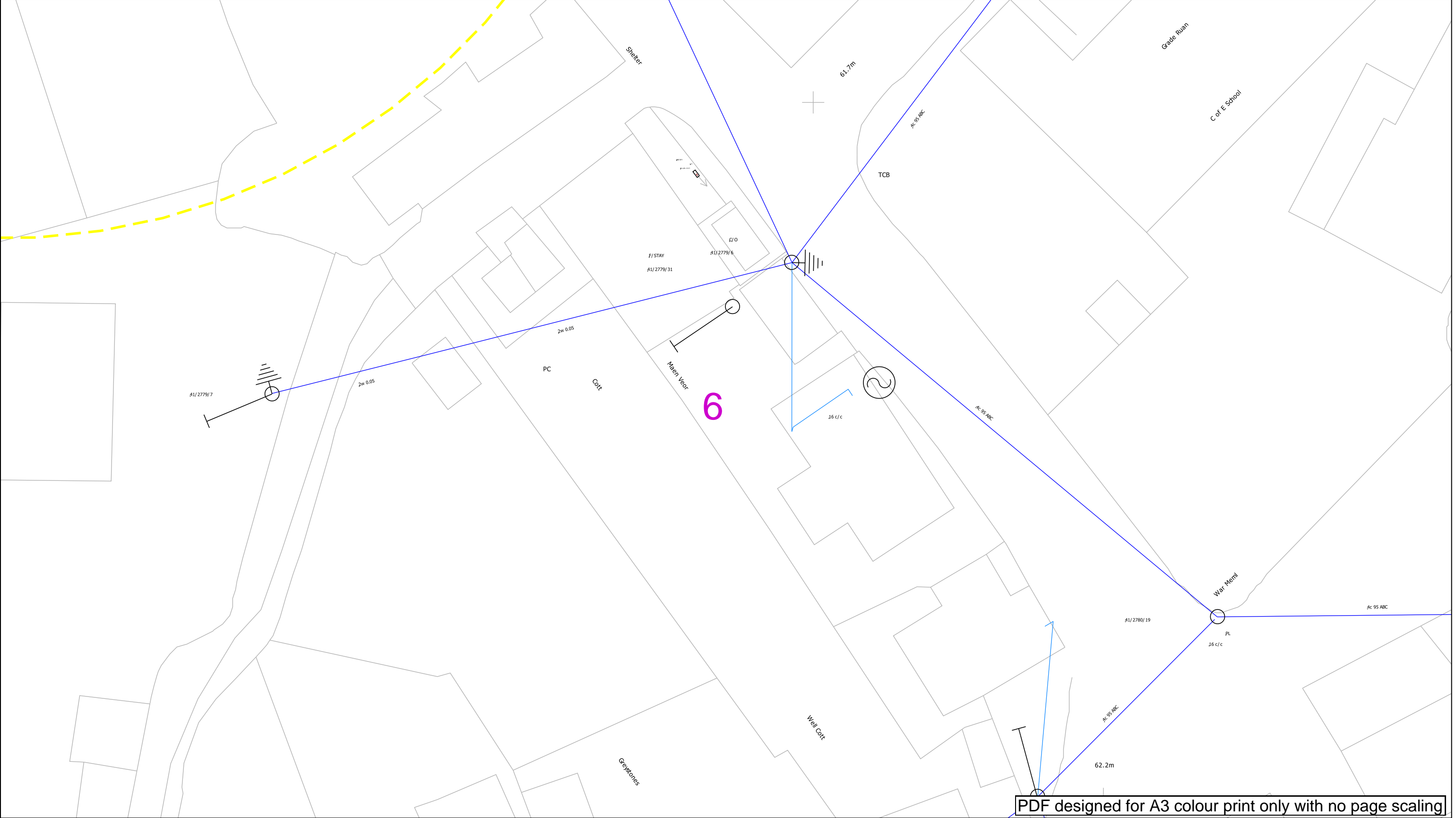


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<p><b>Contact Us</b></p> <p>Mapping Enquiries: 0121 623 9780</p> <p>General Enquiries: 0800 096 3080</p> <p>Date Requested: 30/08/2023</p> <p>Job Reference: 30673783</p> <p>Site Location: 171970 015253</p> <p>Requested by: Mr Liam Mainstone</p> <p>Your Scheme/Reference: P230152</p> <p>Scale: 1:250 (When plotted at A3)</p>	<p><b>IMPORTANT NOTICES</b></p> <ul style="list-style-type: none"><li>This information is given as a guide only and its accuracy cannot be guaranteed. Services or recent additions to the network may not be shown.</li><li>Cables, overhead lines &amp; substations owned by other electricity network owners or private companies may be present and may not be shown.</li><li>You should always verify exact locations of cables using a cable locator and by careful use of hand tools in accordance with HSE guidance note HSG47.</li><li>When working within 10m of any overhead electric line you should follow the requirements of HSE Guidance Note GS6.</li><li>For further advice on working near our electricity cables or lines, call our Contact Centre on 0800 096 3080.</li><li>Advice should be sought from the National Grid Electricity Distribution Contact Centre for any work that is to take place in proximity to 66kV or 132kV underground cables and 66kV 132kV overhead lines – 0800 096 3080</li></ul>	<div><div>025m</div><div><div>Link Box</div><div>Site Location Line/Area</div><div>Overhead Line</div><div>Underground Cable</div><div>National Grid Telecoms</div><div>Pilot Cables</div><div>Pole Mounted Transformer</div><div>Ground Mounted Transformer</div><div>PME Earth</div><div>Underground Earth</div></div><div>Report damage immediately KEEP EVERYONE AWAY FROM THE AREA 0800 6783 105</div></div>	<div><div>nationalgrid</div><div>Electricity Distribution</div></div> <div>Email: NGED.MapResponse@NationalGrid.co.uk</div>
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**Contact Us**

Mapping Enquiries: 0121 623 9780

General Enquiries: 0800 096 3080

Date Requested: 30/08/2023

Job Reference: 30673783

Site Location: 171970 015253

Requested by: Mr Liam Mainstone

Your Scheme/Reference: P230152

Scale: 1:250 (When plotted at A3)

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- Cables, overhead lines & substations owned by other electricity network owners or private companies may be present and may not be shown.
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**Link Box**

**Site Location Line/Area**

**Overhead Line**

**Underground Cable**

**National Grid Telecoms**

**Pilot Cables**

**PL**

**Service**

**LV**

**HV (11kV)**

**HV (33kV)**

**HV (66kV)**

**HV (132kV)**

**PME Earth**

**Underground Earth**

**Pole Mounted Transformer**

**Ground Mounted Transformer**

**Report damage immediately KEEP EVERYONE AWAY FROM THE AREA**

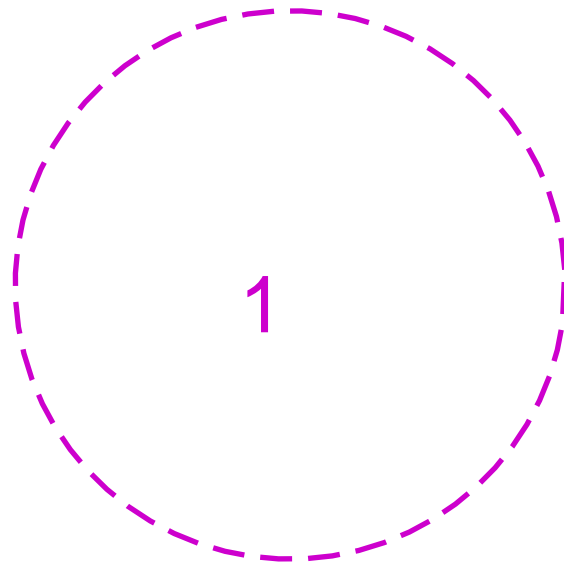
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Contact Us  
Mapping Enquiries: 02920 278 912  
General Enquiries: 0800 912 2999



Date Requested: 30/08/2023  
Job Reference: 30673783  
Site Location: 171970 015253  
Requested by:  
Mr Liam Mainstone  
Your Scheme/Reference: P230152


Scale: 1:1250 (When plotted at A3)

IMPORTANT NOTICES


- This information is given as a guide only and its accuracy cannot be guaranteed
- The plan only shows those pipes owned by Wales & West Utilities (WWU) as its role as a licensed Gas Transporter
- Service pipes, valves, syphons, stub connections etc. may not be shown but their presence should be anticipated
- You must use safe digging practices in accordance with HS(G)47 to establish the actual position of mains, services and other apparatus before any mechanical excavation is used
- It is your responsibility to ensure this information is provided to all persons working near our plant
- If in doubt call the WWU dig team on 02920 278912

Dig Sites


Area:  Line: 




Low Pressure (LP) 21mbar – 75mbar




Medium Pressure (MP) 350mbar – 2bar




Intermediate Pressure (IP) 2bar – 7bar




High Pressure (HP) >7bar







Line/Fire Valve




Governor Station




Change of Diameter




End Cap




Depth of cover







We need 10 days' notice




Smell gas?  
Call the Gas Emergency Service on  
0800 111 999.



Dial  
before you start work.  
Call 029 2027 8912



Investigate  
Before you dig, make sure  
you know what's below.



Go ahead  
Done your research?  
Now you can dig safely.

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