

KEY
Demolitions

Existing Basement Floor Plan 1:50

A1 Sheet Size

NOTES

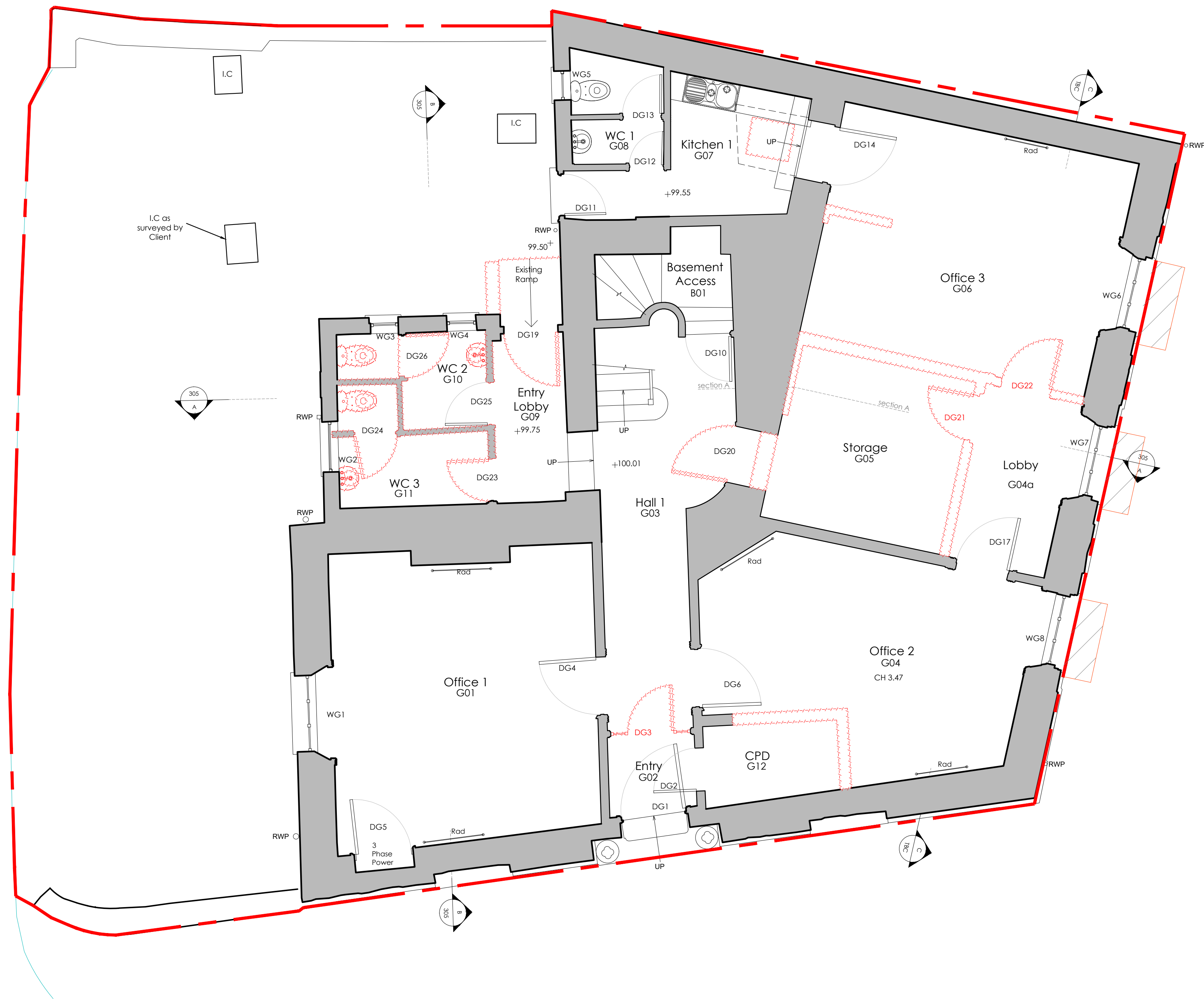
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5. If in doubt ask.

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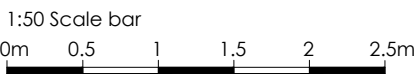
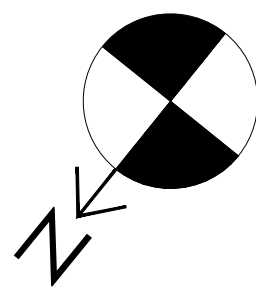
Rev	Date	Notes
A	10.01.2025	Issued for Tender.

BUILDING CONTROL/TENDER			
Status			
Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Existing Basement Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/201	Revision	A
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Existing Ground Floor Plan 1:50



KEY
----- Demolitions

A1 Sheet Size

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Status

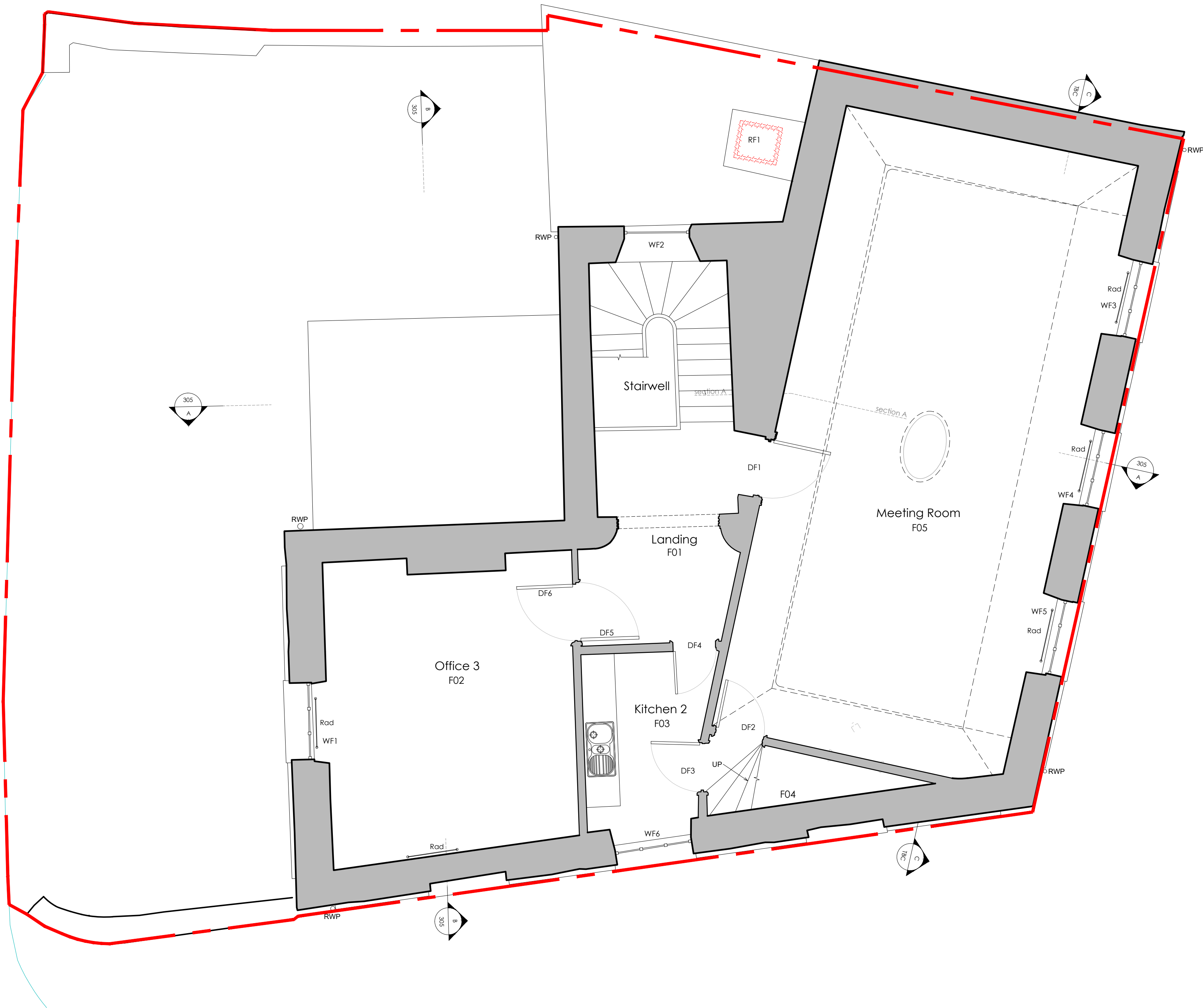
BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Existing Ground Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/202	Revision	A

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KEY
Demolitions

Existing First Floor Plan 1:50

A1 Sheet Size

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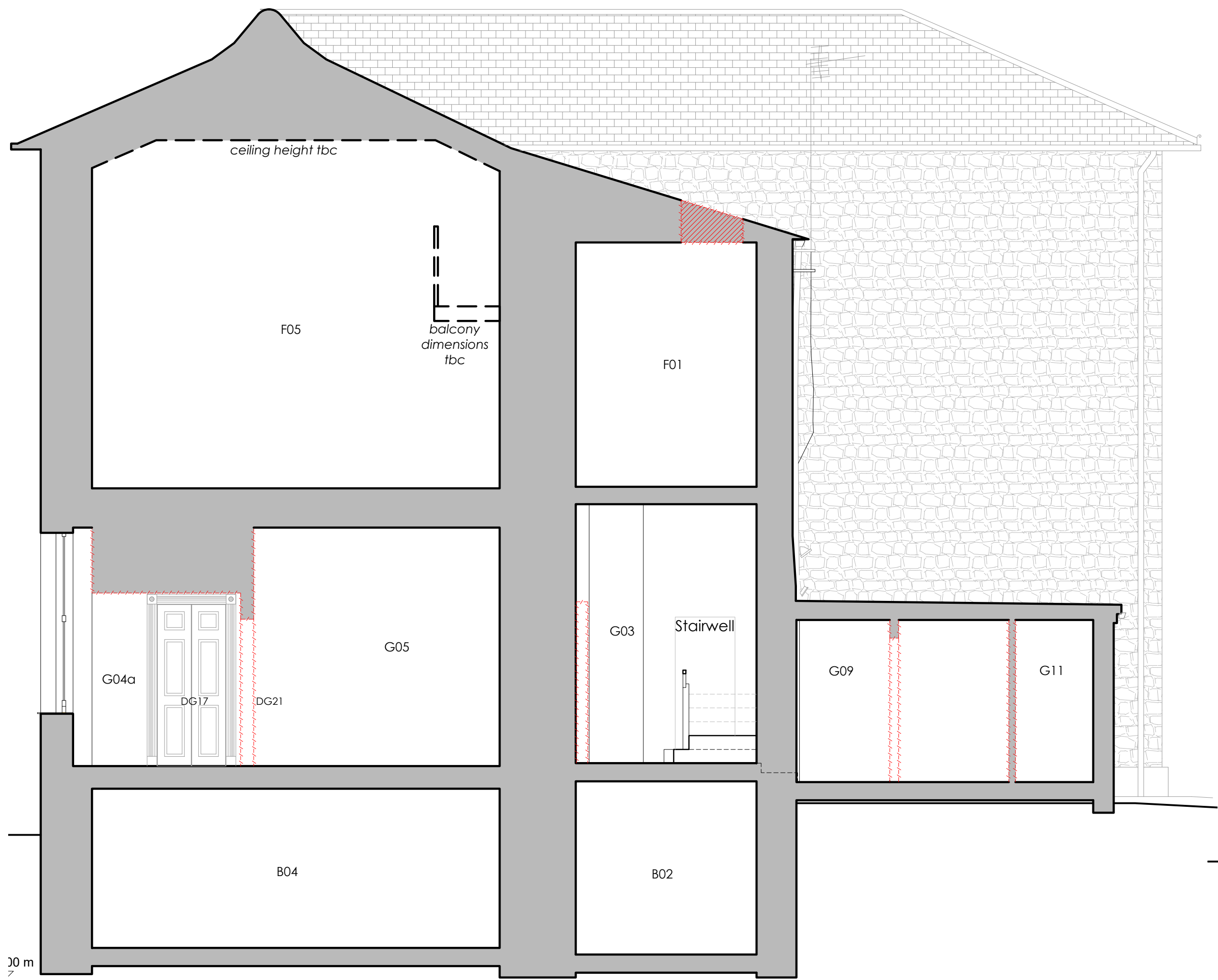
Status

BUILDING CONTROL/TENDER

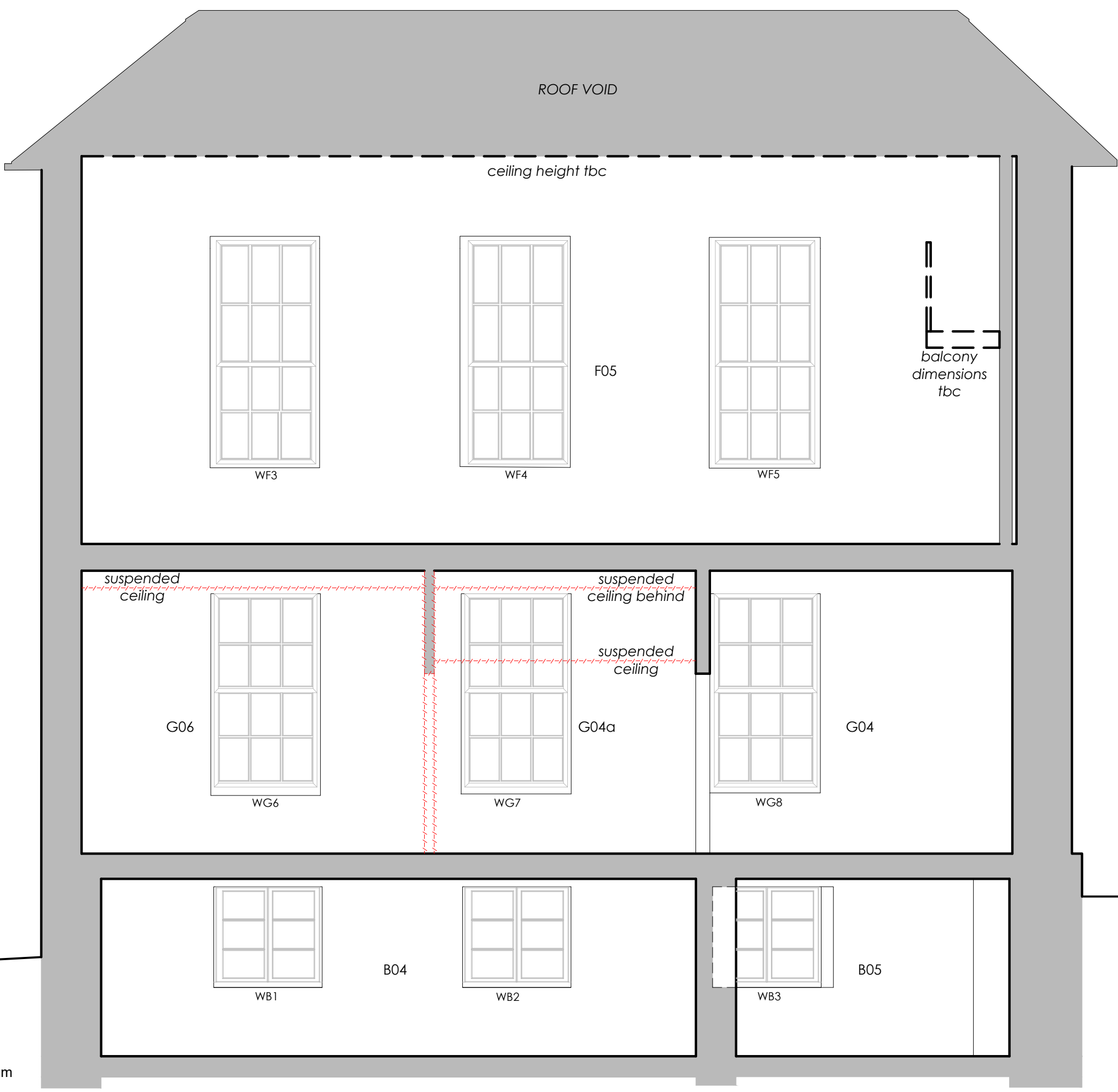
Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Existing First Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	11.10.2024		
Drawing Number	251/203	Revision	A

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T: 01326 567212
E: info@kohaarchitects.com





Existing Section A-A 1:50



Existing Section C-C 1:50



Existing Section B-B 1:50

Proposed Sections 1:50

KEY
Demolitions



A1 Sheet Size

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Rev	Date	Notes
A	10.01.2025	Issued for Tender.

Status

BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Sections Section A-A Section B-B Section C-C		
Scale	1:50 @ A1	Drawn by	AJM
Date	11.10.2024		
Drawing Number	251/205	Revision	A

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Penryn, TR10 9TA, Cornwall

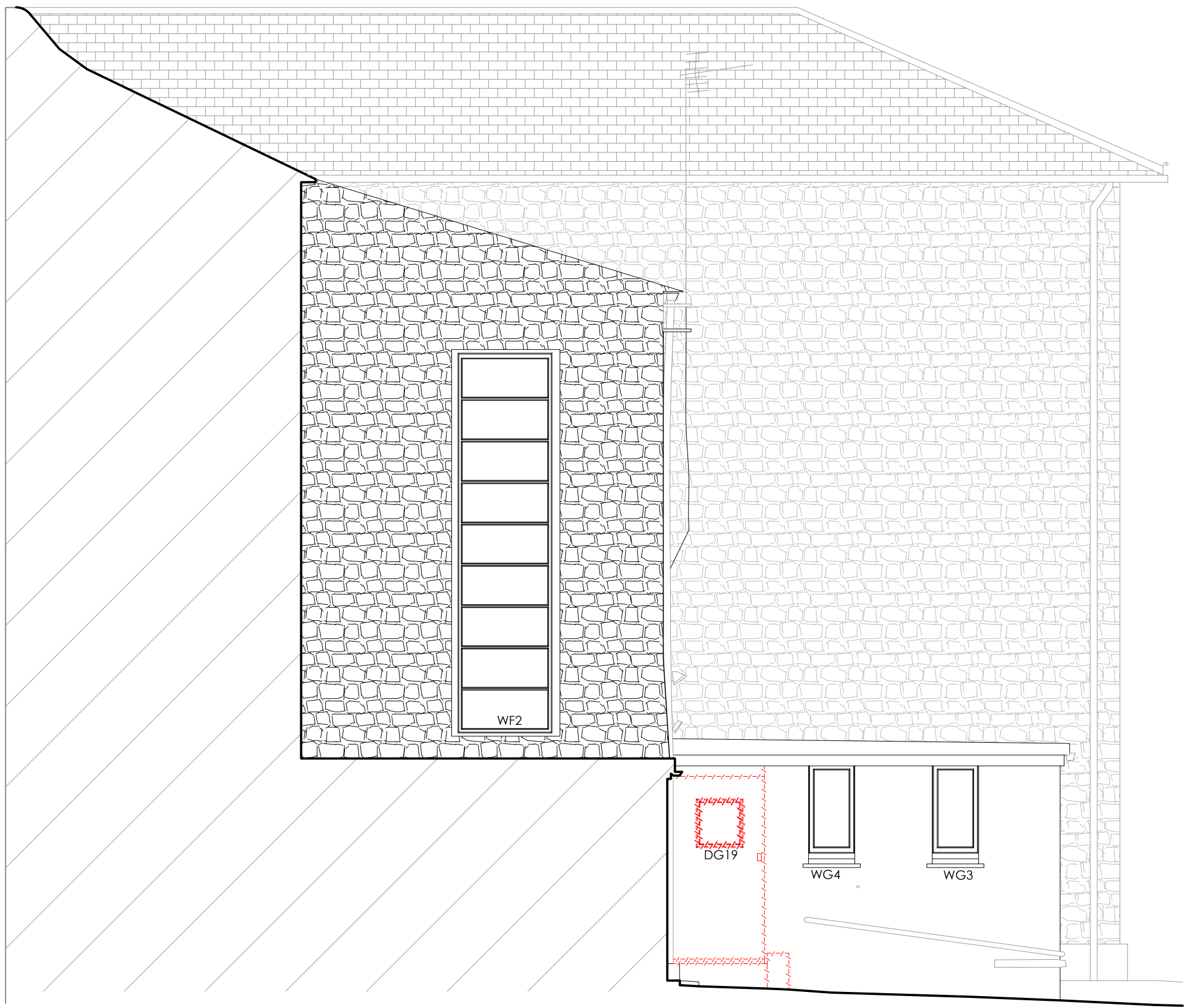
T: 01326 567212
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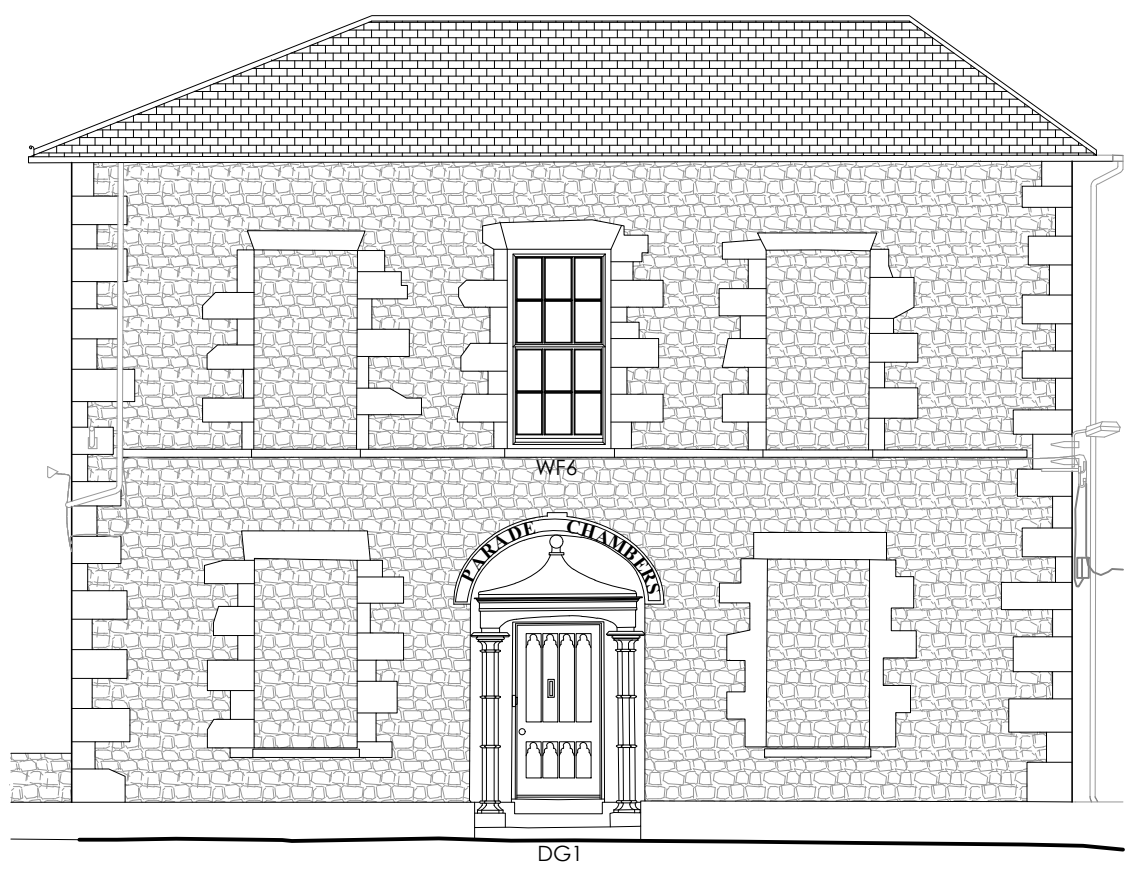
+97.000 m

Existing North East Elevation 1:50



+97.000 m

Existing South East Elevation 1:50



+97.000 m

Existing South West Elevation 1:100



+97.000 m

Existing North West Elevation 1:100

KEY
Demolitions

Proposed Elevations 1:50 / 1:100

A1 Sheet Size

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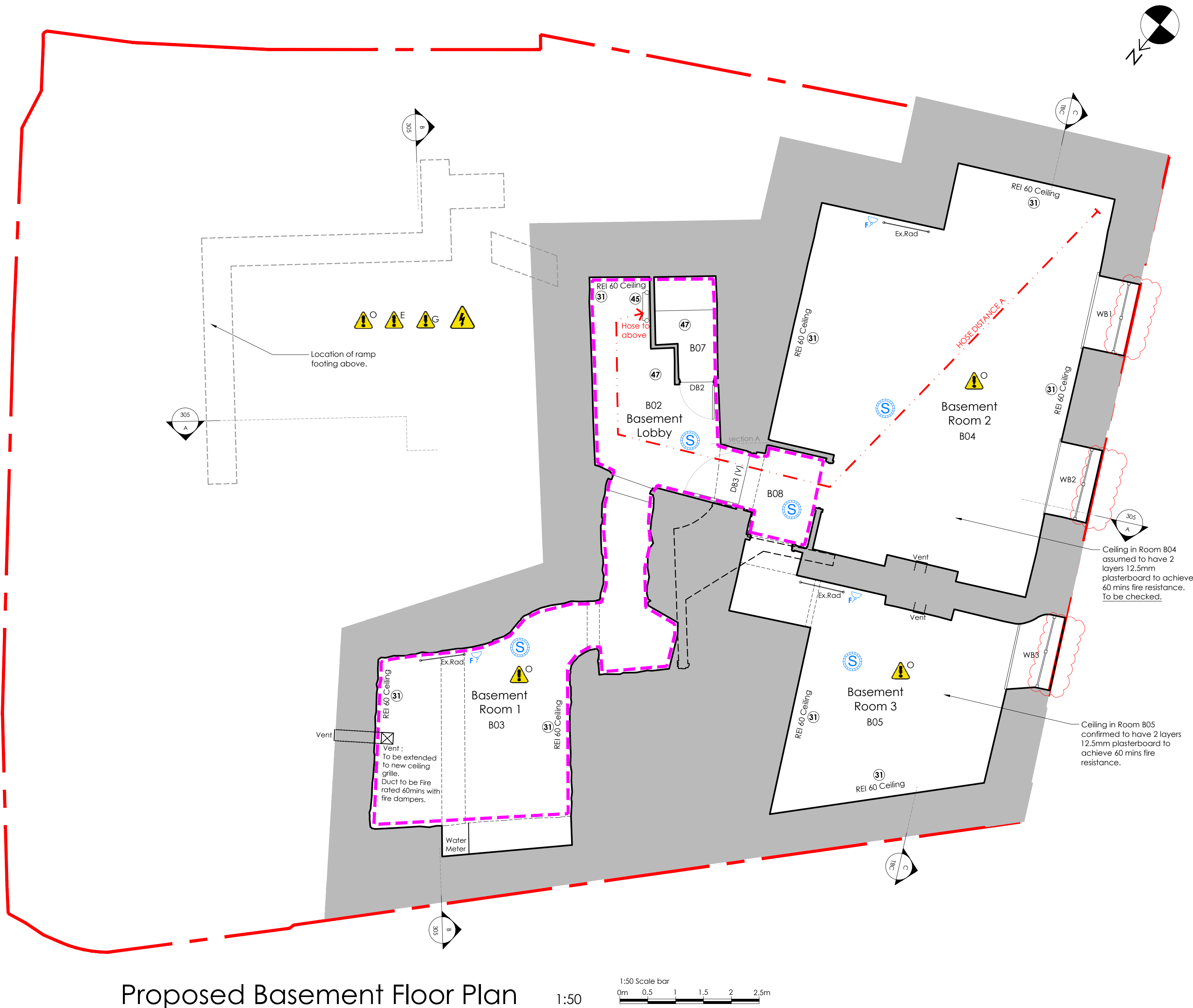
Rev	Date	Notes
A	10.01.2025	Issued for Tender.

Status	BUILDING CONTROL/TENDER
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Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Existing Elevations		
Scale	1:50 / 1:100@ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/210	Revision	A

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Proposed Basement Floor Plan

1:50



SYMBOLS LEGEND	
	Rodding Eye Point
	Inspection Chamber (IC) 450Ø
	Proposed PVCu Surface Water Drain
	Proposed PVCu Foul Drain
	Rainwater down pipe discharging into trapped roddable gully
	Carbon Monoxide Detector
	Heat Detector
	Smoke Detector
	REI 60 Fire Compartment
	REI 30 Fire Compartment
	Secondary Glazing position
	MVHR: Mechanical Ventilation with Heat Recovery; indicative system shown
	FDØ Fire Damper / Acoustic Battell
	CAP Ceiling Access Panel

FIRE ESCAPE STRATEGY KEY	
	Emergency Lighting to BS 5266
	Refuge point - Clear Space min 900x1400mm as per Part B
	Call Point
	Emergency Voice Communication Point
	Fire Escape
	Fire Alarm Control Panel
	Assembly point
	Escape signage to BS 5499 Brass or Brass Effect Backplate
	Fire Alarm
	Fire Extinguisher
	Access points to building
	Fire Door
	FDØ Fire Damper / Acoustic Battell

HOSE DISTANCES FOR FIRE SERVICE	
	A: 28m - Basement to Exit (incl. vertical of 3.7m)
	B: 16.7m - Ground Floor to Exit
	C: 23.9m - First Floor to Exit (incl. vertical of 4.7m)

KEY to NUMBERED NOTES

- Ramp landing with level threshold to Entry Lobby (WBP Structural Grade Ply with waterproof, slip-resistant finish). OR Steel Pre-Fabricated construction.
- New steps with balustrade either side for Ambulant Access. (OR Steel as 1.)
- 1:13 Ramp (WBP Structural Grade Ply with waterproof, slip-resistant finish).
- Half Landing with Hatch for inspecting L.C. below.
- Door to remain, for Escape Purposes only.
- Floor Level raised by 200mm to improve accessibility through building and provide level threshold to exterior ramp. Ceiling height in this area will reduce to 2.03m.
- Spaces to remain as existing.
- New internal ramp over existing steps. 1:12 slope. Existing head height on threshold is 1980mm. See details.
- Install Secondary Glazing. Metal, casement, single glazed with acoustic trickle vents (45dB). ALL TBC
- New Boxing for MVHR ducts. Use 50x50mm studwork with plasterboard lining. See Note 44.
- New Acoustic panel door DG19 in existing opening. (Keep Existing door DG18)
- CPD reduced to provide more space within the Multifunction / Education Room (G04).
- New Electrical and Fire Alarm Panel within reduced CPD Space.
- Floorboards to be temporarily removed to inspect sub-structure.
- Positive pressure fresh air supply required to music rooms.
- Mechanical Extract Fan. Intermittent Rates: WCs - 6 L/S, Kitchens - 60L/S.
- New Archway and Plasterwork coving to match First Floor. Glazed Infill with glazed door.
- Contrasting nosings to existing stairs to comply with Part M.
- Signage added to door to state 'Maintenance Access to Basement Only. Take care when opening door due to Staircase' - Contrasting nosings to basement stairs required as 18. above.
- Existing carpet floor finish to be removed, sand and seal existing pitch-pine floor boards with oil/ 2 coat polyurethane. All timber floors and structure to be checked for wood boring beetle and rot by specialist.
- Install Downstand to S.E Design for later installation of folding partition.
- New Conservation style Smoke Vent Rooflight. Electrically operated and linked to fire alarm.
- Allow for new lighting to rooms G04, G04a, G06 and Hall 2.
- New marmoleum floor to WCs. New Heavy Duty Carpet to Entry Lobby.
- Two way Door arrangement between spaces G03 and G04.
- ACC WC to be laid out according to DOC M.
- Rendered block wall (with drainage holes) with painted hardwood timber handrail fixed with S.S. wall brackets.
- Painted hardwood timber handrail.
- Polyester Powder Coated (PPC) and Pre-Galvanised metal Balustrade.
- New Door, Secure by Design. Structural Engineer to inspect head of door for intel changes.
- Upgrade ceiling to FR 60 minutes with 2 No. Layer 15mm fireline plasterboard. (Check existing) - see Details.
- Inspect existing and upgrade walls to REI 60 Fire Resistance, use **Envirograf Product 105** Paint or similar approved
- New MVHR System (Mechanical Ventilation with Heat Recovery) by specialist supplier and installer.
- Install new REI 30 minute Fire Resistant suspended ceiling for MVHR system. See Details.
- Upgrade Lath and Plaster Ceiling to FR 60 using use **Envirograf Product 105** Paint or similar approved
- New sign on door to say 'Maintenance access only - Keep Locked'.
- Existing Door refurbished and upgraded to FD30s.
- Existing Door refurbished and upgraded to FD30s.
- Wall to be inspected for loose / broken tiles and loose flashings and repaired.
- Interior Lining to be retained. (Potential strip out and make good TBC).
- Existing secondary glazing retained.
- Make good floor under removed wall.
- Remove Existing Suspended Ceiling. make good ceiling / walls and repair cornices.
- Install new Ceramic Core Radiator - refer to Schedule of Works.
- Acoustic Insulation (50-100mm) around MVHR Ducts.
- New Maintenance Access Ladder. Metal
- New Metal Access Gate 1100mm High.
- WC and Sinks removed and Services to be capped off.
- Wall painted with fire resistant paint suitable for lath+plaster, such as **Envirograf product 105** or similar approved.
- Existing door refurbished and re-hung.
- Install 300mm Rockwool Insulation above ceiling (or similar approved)
- Install 120mm Rockwool Insulation between floor joists (see detail)
- Install 80mm foil backed insulation between roof joists (see detail)
- Install 25mm foil backed rigid insulation directly to wall (see detail)
- New 140mm Stud wall infill with full fill Rockwool Insulation and Vapour control layer internally.
- Remove rooflight and seal with B-ROOF T4 fire rated roofing upstand.
- Install 2 No. layers of 15mm Fireline Plasterboard around steelwork.

CDM & HEALTH & SAFETY NOTES.

Contractor to provide temporary protection to minimize risk of falling.	
No fires are permitted on site.	
If asbestos is discovered on site. ALL WORKS MUST STOP until it has been removed by an approved specialist sub-contractor. 1. Suspected asbestos containing material (ACM) to existing gutter.	
Weather tightness to be maintained by Contractor following the formation of new openings/ and windows and door replacement/repairs.	
PPE must be worn at all times. All equipment MUST BE sanitised before use. Provided and maintained by Contractor. A First Aid trained person must be on site at all times.	
Refer to S.E. drawings regarding hazards. Contractor to provide method statements where requested.	
Caution when handling heavy materials such as steel beams and concrete blocks.	
All scaffolding to comply with BS5876-2008 and BS EN12811-1-2003.	
Care to be taken when working from height. Allow for guardrails and all gangways to be clear at ALL TIMES to avoid tripping. Care to be taken when walking underneath somebody working.	
Contractor to provide temporary weather protection during removal of roof structure.	
Contractor to identify and isolate existing services and disconnect in accordance with work program as works proceed.	
Contractor must be aware and reduce the risks associated with the public road and buildings adjacent.	
Contractor must be aware and reduce the risks associated to working below and around Overhead Power Cables.	
Due care and attention to be given during all demolitions.	
Refer to the Bat & Bird Assessment and Bat Emergence Survey report provided by Plan For Ecology for suggested enhancements. If a Bat is discovered, all works on site MUST STOP until a qualified ecologist has been to site to remove and relocate the bat.	
Care to be taken when working adjacent to overhead power cables.	
Allow for temporary protection of existing manhole covers.	

A1 Sheet Size

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B	12.02.2025	Revisions for BC Plan Check (Clouded).

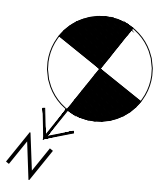
STATUS BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Basement Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/301	Revision	B

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E: info@kohaarchitects.com





KEY to NUMBERED NOTES

- Ramp landing with level threshold to Entry Lobby (WBP Structural Grade Ply with waterproof, slip-resistant finish). OR Steel Pre-Fabricated construction.
- New steps with balustrade either side for Ambulant Access. (OR Steel as 1.)
- 1:13 Ramp (WBP Structural Grade Ply with waterproof, slip-resistant finish).
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- Spaces to remain as existing.
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- Install Secondary Glazing. Metal, casement, single glazed with acoustic trickle vents (45dB). ALL TBC
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- New Electrical and Fire Alarm Panel within reduced CPD Space.
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- Positive pressure fresh air supply required to music rooms.
- Mechanical Extract Fan. Intermittent Rates: WCs - 6 L/S. Kitchens - 60 L/S.
- New Archway and Plasterwork coving to match First Floor. Glazed Infill with glazed door.
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- Install Downstand to S.E Design for later installation of folding partition.
- New Conservation style Smoke Vent Rooflight. Electrically operated and linked to fire alarm.
- Allow for new lighting to rooms G04, G04a, G06 and Hall 2.
- New marmoleum floor to WC's. New Heavy Duty Carpet to Entry Lobby.
- Two way Door arrangement between spaces G03 and G04.
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- Painted hardwood timber handrail.
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- New Door, Secure by Design. Structural Engineer to inspect head of door for lintel changes.
- Upgrade ceiling to FR 60 minute with 2 No. Layer 15mm fireline plasterboard. (Check existing) - see Details.
- Inspect existing and upgrade walls to REI 60 Fire Resistance. use **Envirograf Product 105** Paint or similar approved
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- Install new REI 30 minute Fire Resistant suspended ceiling for MVHR system. See Details.
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- Install new Ceramic Core Radiator - refer to Schedule of Works.
- Acoustic Insulation (50-100mm) around MVHR Ducts.
- New Maintenance Access Ladder, Metal
- New Metal Access Gate 1100mm High.
- WC and Sinks removed and Services to be capped off.
- Wall painted with fire resistant paint suitable for lath+plaster, such as **Envirograf product 105** or similar approved.
- Existing door refurbished and re-hung.
- Install 300mm Rockwool Insulation above ceiling (or similar approved)
- Install 120mm Rockwool Insulation between floor joists (see detail)
- Install 80mm foil backed insulation between roof joists (see detail)
- Install 25mm foil backed rigid insulation directly to wall (see detail)
- New 140mm Stud wall infill with full fill Rockwool Insulation and Vapour control layer internally.
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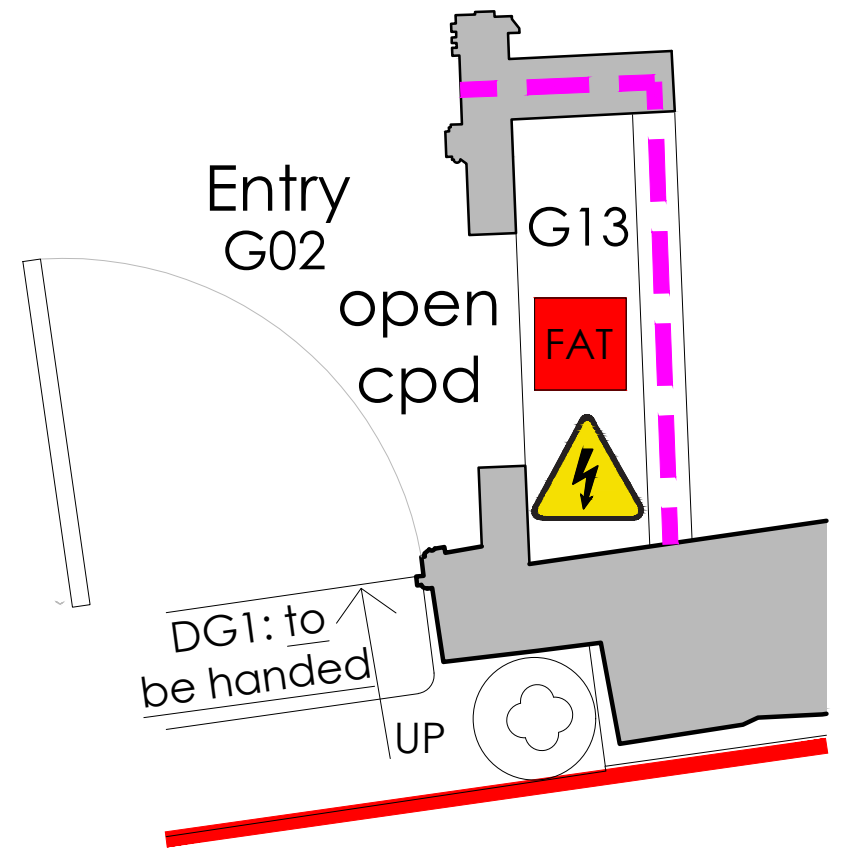
FIRE ESCAPE STRATEGY KEY	
	Emergency Lighting to BS 5266
	Refuge point - Clear Space min 900x1400mm as per Part B.
	Call Point
	Emergency Voice Communication Point
	Fire Escape
	Fire Alarm Control Panel
	Assembly point
	Escape signage to BS 5499 Brass or Brass Effect Backplate
	Fire Alarm
	Fire Extinguisher
	Access points to building
	Fire Door
	Fire Damper / Acoustic Baffle

HOSE DISTANCES FOR FIRE SERVICE	
	A : 28m - Basement to Exit (incl. vertical of 3.7m)
	B : 16.7m - Ground Floor to Exit
	C : 23.9m - First Floor to Exit (incl. vertical of 4.7m)

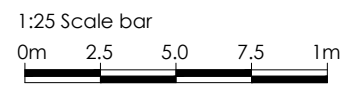
SYMBOLS LEGEND	
	Roading Eye Point
	Inspection Chamber (IC) 450ø
	Proposed PVCu Surface Water Drain
	Proposed PVCu Foul Drain
	Rainwater down pipe discharging into trapped roddable gully
	Carbon Monoxide Detector
	Heat Detector
	Smoke Detector
	REI 60 Fire Compartment
	REI 30 Fire Compartment
	Secondary Glazing position
	MVHR : Mechanical Ventilation with Heat Recovery, indicative system shown
	Fire Damper / Acoustic Baffle
	Ceiling Access Panel



Proposed Ground Floor Plan



Plan excerpt showing Open Cpd G13 at F.F.L+1200mm



A1 Sheet Size

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BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Ground Floor Plan		
Scale	1:25 & 1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/302	Revision	B

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Tremough Innovation Centre Penryn, TR10 9TA, Cornwall
T: 01326 567212
E: info@kohaarchitects.com





Proposed First Floor Plan

1:50
0m 0.5 1 1.5 2 2.5m

SYMBOLS LEGEND	
	Rodding Eye Point
	Inspection Chamber (IC) 450ø
	Proposed PVCu Surface Water Drain
	Proposed PVCu Foul Drain
	Rainwater down pipe discharging into trapped roddable gully
	Carbon Monoxide Detector
	Heat Detector
	Smoke Detector
	REI 60 Fire Compartment
	REI 30 Fire Compartment
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 - New Conservation style Smoke Vent Rooflight. Electrically operated and linked to fire alarm.
 - Allow for new lighting to rooms G04, G04a, G06 and Hall 2.
 - New marmoleum floor to WCs. New Heavy Duty Carpet to Entry Lobby.
 - Two way Door arrangement between spaces G03 and G04.
 - ACC WC to be laid out according to DOC M.
 - Rendered block wall (with drainage holes) with painted hardwood timber handrail fixed with S.S. wall brackets.
 - Painted hardwood timber handrail.
 - Polyester Powder Coated (PPC) and Pre-Galvanised metal Balustrade.
 - New Door, Secure by Design. Structural Engineer to inspect head of door for lintel changes.
 - Upgrade ceiling to FR 60 minute with 2 No. Layer 15mm fireline plasterboard. (Check existing) - see Details.
 - Inspect existing and upgrade walls to REI 60 Fire Resistance, use 'Envirograt Product 105' Paint or similar approved
 - New MVHR System (Mechanical Ventilation with Heat Recovery) by specialist supplier and installer.
 - Install new REI 30 minute Fire Resistant suspended ceiling for MVHR system. See Details.
 - Upgrade Lath and Plaster Ceiling to FR 60 using use 'Envirograt Product 105' Paint or similar approved
 - New sign on door to say 'Maintenance access only - Keep Locked'.
 - Existing Door refurbished and upgraded to FD30s.
 - Wall to be inspected for lose / broken tiles and loose flashings and repaired.
 - Interior Lining to be retained. (Potential strip out and make good TBC).
 - Existing secondary glazing retained.
 - Make good floor under removed wall.
 - Remove Existing Suspended Ceiling, make good ceiling / walls and repair cornices.
 - Install new Ceramic Core Radiator - refer to Schedule of Works.
 - Acoustic Insulation (50-100mm) around MVHR Ducts.
 - New Maintenance Access Ladder. Metal
 - New Metal Access Gate 1100mm High.
 - WC and Sinks removed and Services to be capped off.
 - Wall painted with fire resistant paint suitable for lath+plaster, such as 'Envirograt product 105' or similar approved.
 - Existing door refurbished and re-hung.
 - Install 300mm Rockwool Insulation above ceiling (or similar approved)
 - Install 120mm Rockwool Insulation between floor joists (see detail)
 - Install 80mm foil backed insulation between roof joists (see detail)
 - Install 25mm foil backed rigid insulation directly to wall (see detail)
 - New 140mm Stud wall infill with full fill Rockwool insulation and Vapour control layer internally.
 - Remove rooflight and seal with BRoof T4 fire rated roofing upstand.
 - Install 2 No. layers of 15mm Fireline Plasterboard around steelwork.

CDM & HEALTH & SAFETY NOTES.

Contractor to provide temporary protection to minimize risk of falling.	
No fires are permitted on site.	
If asbestos is discovered on site, ALL WORKS MUST STOP until it has been removed by an approved specialist sub-contractor. 1. Suspected asbestos containing material (ACM) to existing gutter.	
Weather tightness to be maintained by Contractor following the formation of new openings/ and windows and door replacement/repairs.	
PPE must be worn at all times. All equipment MUST BE sanitised before use. Provided and maintained by Contractor. A First Aid trained person must be on site at all times.	
Refer to S.E. drawings regarding hazards. Contractor to provide method statements where requested.	
Caution when handling heavy materials such as steel beams and concrete blocks.	
All scaffolding to comply with BS5876-2008 and BS EN12811-1-2003.	
Care to be taken when working from height. Allow for guardings and all gangways to be clear at ALL TIMES to avoid tripping. Care to be taken when walking underneath somebody working.	
Contractor to provide temporary weather protection during removal of roof structure.	
Contractor to identify and isolate existing services and disconnect in accordance with work program as works proceed.	
Contractor must be aware and reduce the risks associated with the public road and buildings adjacent.	
Contractor must be aware and reduce the risks associated to working below and around Overhead Power Cables.	
Due care and attention to be given during all demolitions.	
Refer to the Bat & Bird Assessment and Bat Emergence Survey report provided by Plan For Ecology for suggested enhancements. If a Bat is discovered, all works on site MUST STOP until a qualified ecologist has been to site to remove and relocate the bat.	
Care to be taken when working adjacent to overhead power cables.	
Allow for temporary protection of existing manhole covers.	

A1 Sheet Size

NOTES		
1.	All dimensions and levels are to be checked on site by the Main Contractor before work commences.	
2.	The Architect is to be informed immediately of any discrepancies.	
3.	Do not scale this drawing for Construction purposes, use written dimensions only.	
4.	Larger scale drawings are to be used over smaller scale drawings.	
5.	All dimensions are in millimetres unless otherwise stated.	
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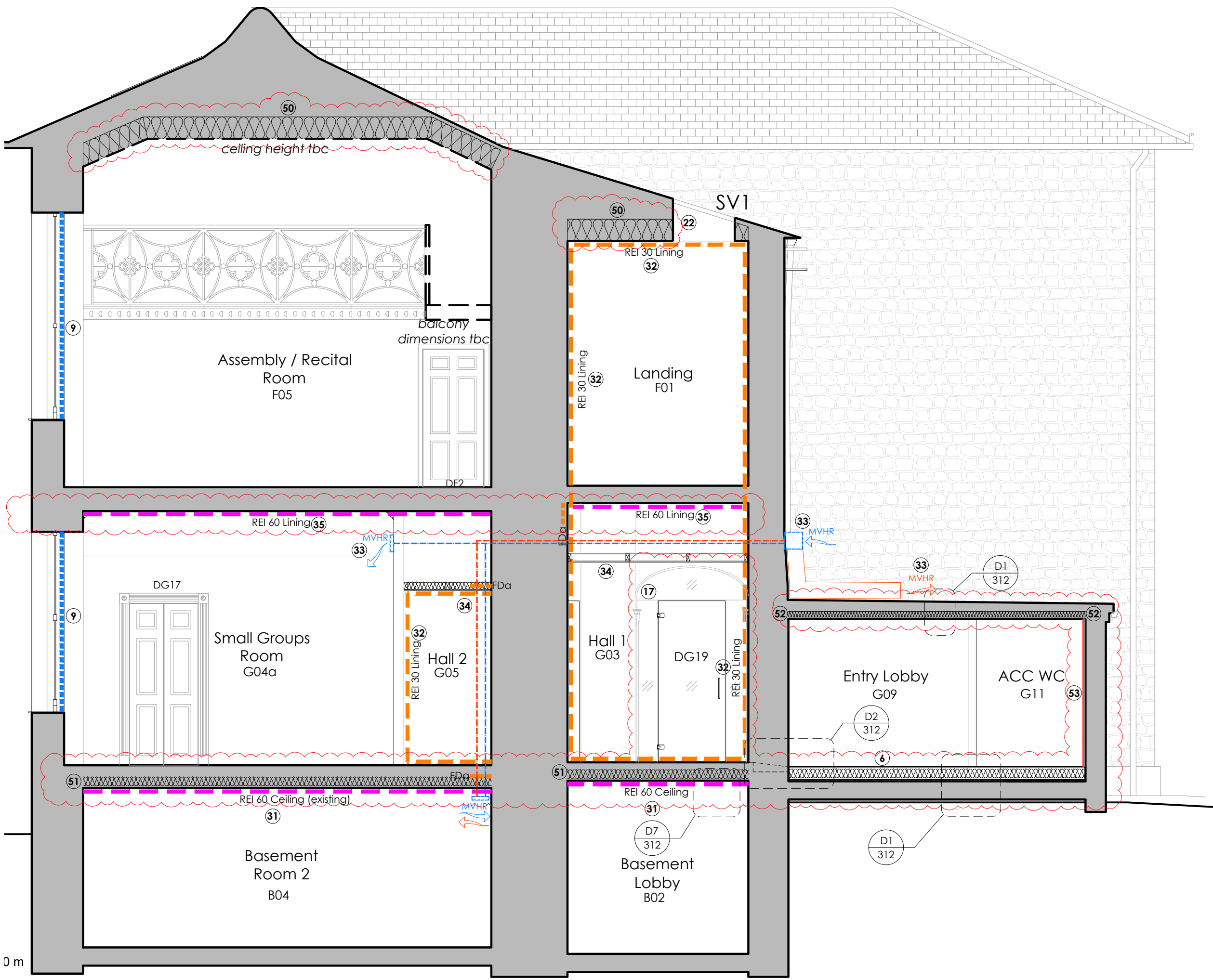
Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Revisions for BC Plan Check (Clouded).

BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed First Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/303	Revision	B

Koha Architects Limited	
Tremough Innovation Centre Penryn, TR10 9TA, Cornwall	T: 01326 567212 E: info@kohaarchitects.com



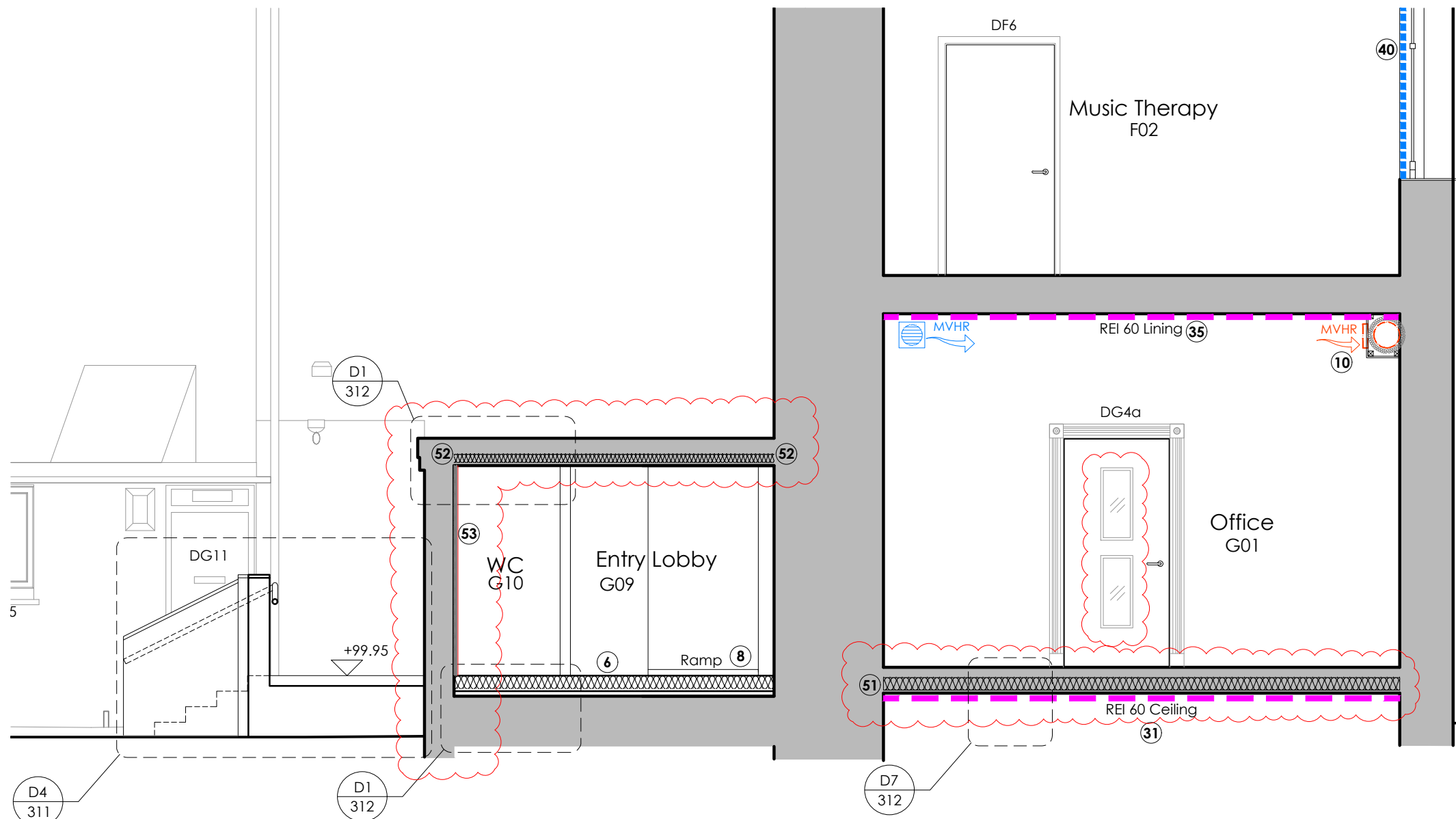


Proposed Section A-A 1:50

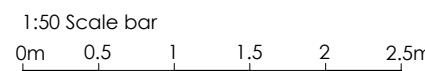
KEY TO NUMBERED NOTES

1. Ramp landing with level threshold to Entry Lobby (WBP Structural Grade Ply with waterproof, slip-resistant finish). OR Steel Pre-Fabricated construction.
2. New steps with balustrade either side for Ambulant Access. (OR Steel as 1.)
3. 1:1.3 Ramp (WBP Structural Grade Ply with waterproof, slip-resistant finish).
4. Half Landing with Hatch for inspecting I.C. below.
5. Door to remain, for Escape Purposes only.
6. Floor Level raised by 200mm to improve accessibility through building and provide level threshold to exterior ramp. Ceiling height in this area will reduce to 2.03m.
7. Spaces to remain as existing.
8. New internal ramp over existing steps. 1:12 slope. Existing head height on threshold is 1980mm. See details.
9. Install Secondary Glazing. Metal casement, single glazed with acoustic trickle vents (45dB). ALL TBC
10. New Boxing for MVHR ducts. Use 50x50mm studwork with plasterboard lining. See Note 44.
11. New Acoustic panel door DG19 in existing opening. (Keep Existing door DG18)
12. CPD reduced to provide more space within the Multifunction / Education Room (G04).
13. New Electrical and Fire Alarm Panel within reduced CPD Space.
14. Floorboards to be temporarily removed to inspect sub-structure.
15. Positive pressure fresh air supply required to music rooms.
16. Mechanical Extract Fan. Intermitent Rates: WCs - 6 L/S, Kitchens - 60L/S.
17. New Archway and Plasterwork coving to match First Floor. Glazed infill with glazed door.
18. Contrasting nosings to existing stairs to comply with Part M.
19. Signage added to door to state 'Maintenance Access to Basement Only. Take care when opening door due to Staircase! Contrasting nosings required as 18. above.
20. Existing carpet floor finish to be removed, sand and seal existing pitch-pine floor boards with oil/ 2 coat polyurethane. All timber floors and structure to be checked for wood boring beetle and rot by specialist.
21. Install Downstand to S.E Design for later installation of folding partition.
22. New Conservation style Smoke Vent Rooflight. Electrically operated and linked to fire alarm.
23. Allow for new lighting to rooms G04, G04a, G06 and Hall 2.
24. New marmoleum floor to WC's. New Heavy Duty Carpet to Entry Lobby.
25. Two way Door arrangement between spaces G03 and G04.
26. ACC WC to be laid out according to DOC M.
27. Rendered block wall (with drainage holes) with painted hardwood timber handrail fixed with S.S. wall brackets.
28. Painted hardwood timber handrail.
29. Polyester Powder Coated (PPC) and Pre-Galvanised metal Balustrade.
30. New Door. Secure by Design. Structural Engineer to inspect head of door for lintel changes.
31. Upgrade ceiling to FR 60 minute with 2 No. Layer 15mm fireline plasterboard. (Check existing) - see Details.
32. Inspect existing and upgrade walls to REI 60 Fire Resistance, use 'Envirograt Product 105' Paint or similar approved
33. New MVHR System (Mechanical Ventilation with Heat Recovery) by specialist supplier and installer.
34. Install new REI 30 minute Fire Resistant suspended ceiling for MVHR system. See Details.
35. Upgrade Lath and Plaster Ceiling to FR 60 using use 'Envirograt Product 105' Paint or similar approved
36. New sign on door to say 'Maintenance access only - Keep Locked'.
37. Existing Door refurbished and upgraded to FD30s.
38. Wall to be inspected for loose / broken tiles and loose flashings and repaired.
39. Interior Lining to be retained. (Potential strip out and make good TBC).
40. Existing secondary glazing retained.
41. Make good floor under removed wall.
42. Remove Existing Suspended Ceiling, make good ceiling / walls and repair cornices.
43. Install new Ceramic Core Radiator - refer to Schedule of Works.
44. Acoustic Insulation (50-100mm) around MVHR Ducts.
45. New Maintenance Access Ladder. Metal
46. New Metal Access Gate 1100mm High.
47. WC and Sinks removed and Services to be capped off.
48. Wall painted with fire resistant paint suitable for lath+plaster, such as 'Envirograt product 105' or similar approved.
49. Existing door refurbished and re-hung.

50. Install 300mm Rockwool Insulation above ceiling (or similar approved)
51. Install 120mm Rockwool Insulation between floor joists (see detail)
52. Install 80mm foil backed insulation between roof joists (see detail)
53. Install 25mm foil backed rigid insulation directly to wall (see detail)
54. New 140mm Stud wall infill with full fill Rockwool Insulation and Vapour control layer internally.
55. Remove rooflight and seal with BRoof T4 fire rated roofing upstand.
56. Install 2 No. layers of 15mm Fireline Plasterboard around steelwork.



Proposed Section B-B 1:50



Proposed Section C-C 1:50

SYMBOLS LEGEND	
RE	Rodding Eye Point
IC	Inspection Chamber (IC) 450ø
	Proposed PVCu Surface Water Drain
	Proposed PVCu Foul Drain
RWP	Rainwater down pipe discharging into trapped roddable gully
GY	Carbon Monoxide Detector
C	Heat Detector
H	Smoke Detector
S	REI 60 Fire Compartment
	REI 30 Fire Compartment
	Secondary Glazing position
	MVHR : Mechanical Ventilation with Heat Recovery; indicative system shown
FDa	Fire Damper / Acoustic Baffle
CAP	Ceiling Access Panel

FIRE ESCAPE STRATEGY KEY	
	Emergency Lighting to BS 5266
R.P	Refuge point - Clear Space min 900x1400mm as per Part 8.
CP	Call Point
EVC	Emergency Voice Communication Point
!	Fire Escape
FAT	Fire Alarm Control Panel
Assembly point	Assembly point
EXIT	Escape signage to BS 5499 Brass or Brass Effect Backplate
Fire Alarm	Fire Alarm
Fire Extinguisher	Fire Extinguisher
Access points to building	Access points to building
Fire Door	Fire Door
FDa	Fire Damper / Acoustic Baffle

HOSE DISTANCES FOR FIRE SERVICE	
--- A ---	28m - Basement to Exit (incl. vertical of 3.7m)
--- B ---	16.7m - Ground Floor to Exit
--- C ---	23.9m - First Floor to Exit (incl. vertical of 4.7m)

CDM & HEALTH & SAFETY NOTES.	
Contractor to provide temporary protection to minimize risk of falling.	
No fires are permitted on site.	
If asbestos is discovered on site, ALL WORKS MUST STOP until it has been removed by an approved specialist sub-contractor. 1. Suspected asbestos containing material (ACM) to existing gutter.	
Weather tightness to be maintained by Contractor following the formation of new openings/ and windows and door replacement/repairs.	
PPE must be worn at all times. All equipment MUST BE sanitised before use. Provided and maintained by Contractor. A First Aid trained person must be on site at all times.	
Refer to S.E. drawings regarding hazards. Contractor to provide method statements where requested.	
Caution when handling heavy materials such as steel beams and concrete blocks.	
All scaffolding to comply with BS5876-2008 and BS EN12811-1-2003.	
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Contractor must be aware and reduce the risks associated with the public road and buildings adjacent.	
Contractor must be aware and reduce the risks associated with working below and around Overhead Power Cables.	
Due care and attention to be given during all demolitions.	
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Care to be taken when working adjacent to overhead power cables.	
Allow for temporary protection of existing manhole covers.	

A1 Sheet Size

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Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Revisions for BC Plan Check (Clouded).

BUILDING CONTROL/TENDER

Client MusicAbility Foundation CIO

Project MusicAbility Foundation
10 Parade Street
Penzance

Title Proposed Sections
Section A-A
Section B-B

Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/305	Revision	B

Koha Architects Limited
Tremough Innovation Centre
Penryn, TR10 9TA, Cornwall
T: 01326 567212
E: info@kohaarchitects.com

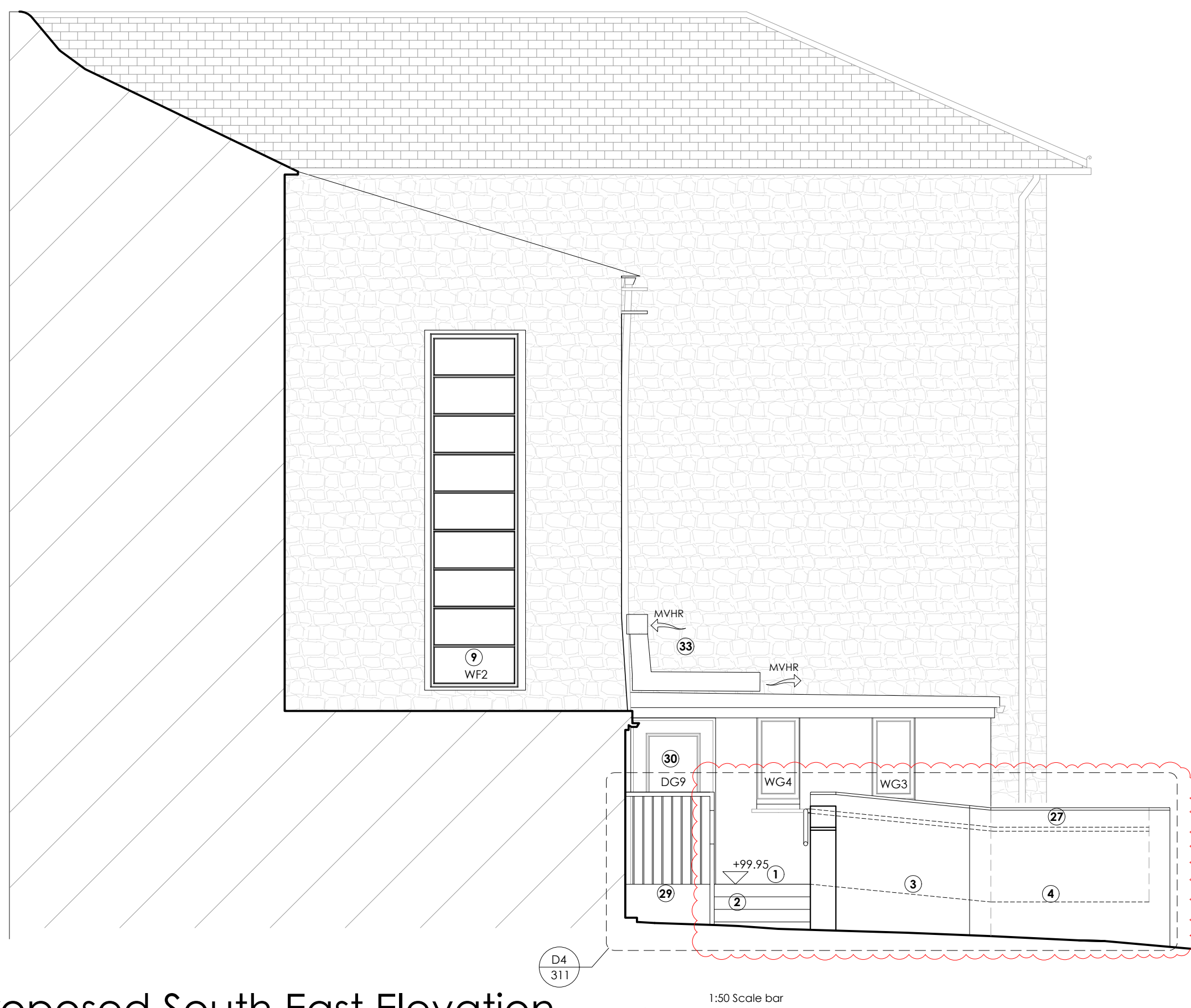
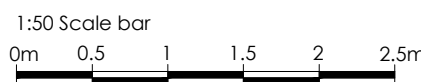


Proposed Sections 1:50



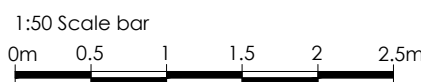
Proposed North East Elevation

1:50



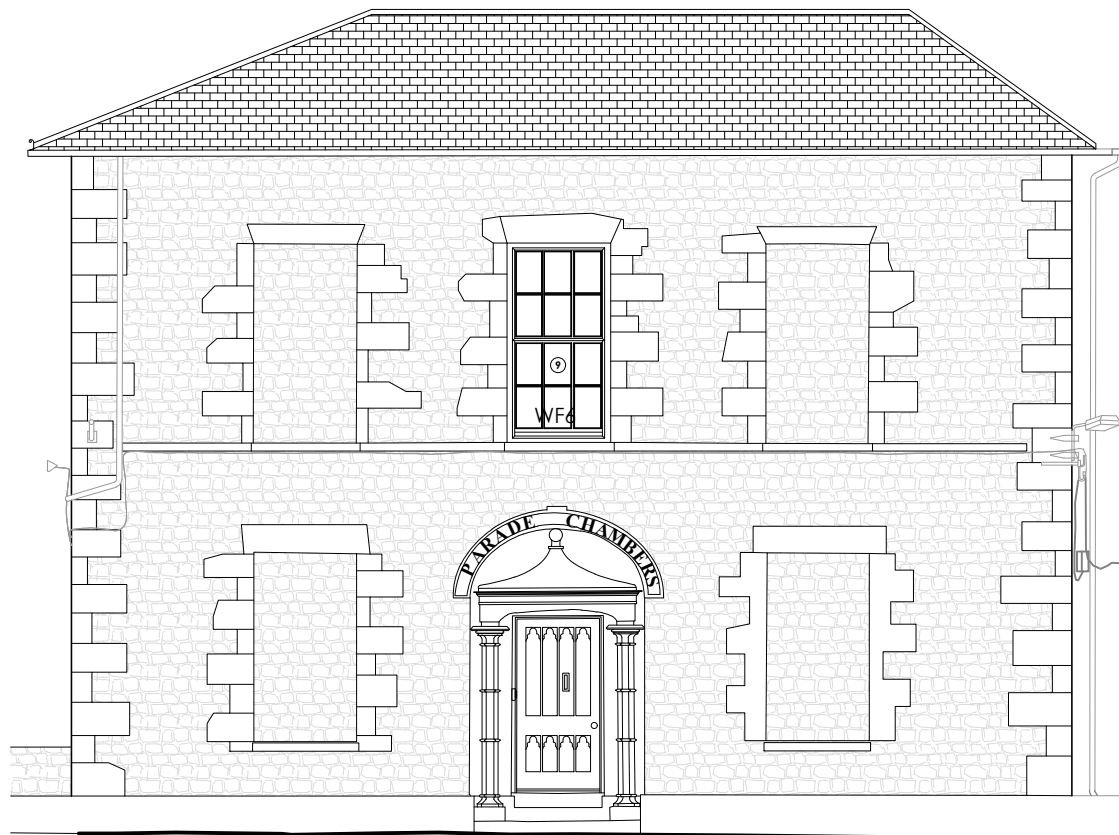
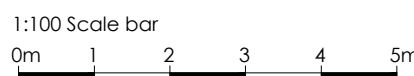
Proposed South East Elevation

1:50



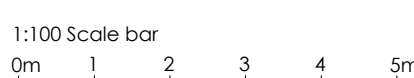
Proposed North West Elevation

1:100



Proposed South West Elevation

1:100



Proposed Elevations

KEY TO NUMBERED NOTES

- Ramp landing with level threshold to Entry Lobby (WBP Structural Grade Ply with waterproof, slip-resistant finish), OR Steel Pre-Fabricated construction.
- New steps with balustrade either side for Ambulant Access, (OR Steel as 1.)
- 1:13 Ramp (WBP Structural Grade Ply with waterproof, slip-resistant finish).
- Half Landing with Hatch for inspecting I.C. below.
- Door to remain, for Escape Purposes only.
- Floor Level raised by 200mm to improve accessibility through building and provide level threshold to exterior ramp. Ceiling height in this area will reduce to 2.03m.
- Spaces to remain as existing.
- New internal ramp over existing steps, 1:12 slope, Existing head height on threshold is 1980mm. See details.
- Install Secondary Glazing, Metal, casement, single glazed with acoustic trickle vents (45dB), ALL TBC
- New Boxing for MVHR ducts. Use 50x50mm studwork with plasterboard lining. See Note 44.
- New Acoustic panel door DG19 in existing opening. (Keep Existing door DG18)
- CPD reduced to provide more space within the Multifunction / Education Room (G04).
- New Electrical and Fire Alarm Panel within reduced CPD Space.
- Floorboards to be temporarily removed to inspect sub-structure.
- Positive pressure fresh air supply required to music rooms.
- Mechanical Extract Fan. Intermittent Rates: WCs - 6 L/S, Kitchens - 60L/S.
- New Archway and Plasterwork coving to match First Floor. Glazed Infill with glazed door.
- Contrasting nosings to existing stairs to comply with Part M.
- Signage added to door to state 'Maintenance Access to Basement Only. Take care when opening door due to staircase' - Contrasting nosings to basement stairs required as 18. above.
- Existing carpet floor finish to be removed, sand and seal existing pitch-pine floor boards with oil/ 2 coat polyurethane. All timber floors and structure to be checked for wood boring beetle and rot by specialist.
- Install Downstand to S.E Design for later installation of folding partition.
- New Conservation style Smoke Vent Rooflight. Electrically operated and linked to fire alarm.
- Allow for new lighting to rooms G04, G04a, G06 and Hall 2.
- New marmoleum floor to WC's. New Heavy Duty Carpet to Entry Lobby.
- Two way Door arrangement between spaces G03 and G04.
- ACC WC to be laid out according to DOC M.
- Rendered block wall (with drainage holes) with painted hardwood timber handrail fixed with S.S. wall brackets.
- Painted hardwood timber handrail.
- Polyster Powder Coated (PPC) and Pre-Galvanised metal Balustrade.
- New Door, Secure by Design. Structural Engineer to inspect head of door for lintel changes.
- Upgrade ceiling to FR 60 minute with 2 No. Layer 15mm fireline plasterboard. (Check existing) - see Details.
- Inspect existing and upgrade walls to REI 60 Fire Resistance, use **Envirograf Product 105'** Paint or similar approved
- New MVHR System (Mechanical Ventilation with Heat Recovery) by specialist supplier and installer.
- Install new REI 30 minute Fire Resistant suspended ceiling for MVHR system. See Details.
- Upgrade Lath and Plaster Ceiling to FR 60 using use **Envirograf Product 105'** Paint or similar approved
- New sign on door to say 'Maintenance access only - Keep Locked'.
- Existing Door refurbished and upgraded to FD30s.
- Wall to be inspected for lose / broken tiles and lose flashings and repaired.
- Interior Lining to be retained. (Potential strip out and make good TBC).
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- Make good floor under removed wall.
- Remove Existing Suspended Ceiling, make good ceiling / walls and repair cornices.
- Install new Ceramic Core Radiator - refer to Schedule of Works.
- Acoustic Insulation (50-100mm) around MVHR Ducts.
- New Maintenance Access Ladder. Metal
- New Metal Access Gate 1100mm High.
- WC and Sinks removed and Services to be capped off.
- Wall painted with fire resistant paint suitable for lath+plaster, such as **Envirograf product 105** or similar approved.
- Existing door refurbished and re-hung.
- Install 300mm Rockwool Insulation above ceiling (or similar approved)
- Install 120mm Rockwool Insulation between floor joists (see detail)
- Install 80mm foil backed insulation between roof joists (see detail)
- Install 25mm foil backed rigid insulation directly to wall (see detail)
- New 140mm Stud wall infill with full fill Rockwool Insulation and Vapour control layer internally.
- Remove rooflight and seal with BRoof T4 fire rated roofing upstand.
- Install 2 No. layers of 15mm Fireline Plasterboard around steelwork.

SYMBOLS LEGEND	
RE	Rodding Eye Point
IC	Inspection Chamber (IC) 450ø
→	Proposed PVCu Surface Water Drain
→	Proposed PVCu Foul Drain
RWP	Rainwater down pipe discharging into trapped roddable gully
CO	Carbon Monoxide Detector
H	Heat Detector
S	Smoke Detector
REI 60	REI 60 Fire Compartment
REI 30	REI 30 Fire Compartment
SG	Secondary Glazing position
MVHR	MVHR : Mechanical Ventilation with Heat Recovery; indicative system shown
FD	Fire Damper / Acoustic Baffle
CAP	Ceiling Access Panel

FIRE ESCAPE STRATEGY KEY	
EL	Emergency Lighting to BS 5266
R.P	Refuge point - Clear Space min 900x1400mm as per Part B.
CP	Call Point
EVC	Emergency Voice Communication Point
!	Fire Escape
FAP	Fire Alarm Control Panel
AS	Assembly point
ES	Escape signage to BS 5499 Brass or Brass Effect Backplate
FA	Fire Alarm
FE	Fire Extinguisher
AP	Access points to building
FD	Fire Door
FDa	Fire Damper / Acoustic Baffle

HOSE DISTANCES FOR FIRE SERVICE	
A	: 28m - Basement to Exit (incl. vertical of 3.7m)
B	: 16.7m - Ground Floor to Exit
C	: 23.9m - First Floor to Exit (incl. vertical of 4.7m)

CDM & HEALTH & SAFETY NOTES.	
Contractor to provide temporary protection to minimize risk of falling.	B
No fires are permitted on site.	B
If asbestos is discovered on site. ALL WORKS MUST STOP until it has been removed by an approved specialist sub-contractor. 1. Suspected asbestos containing material (ACM) to existing gutter.	B
Weather tightness to be maintained by Contractor following the formation of new openings/ and windows and door replacement/repairs.	D
PPE must be worn at all times. All equipment MUST BE sanitised before use. Provided and maintained by Contractor. A First Aid trained person must be on site at all times.	E
Refer to S.E. drawings regarding hazards. Contractor to provide method statements where requested.	G
Caution when handling heavy materials such as steel beams and concrete blocks.	H
All scaffolding to comply with BS5876-2008 and BS EN12811-1-2003.	J
Care to be taken when working from height. Allow for guardrails and all gangways to be clear at ALL TIMES to avoid tripping. Care to be taken when walking underneath somebody working.	J
Contractor to provide temporary weather protection during removal of roof structure.	K
Contractor to identify and isolate existing services and disconnect in accordance with work program as works proceed.	L
Contractor must be aware and reduce the risks associated with the public road and buildings adjacent.	M
Contractor must be aware and reduce the risks associated to working below and around Overhead Power Cables.	N
Due care and attention to be given during all demolitions.	O
Refer to the Bat & Bird Assessment and Bat Emergence Survey report provided by Plan For Ecology for suggested enhancements. If a Bat is discovered, all works on site MUST STOP until a qualified ecologist has been to site to remove and relocate the bat.	P
Care to be taken when working adjacent to overhead power cables.	Q
Allow for temporary protection of existing manhole covers.	R

A1 Sheet Size

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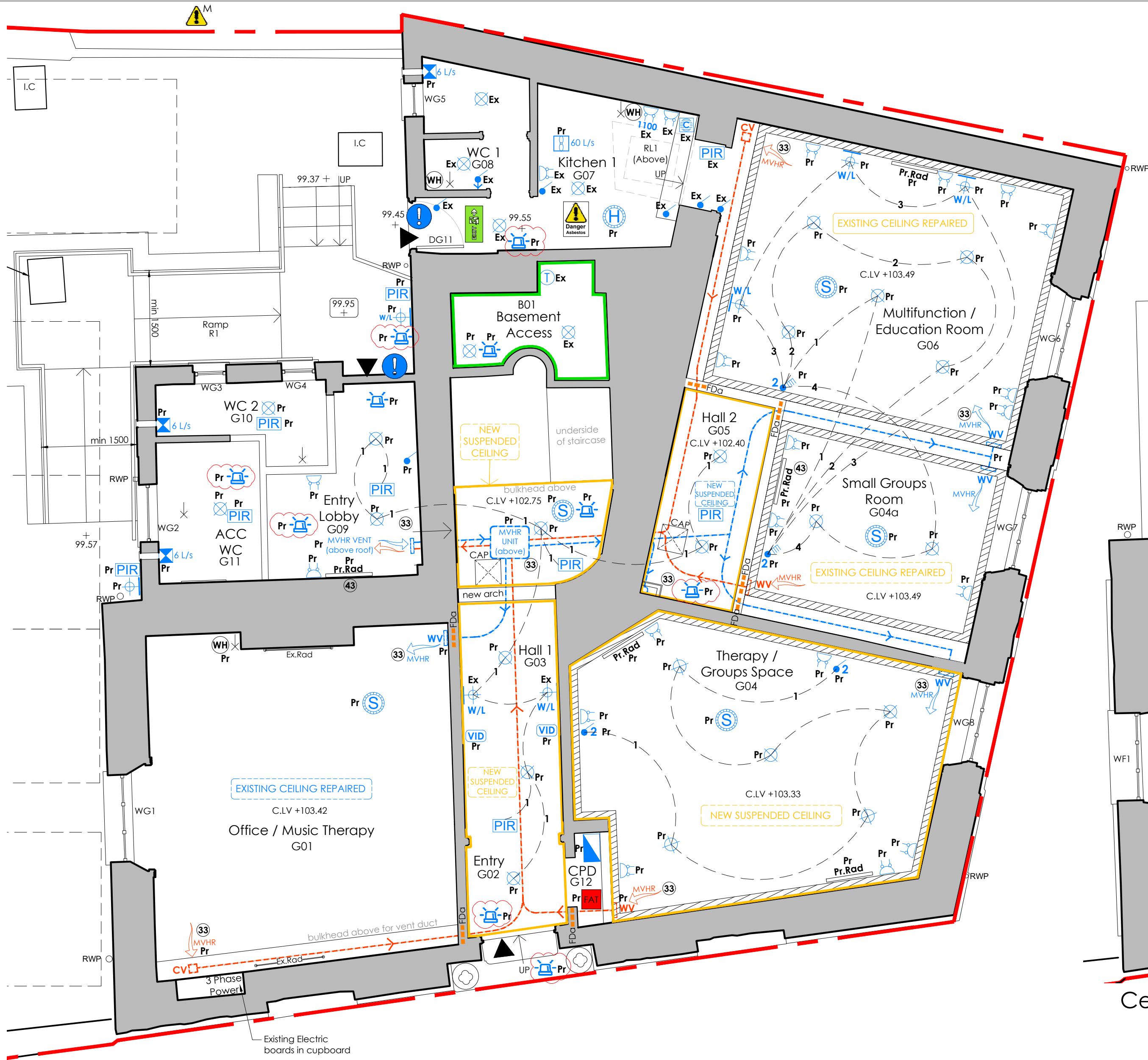
Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Revisions for BC Plan Check (Clouded).

BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Elevations		
Scale	1:50&1:100 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/310	Revision	B

Koha Architects Limited
Tremough Innovation Centre
Penryn, TR10 9TA, Cornwall
T: 01326 567212
E: info@kohaarchitects.com





Ceiling over Ground Floor showing M & E scale 1:50

ELECTRICS / PLUMBING KEY	
Ex or Pr	Existing or Proposed Element
⊕	Spotlight LEDs
⊙	Recessed Kitchen Unit/ Skirting LEDs
W/L	Surface mounted lighting
⊕	Bathroom mirror lighting
⊕	Feature pendant lighting
⊕	Fluorescent Strip light
⊕	Emergency Lighting to BS 5266
⊕	Ceiling extract fan
⊕	Through the wall extract fan
PIR	PIR Sensor
CCTV	CCTV Camera
VID	Video Link : Screen Provided by others.
Intercom	Intercom
HDMI & CAT 6 or 5e as necessary for TV provider	HDMI & CAT 6 or 5e as necessary for TV provider
TV	Television aerial outlet
BT	Telephone socket
⊕	Double 13 amp socket outlet above counter
⊕	13 amp socket outlet above counter
⊕	Double 13A power outlet : Flush Mounted
⊕	Single 13A power outlet : Flush Mounted
⊕	5A power outlet
⊕	Fused Spur
⊕	External socket outlet with cover
⊕	Front door push & bell
⊕	Light switch : Flush Mounted
⊕	2 or 3 way switching : Flush Mounted
⊕	Dimmer switch
⊕	Pull Cord switch
⊕	Smoke Detector
⊕	Heat Detector
⊕	Carbon Monoxide

FIRE ESCAPE STRATEGY KEY	
⊕	Emergency Lighting to BS 5266
R.P.	Refuge point - Clear Space min 900x1400mm as per Part 8.
CP	Call Point
EVC	Emergency Voice Communication Point
!	Fire Escape
FACP	Fire Alarm Control Panel
AP	Assembly point
EXIT	Escape signage to BS 5499
FD	Brass or Brass Effect Backplate
FA	Fire Alarm
FE	Fire Extinguisher
AP	Access points to building
FD	Fire Door
FD	Fire Damper / Acoustic Baffle

FUSE	
⊕	Fuse Board
⊕	Consumer Unit
⊕	Thermostat
⊕	Lighting Circuit and Room Circuit no.
⊕	MVHR Air Extract Location and ducting
⊕	MVHR Air Input Location and ducting
⊕	Ceiling Vent / Wall Vent
⊕	Existing / Proposed Radiator
⊕	Heated Towel Rail
⊕	Cold Water Tap
⊕	Water Heater
⊕	Water Meter

HOSE DISTANCES FOR FIRE SERVICE	
⊕	A : 28m - Basement to Exit (incl. vertical of 3.7m)
⊕	B : 16.7m - Ground Floor to Exit
⊕	C : 23.9m - First Floor to Exit (incl. vertical of 4.7m)

KEY to CEILINGS	
⊕	New ceiling fixed to underside of existing joists
⊕	New suspended ceiling
⊕	New Cornice to match existing

NOTES:
DIMENSIONS
- All drawing dimensions are for pricing purposes only, contractor to provide wiring and installation diagrams.

ELECTRICS
Extend existing electrical system. All electrical work required to meet the requirements of Part P must be designed, installed, inspected and tested by a competent person. Prior to completion the council should be satisfied that Part P has been complied with. This may require an appropriate BS7671 certificate to be issued for the work by a competent person.

WIRING
New wiring to all new sockets, lights and switches generally. Indicative light circuits shown. Existing to be kept wiring to be checked and tested and replaced if sub-standard.

SOCKETS
New or replacement Sockets to be flush mounted with white UPVC cover plates, screws to have head covers to match plate.

SWITCHES
New switches to be flush mounted and have brass cover plates with brass flat head screws.

LIGHTS
New light fittings to be brass, brass effect and/or heritage style. All light fittings to be approved by client / architect.

MVHR
System to be designed and installed by specialist such as SouthWest Ventilation.

PLUMBING / DRAINAGE
Connect to existing septic tank with new Inspection Chambers (IC) and pipework as shown.

- Shower to have minimum 40mm Ø UPVC waste pipes with 75mm deep sealed traps.
- Basins to have minimum 32mm Ø UPVC waste pipes with 75mm deep sealed traps.
- WC's to have 100mm Ø waste pipes.
- All bends in pipes to have 75mm min. Radius. All right angle bends to have access points.
- 110mm upvc syp to be taken up through the roof with proprietary flashing & upstand, uPVC storm collar over upstand. Pipe to terminate 900mm above window head height as illustrated on drawings.
- All fitted with 75mm DEEP SEAL TRAPS as required, all plumbing goods in uPVC to comply with BS.4514 - 1978, and installed in accordance with BS.5572-1978 and section 1 of Part H 1 of the building regulations.
- Ensure that rodding access is provided at all changes in direction of pipe runs.
- Soil vent pipes are to be 110mm DIA and are to rise to open air in positions shown, soil vent pipes are to terminate away from any opening refer to Diagram 6 of section H1 of the building regulations.
- Stub stacks are to be 110mm DIA and are to be fitted with AIR ADMITTANCE VALVES 900mm above finished floor level, air admittance valve to B.S. 5415 - 1983, to be Agreement certified.
- Waste pipes from basins to join stack 200mm below centreline of WC pipe entry.

Ceiling over First Floor showing M & E scale 1:50



Ceiling over Basement Floor showing M & E scale 1:50

A1 Sheet Size

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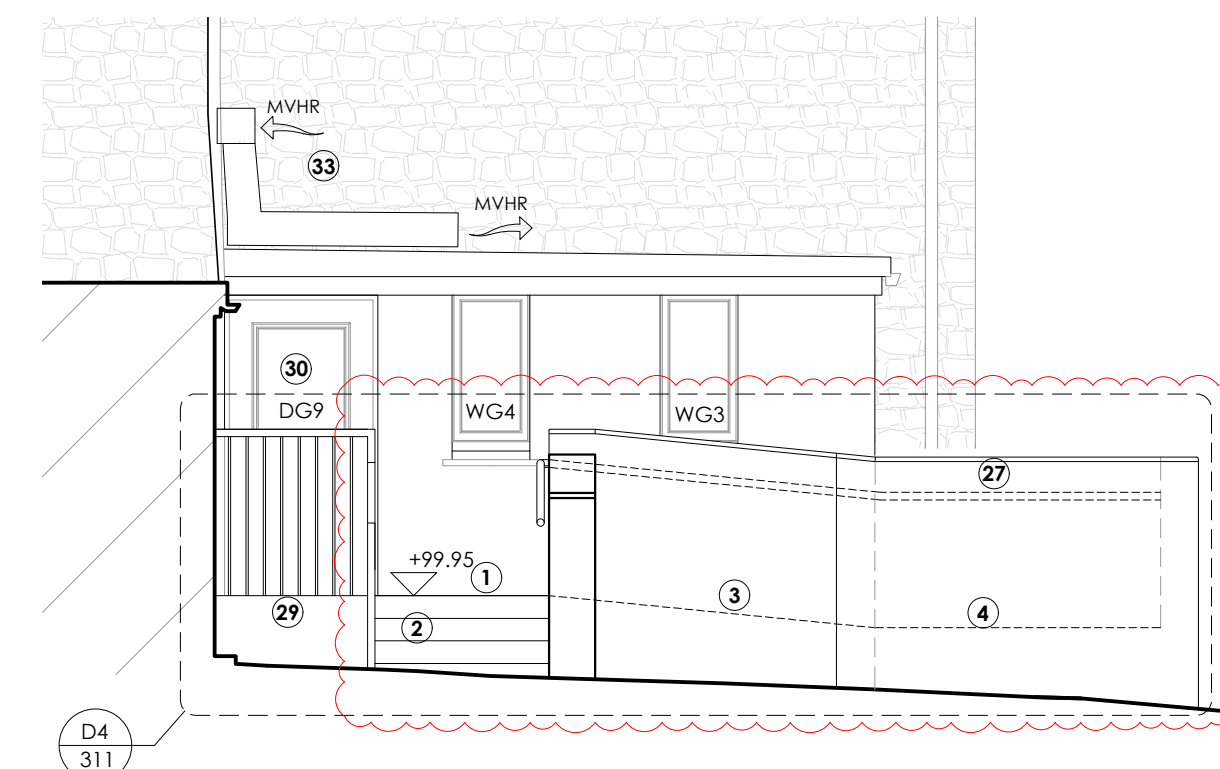
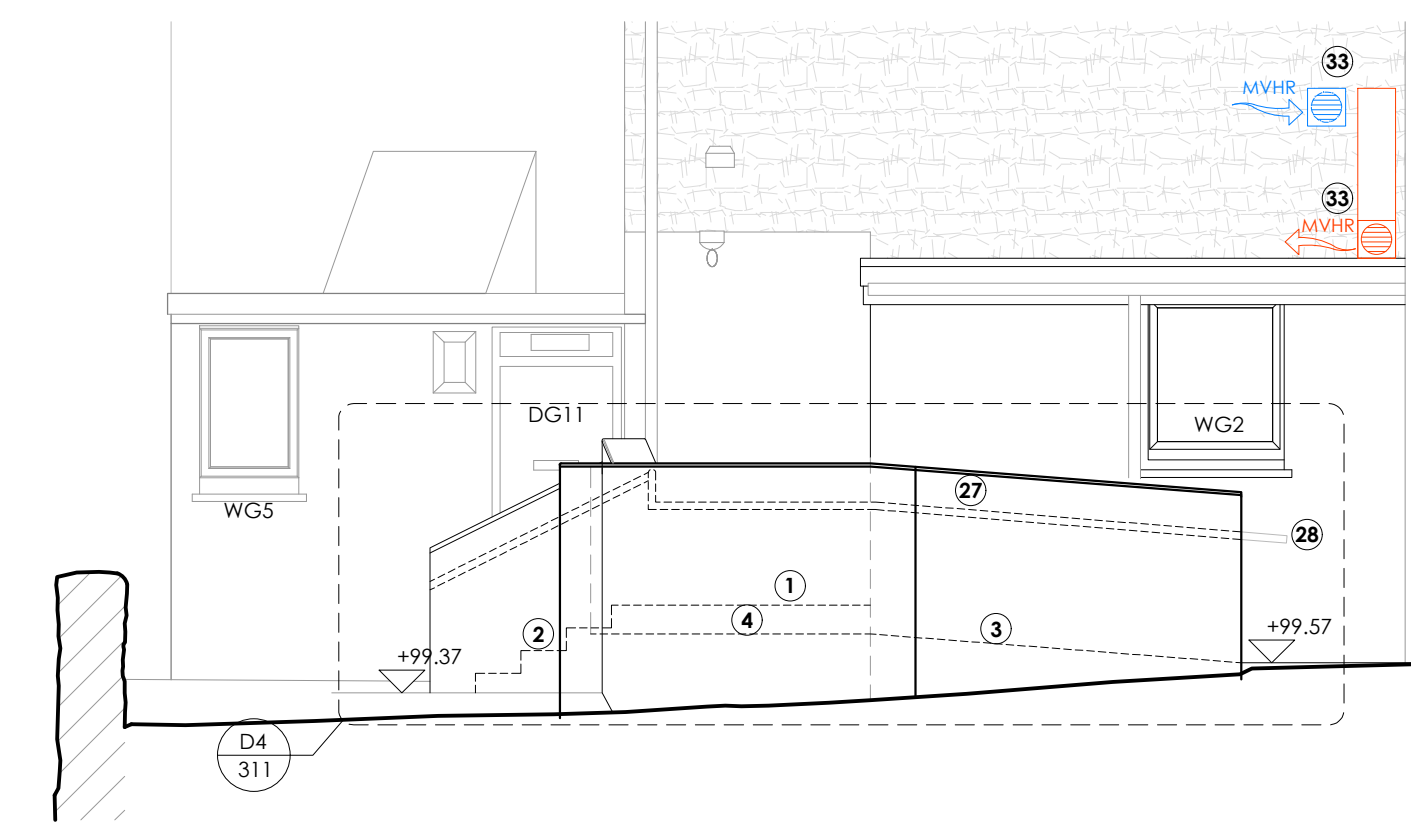
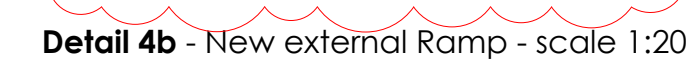
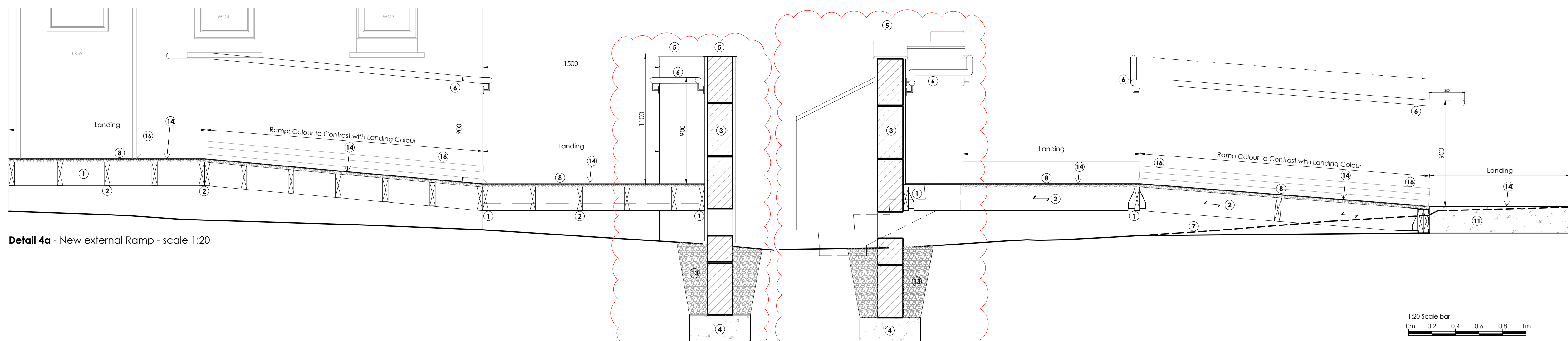
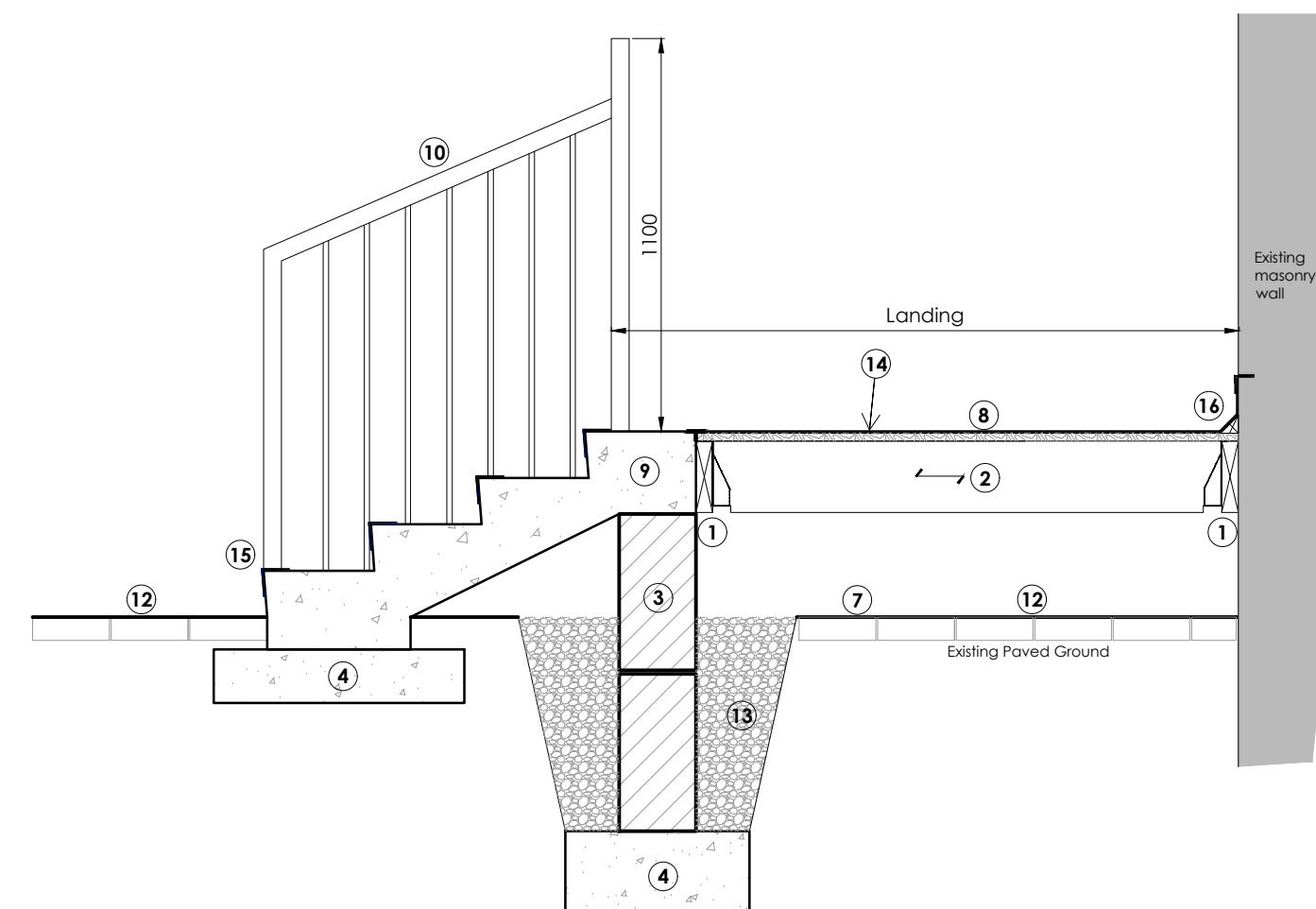
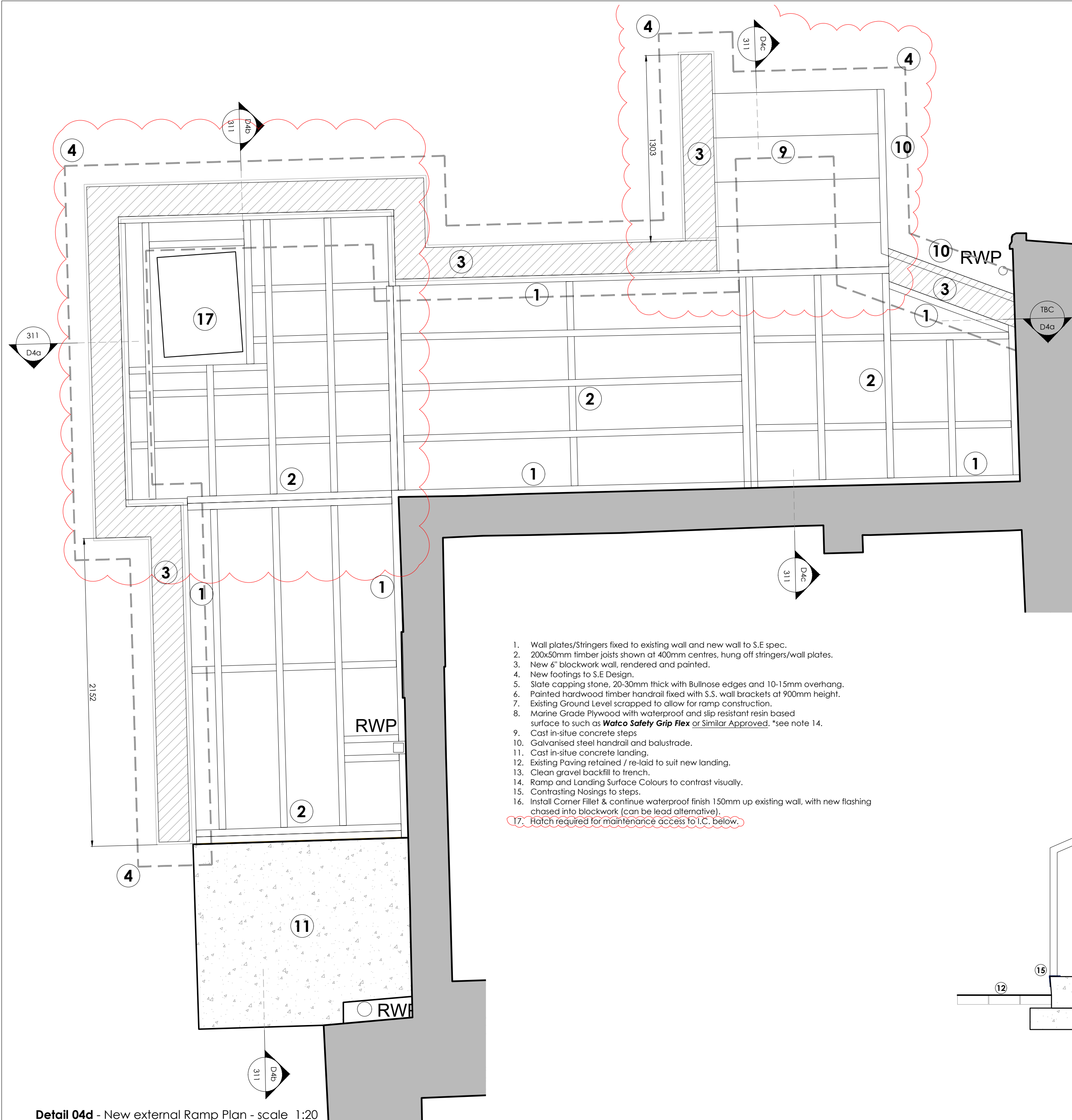
Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Revisions for BC Plan Check (Clouded).

BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Reflected Ceiling Plans showing Mechanical & Electricals		
Scale	1:50 @ A1	Drawn by	AJL
Date	13.12.2024		
Drawing Number	251/350	Revision	B

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Tremough Innovation Centre
Penryn, TR10 9TA, Cornwall
T: 01326 567212
E: info@kohaarchitects.com





Proposed North East Elevation 1:50

*see drawing 310 for key to notes

Proposed South East Elevation 1:50

*see drawing 310 for key to notes

1. Wall plates/Stringers fixed to existing wall and new wall to S.E. spec.
2. 200x50mm timber joists shown at 400mm centres, hung off stringers/wall plates.
3. New 6" blockwork wall, rendered and painted.
4. New floorings to S.E. Design.
5. Slab clapping stone, 20-30mm thick with Bullose edges and 10-15mm overcoat.
6. Painted hardwood timber handrail fixed with S.S. wall brackets at 900mm height.
7. Existing Ground level scarping to be done to create a level construction.
8. Marine Grade Plywood with waterproof and slip resistant resin based surface to such as **Waco Safety Grip Flex or Similar Approved**, *see note 14.
9. Cast in-situ concrete steps
10. Galvanised steel handrail and balustrade.
11. Cast in-situ concrete landing.
12. Existing Paving retained / re-laid to suit new landing.
13. Clean gravel base backfill to be used to create level alternative.
14. Ramp and Landing Surface Colours to contrast visually.
15. Contrasting Nosings to steps.
16. Install Corner Filler & continue waterproof finish 150mm up existing wall, with new finishing chased into blockwork (see note 14 for level alternative).
17. **Batch required for maintenance access to I.C. below.**

Detail 04d - New external Ramp Plan - scale 1:20

Detail 4c - New external Ramp - scale 1:20

Detail 4a - New external Ramp - scale 1:20

Proposed Ramp Details

A1 Sheet Size

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Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Design altered to allow for Drain Chamber.

Status BUILDING
CONTROL/TENDER

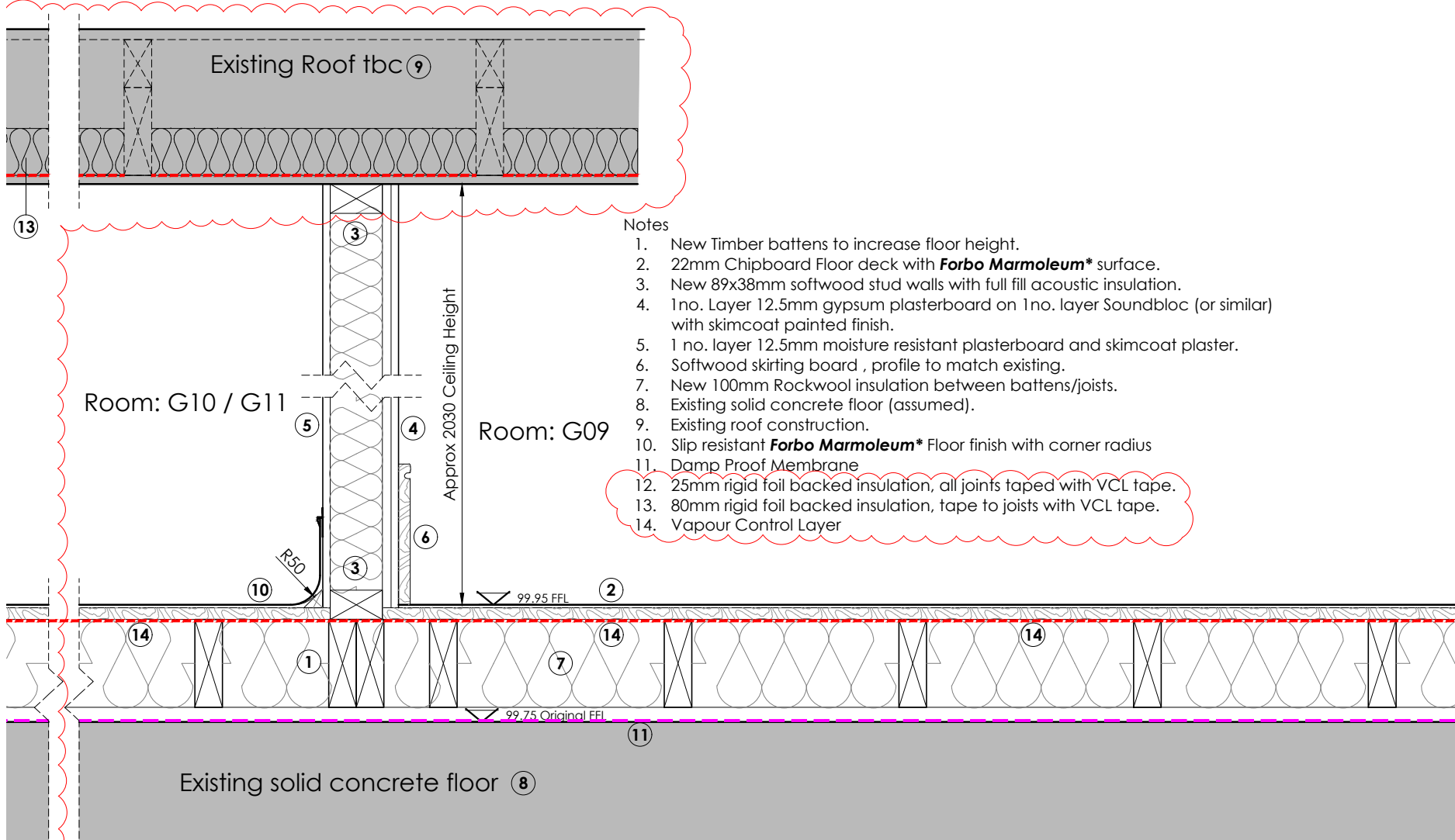
Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Details Sheet 1 External Ramp		
Scale	1:50 / 1:20 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/400	Revision	B

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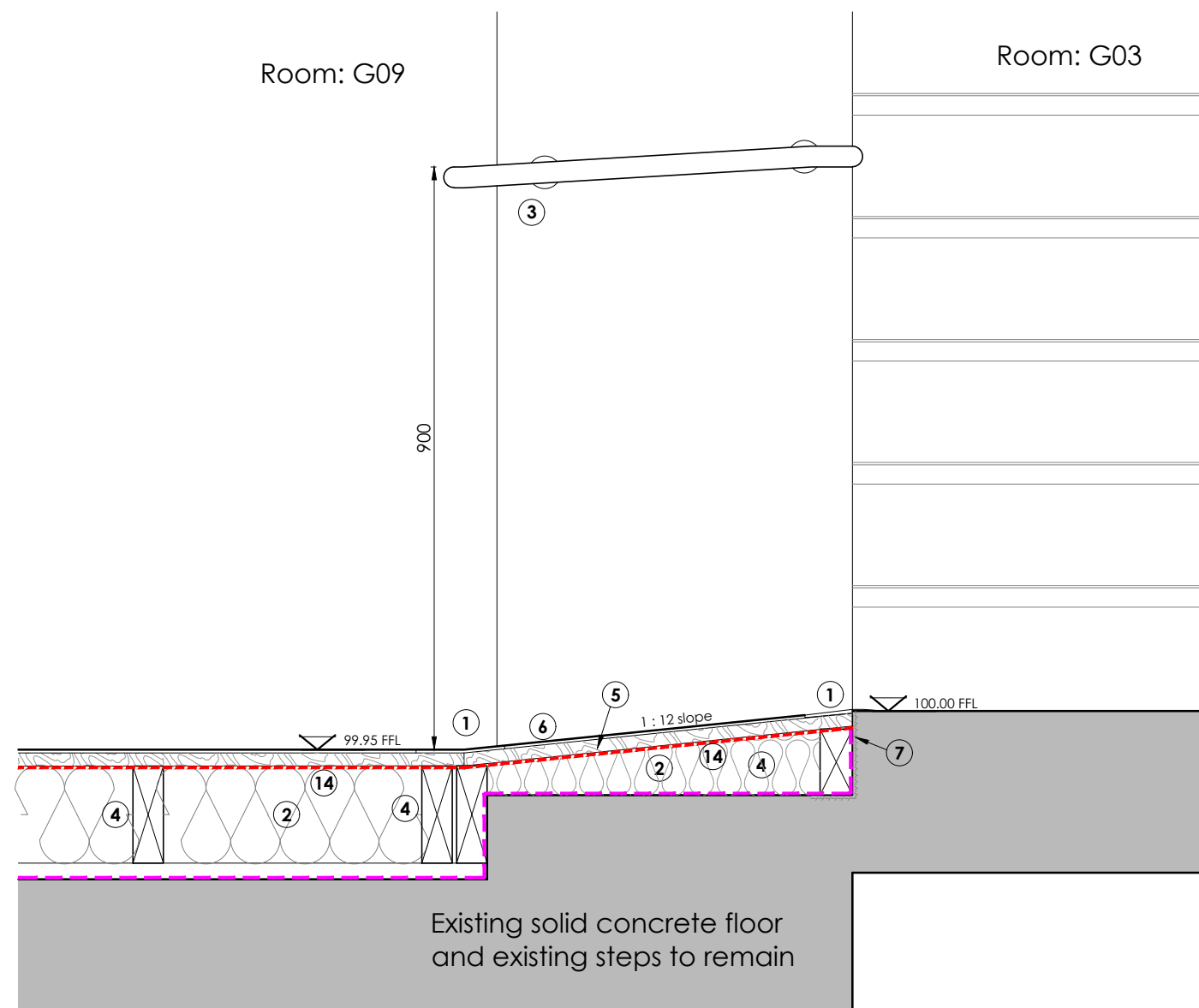
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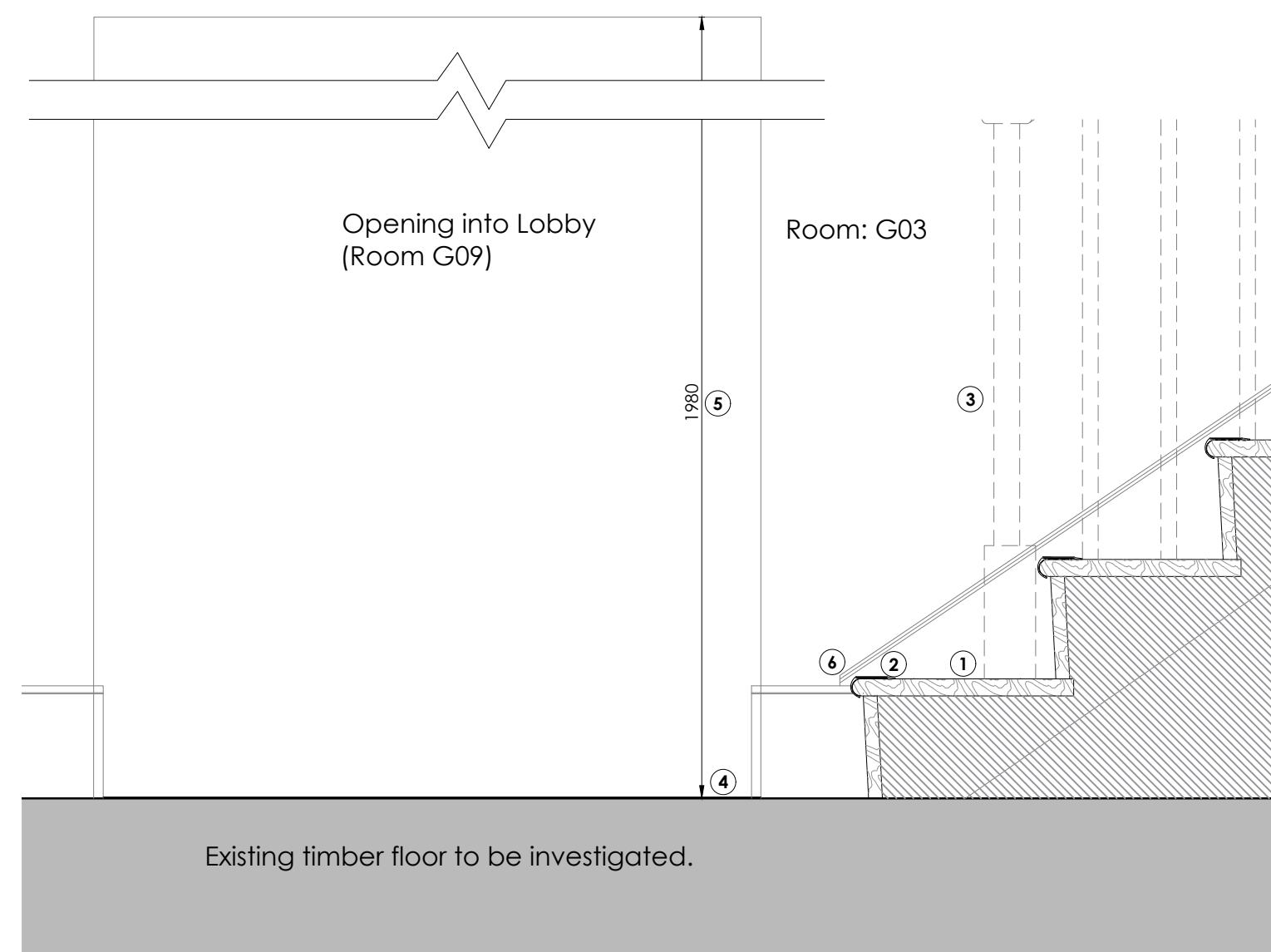
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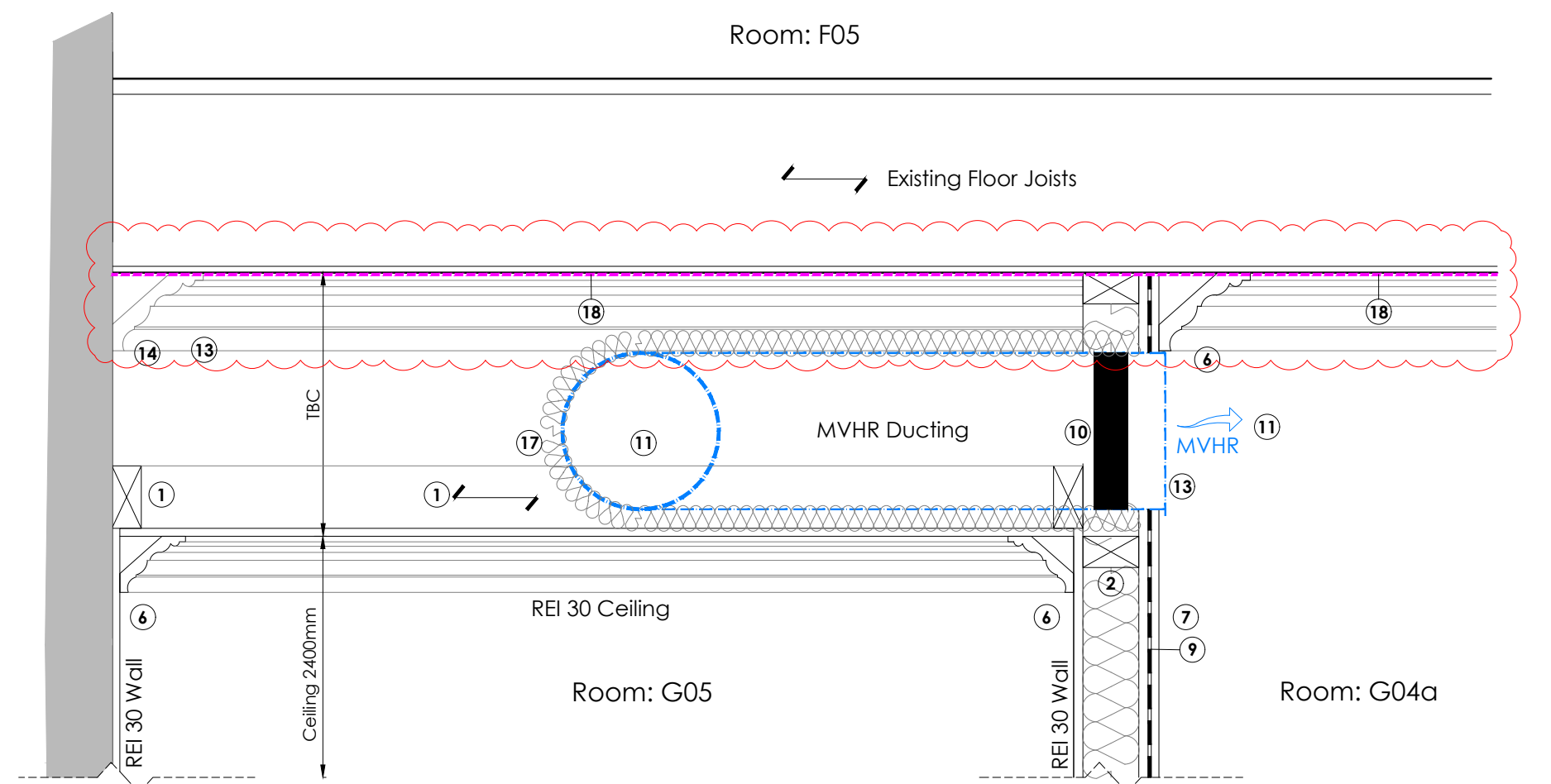
Detail 1 - New Lobby Floor and Internal Walls - scale 1:10



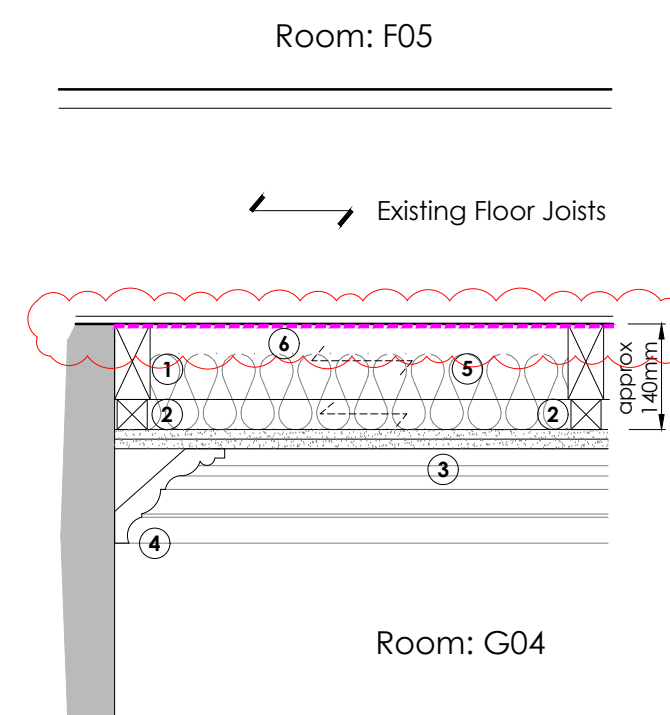
Detail 2 - New Internal Ramp over steps - scale 1:10



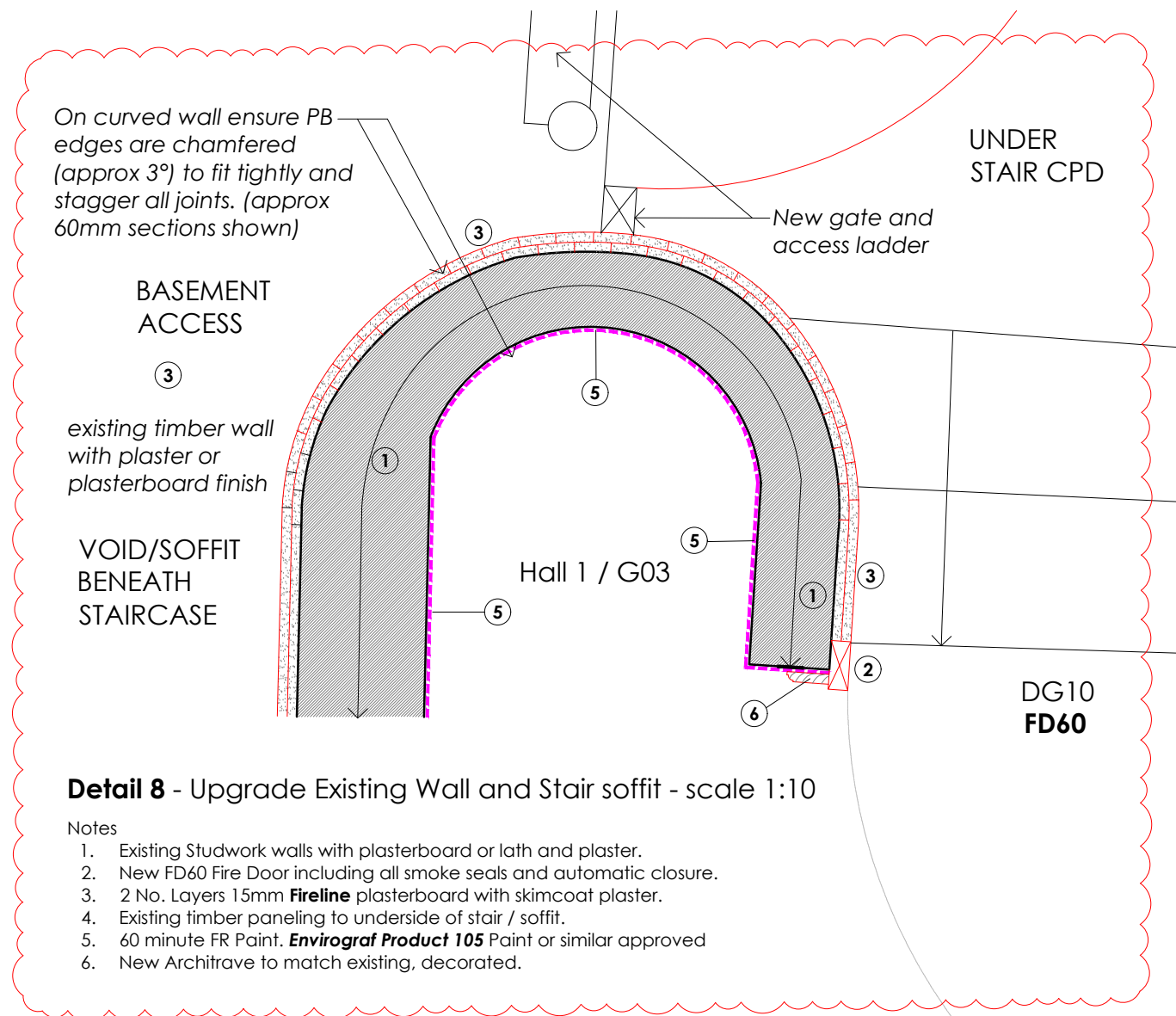
Detail 3 - Re-furbish existing stairs - scale 1:10



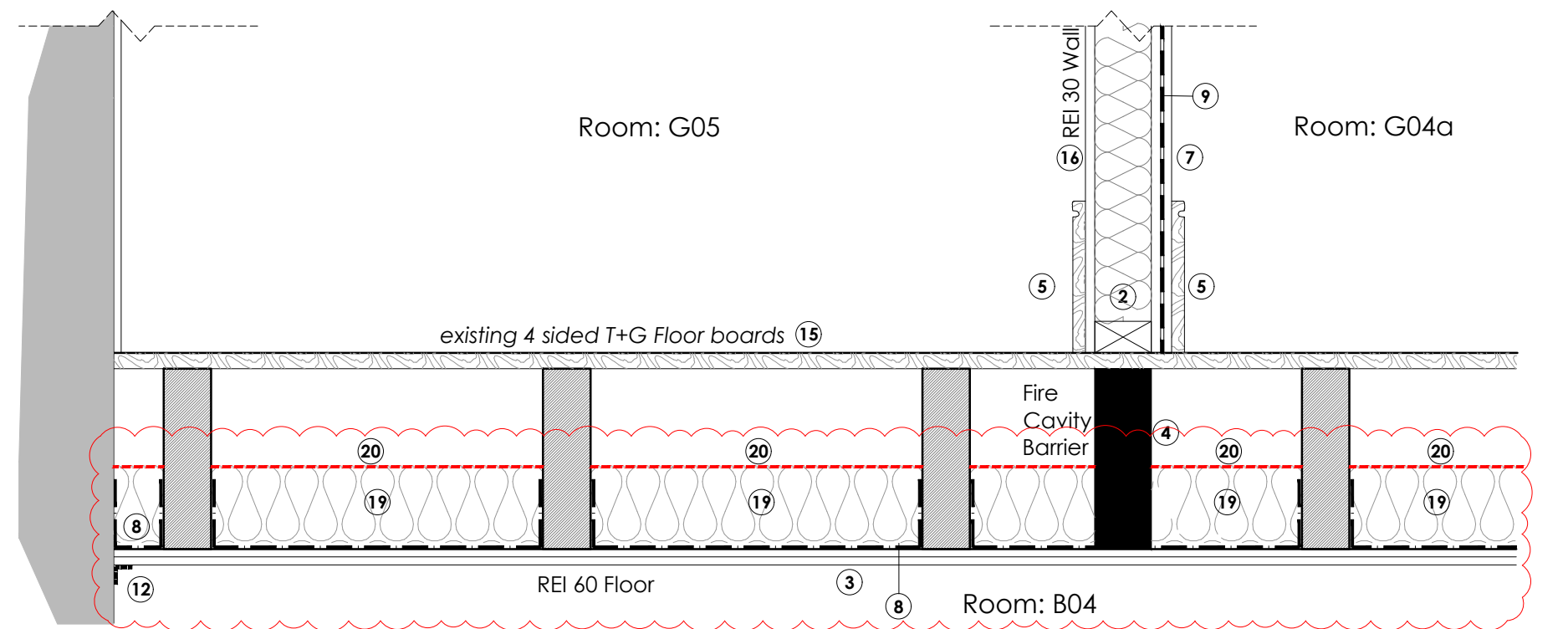
Detail 6 - New Suspended Ceiling in Hall 2 - scale 1:10



Detail 6 - New Suspended Ceiling in G04 - scale 1:10



Detail 8 - Upgrade Existing Wall and Stair soffit - scale 1:10



Detail 7 - New REI 60 Compartment Floor - scale 1:10

- Notes
- 100x50 ceiling joists with wall plate to existing wall
 - New 89x38mm softwood stud walls with full fill acoustic insulation, Painted.
 - 2 No. Layers 15mm **Fireline** plasterboard with skimcoat plaster.
 - Cavity Barrier to achieve 60 minute fire protection. Product to be specified.
 - Third party certification to be provided by Compartmentation Specialist.
 - Softwood skirting board, profiles to match existing, decorated.
 - Coving to match existing, decorated.
 - 2no. layers of 15mm Soundbloc (or similar) and skimcoat plaster, decorated.
 - Galvanized wire mesh stapled to joists to support insulation (1).
 - Intermediate Sound proofing Mat between plasterboard.
 - Air Duct Fire Damper REI 30 minutes.
 - MVHR System to Specialist design and installation.
 - 60 minute intumescent sealant to every joint, imperfect fit and opening for services.
 - Heritage style ventilation grilles for MVHR.
 - Existing coving above new ceiling.
 - Existing 4 sided T+G Floor boards.
 - Single Layer 12.5mm gypsum plasterboard and skimcoat plaster.
 - Acoustic Insulation surrounding ductwork
 - 60 minute FR Paint. **Envirograf Product 105** Paint or similar approved
 - 120mm Rockwool Insulation or similar approved to achieve max u value of 0.7w/m²k.
 - Vapour Control Layer (dashed line)

A1 Sheet Size

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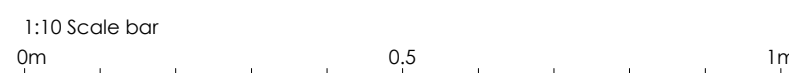
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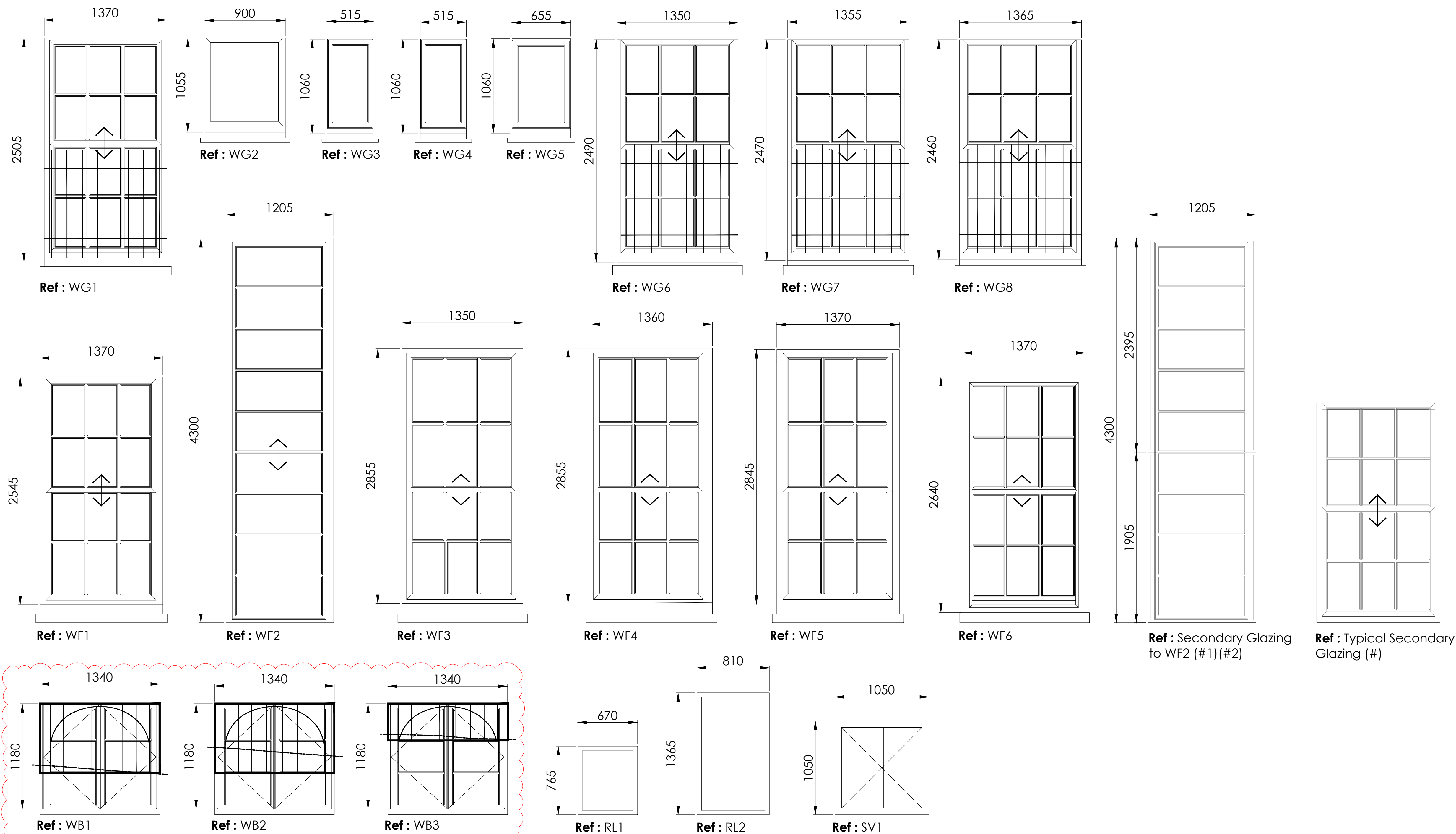
Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Revisions for BC Plan Check (Clouded).

BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Details Sheet 2 Internal Details		
Scale	1:10 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/401	Revision	B

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NOTES:

DIMENSIONS

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SECONDARY GLAZING**

Window Refs: **WG1, WG6, WG7, WG8, WF2, WF3, WF4, WF5, WF6.**

Install New Secondary glazing: Metal, Vertical Sash (or Casement), Single glazed with Acoustic Trickle Vents (45dB). Inspect, make good and re-decorate all woodwork associated with installation of secondary glazing.

Typical Secondary Glazing is based on Selectaglaze, Slimline 20(VS), 6.8mm low E glazing.

1 WG2 Secondary Glazing is based on Selectaglaze Slimline 46(FL), 4mm glazing, showing 2 fixed lights to align with existing sashes.

2 WG2 Secondary Glazing lower pane to be laminated safety glass.

INTERNAL SHUTTERS*

Window Refs: **WG1, WG6, WG7, WG8**

Reinstate shutters to fully operational, replace handles with flush inset type (half moon; TBC with client) to avoid clash with glazing/secondary glazing.

Inspect, make good and re-decorate all woodwork associated with shutters.

SMOKE VENT

Window Ref : **SV1**

Install conservation style Smoke Vent Rooflight. To be an Electric, automatically operated Smoke Vent, connected to the fire alarm; in roof above staircase. 1m² free area required.

EXTERNAL BARS*

Window Refs: **WG1, WG6, WG7, WG8.**

Inspect all existing external iron window bars. Make good where necessary.

New External Bars - Window Refs: WB1, WB2, WB3.

Source and Install new window bars to windows **WB1, WB2 & WB3** at Basement Level above existing floor grilles only. See Schedule of Works 17.6 for further information.

IRONMONGERY

Window Refs: **(ALL WINDOWS) WG1, WG2, WG3, WG4, WG5, WG6, WG7, WG8, WF1, WF2, WF3, WF4, WF5, WF6, WB1, WB2, WB3**

-Inspect existing ironmongery is fully operational and repair/replace like for like where necessary.

OPERATION

Inspect and repair windows WG6, WG7 and WG8 to a fully operational state. Ease and adjust as required.

DECORATION

Inspect, prepare and decorate all woodwork and associated beading and putty.

IRONMONGERY FOR WINDOWS WITH NEW SECONDARY GLAZING.

Window Refs. **WG1, WG6, WG7, WG8, WF2, WF3, WF4, WF5, WF6. (TBC : WB1, WB2, WB3)**

-New sash pulls to be compatible with secondary glazing system.

-Style and Finish to match existing.

A1 Sheet Size

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B	12.02.2025	Revisions for BC Plan Check (Clouded).

Status	BUILDING CONTROL/TENDER
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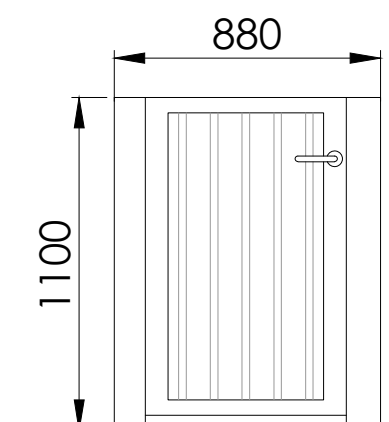
Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Window Schedule		
Scale	1:25 @ A1	Drawn by	AJL
Date	13.12.2024		
Drawing Number	251/500	Revision	B

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Ref: DB7
Proposed Gate
- Internal

EXISTING DOORS TO BE REFURBISHED
Door Refs: DG1*, DG2, DG3, DG4, DG5, DG6, DG7, DG8, DF1, DF2, DF3, DF4, DF5, DF6, DB3**
Ironmongery / Operation
 Inspect existing ironmongery is fully operational and repair/replace like for like where necessary.
Decoration
 Inspect, prepare and decorate all woodwork including beading and architraves.
Fixed Shut
 DF2 and DF3 are to be Fixed shut. Method of fixing to be discussed with client.
****DB3 Vent** - Install new transfer grille approx 30x30cm to base of door.
****DG1 - Door** to be handed.

SECONDARY DOORS (ACOUSTIC & FD30s FIRE DOORS)
Door Refs: DG4a, DG6a, DG18
 New FD30s Fire and Acoustic Doors. Automatic Electronic closures linked to fire detection system. Acoustic seals.
Door Refs: DG4, DG6, DG17
 Inspect, make good and re-decorate all existing woodwork associated with installation of secondary door leaf.

FIRE DOORS : All fire resisting doors leading onto the escape route to be fitted with all required smoke seals and self-closing devices.
FD60s for Door Refs: DG10
FD30s for Door Refs: DG4, DG6, DG15, DG16, DG18, DF1, DF4, DF6.

GATE
Ref: WB7
A Timber or Metal Safety Gate giving access to basement ladder including new secure gate posts.

PROPOSED DOORS
EXTERNAL Ref: DG09
 New Timber Access door with vision panel

INTERNAL Refs: DG4a, DG6a, DG7, DG8, DG15, DG16, DG18, DG27.
New FD30s doors with automatic self closers.
DG27 to be a glazed door with glazing surround.

1:25 Scale bar
0m 2.5 5.0 7.5 1m

A1 Sheet Size

NOTES

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B	12.02.2025	Revisions for BC Plan Check (Clouded).

<div> <div>Status</div> <div>BUILDING CONTROL/TENDER</div> </div>			
Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Window Schedule		
Scale	1:25 @ A1	Drawn by	AJL
Date	13.12.2024		
Drawing Number	251/501	Revision	B

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Tremough Innovation Centre
Penryn, TR10 9TA, Cornwall

T: 01326 567212
E: info@kohaarchitects.com

