



Preliminaries

BTC Fair Park Public Toilets

04 July 2019

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A10 PROJECT PARTICULARS

110 THE PROJECT

- Name: Bodmin Town Council Fair Park Public Toilets.
- Nature: Refurbishment and alteration of Public Toilets.
- Location: Fair Park Public Conveniences, Corporation Road, Bodmin.
- Length of contract: TBC.

120 EMPLOYER (CLIENT)

- Name: Bodmin Town Council.
- Address: Shire House, Mount Folly Square, Bodmin, Cornwall, PL31 2DQ.
- Contact: Richard Davies.
- Telephone: 01208 265984.
- E-mail: richard.davies@bodmin.gov.uk.

130 PRINCIPAL CONTRACTOR (CDM)

- Name: Main contractor who is appointed.
- Address: TBC.
- Contact: TBC.
- Telephone: TBC.
- E-mail: TBC.

140 ARCHITECT/ CONTRACT ADMINISTRATOR

- Name: RTP Surveyors.
- Address: 9 Mount Folly Square, Bodmin, Cornwall, PL31 2DF.
- Contact: Martin Winchester / Harriet Parkin.
- Telephone: 01208 892020.
- E-mail: martin@rtpssurveyors.co.uk / harriet@rtpssurveyors.co.uk.

150 PRINCIPAL DESIGNER

- Name: RTP Surveyors.
- Address: 9 Mount Folly Square, Bodmin, Cornwall, PL31 2DF.
- Contact: Martin Winchester / Harriet Parkin.
- Telephone: 01208 892020.
- E-mail: martin@rtpssurveyors.co.uk / harriet@rtpssurveyors.co.uk.

A11 TENDER AND CONTRACT DOCUMENTS

110 TENDER DRAWINGS

- The tender drawings are: As attached to the tender.

120 CONTRACT DRAWINGS

- The Contract Drawings: The same as the tender drawings.

160 PRECONSTRUCTION INFORMATION

- Format: The Preconstruction information is described in these preliminaries in Section A34. It refers to information given elsewhere in the preliminaries and other tender documents.

A12 THE SITE/ EXISTING BUILDINGS

- 110 THE SITE
 - Description: Single storey detached building forming public toilets.
- 120 EXISTING BUILDINGS ON/ ADJACENT TO THE SITE
 - Description: Children's playground and playing field adjacent to the site.
- 200 ACCESS TO THE SITE
 - Description: Contact RTP Surveyors on 01208 892020.
 - Limitations: None.
- 210 PARKING
 - Restrictions on parking of the Contractor's and employees' vehicles: Refer to PCI.
- 220 USE OF THE SITE
 - General: Do not use the site for any purpose other than carrying out the Works.
 - Limitations: Refer to PCI.
- 230 SURROUNDING LAND/ BUILDING USES
 - General: Adjacent or nearby uses or activities are as follows:
 - Children's playground and playing field. Residential premises on other side of road.
- 240 HEALTH AND SAFETY HAZARDS
 - General: The nature and condition of the site/ building cannot be fully and certainly ascertained before it is opened up. However, the following hazards are or may be present:
 - Asbestos. Refer to PCI and appendices.
 - Information: The accuracy and sufficiency of this information is not guaranteed. Ascertain if any additional information is required to ensure the safety of all persons and the Works.
 - Site staff: Draw to the attention of all personnel working on the site the nature of any possible contamination and the need to take appropriate precautionary measures.

A13 DESCRIPTION OF THE WORK

120 THE WORKS

- Description: Alterations to partition layout, new additional openings, full strip out and refurbishment, hack off render and new render.

A20 JCT MINOR WORK BUILDING CONTRACT (MW)

JCT MINOR WORKS BUILDING CONTRACT

- The Contract: JCT Minor Works Building Contract 2016 Edition.
- Requirement: Allow for the obligations, liabilities and services described.

THE RECITALS

First - THE WORKS AND THE CONTRACT ADMINISTRATOR

- The work comprises: Alteration to partition layout, new additional openings, full strip out and refurbishment, hack of render and apply new render.
- Architect/ Contract Administrator: See clause A10/140.

Second - CONTRACT DOCUMENTS

- Contract drawings: As listed in clause A11/120.
Contract documents: The following have been prepared which show and describe the work to be done Specifications and Work schedules.

Third - PRICED DOCUMENTS

- Documents to be priced or provided by the Contractor: All contract documentation included with the tender.

ARTICLES

3 - ARCHITECT/ CONTRACT ADMINISTRATOR

- Architect/ Contract Administrator: See clause A10/140.

4 and 5 - PRINCIPAL DESIGNER/ PRINCIPAL CONTRACTOR

- Principal Designer: See clause A10/150.
- Principal Contractor: See clause A10/130.

CONTRACT PARTICULARS

Fourth Recital and Schedule 2 - BASE DATE

- Base date: 2 weeks before tender date.

Fourth Recital and clause 4.2 - CONSTRUCTION INDUSTRY SCHEME (CIS)

- Employer at the Base Date is not a 'contractor' for the purposes of the CIS.

Fifth Recital - CDM REGULATIONS

- The project is not notifiable.

Sixth Recital - FRAMEWORK AGREEMENT

- Framework agreement: Does not apply.
- Details:
 - Date: N/A.
 - Title: N/A.
 - Parties: N/A.

Seventh Recital and Schedule 3 - SUPPLEMENTAL PROVISIONS

- Collaborative working: Supplemental Provision 1 does not apply.
- Health and safety: Supplemental Provision 2 does not apply.
- Cost savings and value improvements: Supplemental Provision 3 does not apply.
- Sustainable development and environmental considerations: Supplemental Provision 4 does not apply.
- Performance indicators and monitoring: Supplemental Provision 5 does not apply.
- Notification and negotiation of disputes: Supplemental Provision 6 applies. Where Supplemental Provision 6 applies, the respective nominees of the parties are:
 - Employer's nominee: TBC.
 - Contractor's nominee: TBC .Or such replacement as each party may notify to the other from time to time.

Article 7 - ARBITRATION

- Article 7 and Schedule 1 apply.

Clause 2.2 - COMMENCEMENT AND COMPLETION

- Works commencement date: TBC.
- Date for Completion: TBC.

Clause 2.8 - LIQUIDATED DAMAGES

- At the rate of £250 per calendar week or pro-rata thereto.

Clause 2.10 - RECTIFICATION PERIOD

- Period: Six months from the date of practical completion.

Clause 4.3 - INTERIM PAYMENTS

- Interim Valuation Dates:
 - The first Interim Valuation Date is: After one month.
 - Thereafter at intervals of: four weeks.
- Payments due prior to practical completion:
 - Percentage of total value of the work etc.: 95 per cent.
- Payments becoming due on or after practical completion:
 - Percentage of the total amount to be paid: 97½ per cent.

Clause 4.3 and 4.8 - FLUCTUATIONS PROVISION

- The following fluctuations provision applies: No fluctuations provision applies.
- Where Schedule 2 applies, the percentage addition (paragraph 13) is N/A.

Clause 4.8.1 - SUPPLY OF DOCUMENTATION FOR COMPUTATION OF AMOUNT TO BE FINALLY CERTIFIED

- Period: Three months from the date of practical completion.

Clause 5.3 - CONTRACTOR'S PUBLIC LIABILITY INSURANCE - INJURY TO PERSONS OR PROPERTY

- The required level of cover for any one occurrence or series of occurrences arising out of one event:
 - Not less than: £5,000,000.

Clauses 5.4A, 5.4B and 5.4C - INSURANCE OF THE WORKS, ETC. - ALTERNATIVE PROVISIONS

- Clause 5.4A and 5.4C applies.
- Where clause 5.4A or 5.4B applies, percentage to cover professional fees: 15 per cent.
- Where clause 5.4C applies, insurance arrangements - details of the required policy or policies: By employer.

Clause 7.2 - ADJUDICATION

- The Adjudicator is: TBC.
- Nominating body: Royal Institution of Chartered Surveyors.

Schedule 1 paragraph 2.1 - ARBITRATION

- Appointor of Arbitrator (and of any replacement): President or a Vice president of the: The Royal Institution of Chartered Surveyors.

THE CONDITIONS

SECTION 1: DEFINITIONS AND INTERPRETATION

1.4 - RECKONING PERIODS OF DAYS

- Amendments: N/A.

1.8 - APPLICABLE LAW

- Amendments: N/A.

SECTION 2: CARRYING OUT THE WORKS

SECTION 3: CONTROL OF THE WORKS

SECTION 4: PAYMENT

SECTION 5: INJURY, DAMAGE AND INSURANCE

SECTION 6: TERMINATION

SECTION 7: SETTLEMENT OF DISPUTES

EXECUTION

- The Contract: Will be executed under hand.

CONTRACT GUARANTEE BOND

- Contract Guarantee Bond: N/A.

JCT PUBLIC SECTOR SUPPLEMENT

- Document: The JCT Public Sector Supplement 2011 - Fair Payment, Transparency and Building Information Modelling.
- Fair Payment provisions Apply.
- Transparency provisions Apply.
- Building information modelling provisions Do not apply.

A30 TENDERING/ SUBLETTING/ SUPPLY

MAIN CONTRACT TENDERING

- 110 SCOPE
- General: These conditions are supplementary to those stated in the Invitation to Tender and on the form of tender.
- 145 TENDERING PROCEDURE
- General: In accordance with the principles of: JCT and Bodmin Town Council Procurement Policy.
 - Arithmetical errors: Pricing document is dominant.
- 160 EXCLUSIONS
- Inability to tender: Immediately inform if any parts of the work as defined in the tender documents cannot be tendered.
 - Relevant parts of the work: Define those parts, stating reasons for the inability to tender.
- 170 ACCEPTANCE OF TENDER
- Acceptance: No guarantee is offered that any tender will be recommended for acceptance or be accepted, or that reasons for non acceptance will be given.
 - Costs: No liability is accepted for any cost incurred in the preparation of any tender.
- 190 PERIOD OF VALIDITY
- Period: After submission or lodgement, keep tender open for consideration (unless previously withdrawn) for not less than three months.
 - Date for possession/ commencement: See section A20.

PRICING/ SUBMISSION OF DOCUMENTS

- 210 PRELIMINARIES IN THE SPECIFICATION
- The Preliminaries/ General conditions sections (A10-A56 inclusive) must not be relied on as complying with SMM7/ NRM2.
- 250 PRICED DOCUMENTS
- Alterations: Do not alter or qualify the priced documents without written consent. Tenders containing unauthorised alterations or qualifications may be rejected.
 - Measurements: Where not stated, ascertain from the drawings.
 - Deemed included: Costs relating to items, which are not priced, will be deemed to have been included elsewhere in the tender.
 - Submit: With tender.
- 310 TENDER
- General: Tenders must include for all work shown or described in the tender documents as a whole or clearly apparent as being necessary for the complete and proper execution of the Works.
- 440 SCHEDULE OF RATES
- Schedule of rates (unpriced): Included with the tender documents. The Contractor may insert additional items. All items must be fully priced.
 - Fully priced copy: Submit within one week of request.

500 TENDER STAGE METHOD STATEMENTS

- Method statements: Prepare, describing how and when the following is to be carried out:
 - Refer to PCI.
- Statements: Submit within one week of request.

530 SUBSTITUTE PRODUCTS

- Details: If products of different manufacture to those specified are proposed, submit details with the tender giving reasons for each proposed substitution. Substitutions, which have not been notified at tender stage, may not be considered.
- Compliance: Substitutions accepted will be subject to the verification requirements of clause A31/200.

550 HEALTH AND SAFETY INFORMATION

- Content: Describe the organization and resources to safeguard the health and safety of operatives, including those of subcontractors, and of any person whom the Works may affect.
- Include:
 - A copy of the health and safety policy document, including risk assessment procedures.
 - Accident and sickness records for the past five years.
 - Records of previous Health and Safety Executive enforcement action.
 - Records of training and training policy.
 - The number and type of staff responsible for health and safety on this project with details of their qualifications and duties.
- Submit: Within one week of request.

570 OUTLINE CONSTRUCTION PHASE HEALTH AND SAFETY PLAN

- Content: Submit the following information within one week of request:
 - Method statements on how risks from hazards identified in the pre-construction information and other hazards identified by the contractor will be addressed.
 - Details of the management structure and responsibilities.
 - Arrangements for issuing health and safety directions.
 - Procedures for informing other contractors and employees of health and safety hazards.
 - Selection procedures for ensuring competency of other contractors, the self-employed and designers.
 - Procedures for communications between the project team, other contractors and site operatives.
 - Arrangements for cooperation and coordination between contractors.
 - Procedures for carrying out risk assessment and for managing and controlling the risk.
 - Emergency procedures including those for fire prevention and escape.
 - Arrangements for ensuring that all accidents, illness and dangerous occurrences are recorded.
 - Arrangements for welfare facilities.
 - Procedures for ensuring that all persons on site have received relevant health and safety information and training.
 - Arrangements for consulting with and taking the views of people on site.
 - Arrangements for preparing site rules and drawing them to the attention of those affected and ensuring their compliance.
 - Monitoring procedures to ensure compliance with site rules, selection and management procedures, health and safety standards and statutory requirements.
 - Review procedures to obtain feedback.

599 FREEDOM OF INFORMATION

- Records: Retain, make available for inspection and supply on request information reasonably required to allow response to requests made under the provisions of the Freedom of Information Act.
- Determination: Submit requests received. Do not supply information to anyone other than the project participants without express written permission.
- Confidentiality: Maintain at all times.

A31 PROVISION, CONTENT AND USE OF DOCUMENTS

DEFINITIONS AND INTERPRETATIONS

- 110 DEFINITIONS
- Meaning: Terms, derived terms and synonyms used in the preliminaries/ general conditions and specification are as stated therein or in the appropriate British Standard or British Standard glossary.
- 120 COMMUNICATION
- Definition: Includes advise, inform, submit, give notice, instruct, agree, confirm, seek or obtain information, consent or instructions, or make arrangements.
 - Format: In writing to the person named in clause A10/140 unless specified otherwise.
 - Response: Do not proceed until response has been received.
- 130 PRODUCTS
- Definition: Materials, both manufactured and naturally occurring, and goods, including components, equipment and accessories, intended for the permanent incorporation in the Works.
 - Includes: Goods, plant, materials, site materials and things for incorporation into the Works.
- 135 SITE EQUIPMENT
- Definition: Apparatus, appliances, machinery, vehicles or things of whatsoever nature required in or about the construction for the execution and completion of the Works but not materials or other things intended to form or forming part of the Permanent Works.
 - Includes: Construction appliances, vehicles, consumables, tools, temporary works, scaffolding, cabins and other site facilities.
 - Excludes: Products and equipment or anything intended to form or forming part of the permanent works.
- 140 DRAWINGS
- Definitions: To BSRIA BG 6 A design framework for building services. Design activities and drawing definitions.
 - CAD data: In accordance with BS 1192.
- 145 CONTRACTOR'S CHOICE
- Meaning: Selection delegated to the Contractor, but liability to remain with the specifier.
- 155 SUBMIT PROPOSALS
- Meaning: Submit information in response to specified requirements.

160 TERMS USED IN SPECIFICATION

- Remove: Disconnect, dismantle as necessary and take out the designated products or work and associated accessories, fixings, supports, linings and bedding materials. Dispose of unwanted materials. Excludes taking out and disposing of associated pipework, wiring, ductwork or other services.
- Fix: Receive, unload, handle, store, protect, place and fasten in position and disposal of waste and surplus packaging including all labour, materials and site equipment for that purpose.
- Supply and fix: As above, but including supply of products to be fixed. All products to be supplied and fixed unless stated otherwise.
- Keep for reuse: Do not damage designated products or work. Clean off bedding and jointing materials. Stack neatly, adequately protect and store until required by the Employer/ Purchaser or for use in the Works as instructed.
- Make good: Execute local remedial work to designated work. Make secure, sound and neat. Excludes redecoration and/ or replacement.
- Replace: Supply and fix new products matching those removed. Execute work to match original new state of that removed.
- Repair: Execute remedial work to designated products. Make secure, sound and neat. Excludes redecoration and/ or replacement.
- Refix: Fix removed products.
- Ease: Adjust moving parts of designated products or work to achieve free movement and good fit in open and closed positions.
- Match existing: Provide products and work of the same appearance and features as the original, excluding ageing and weathering. Make joints between existing and new work as inconspicuous as possible.
- System: Equipment, accessories, controls, supports and ancillary items, including installation, necessary for that section of the work to function.

170 MANUFACTURER AND PRODUCT REFERENCE

- Definition: When used in this combination:
 - Manufacturer: the person or legal entity under whose name or trademark the particular product, component or system is marketed
 - Product reference: the proprietary brand name and/ or identifier by which the particular product, component or system is described.
- Currency: References are to the particular product as specified in the manufacturer's technical literature current on the date of the invitation to tender.

200 SUBSTITUTION OF PRODUCTS

- Products: If an alternative product to that specified is proposed, obtain approval before ordering the product.
- Reasons: Submit reasons for the proposed substitution.
- Documentation: Submit relevant information, including:
 - manufacturer and product reference;
 - cost;
 - availability;
 - relevant standards;
 - performance;
 - function;
 - compatibility of accessories;
 - proposed revisions to drawings and specification;
 - compatibility with adjacent work;
 - appearance;
 - copy of warranty/ guarantee.
- Alterations to adjacent work: If needed, advise scope, nature and cost.
- Manufacturers' guarantees: If substitution is accepted, submit before ordering products.

210 CROSS REFERENCES

- Accuracy: Check remainder of the annotation or item description against the terminology used in the section or clause referred to.
- Related terminology: Where a numerical cross-reference is not given the relevant sections and clauses of the specification will apply.
- Relevant clauses: Clauses in the referred to specification section dealing with general matters, ancillary products and execution also apply.
- Discrepancy or ambiguity: Before proceeding, obtain clarification or instructions.

220 REFERENCED DOCUMENTS

- Conflicts: Specification prevails over referenced documents.

230 EQUIVALENT PRODUCTS

- Inadvertent omission: Wherever products are specified by proprietary name the phrase 'or equivalent' is to be deemed included.

240 SUBSTITUTION OF STANDARDS

- Specification to British Standard or European Standard: Substitution may be proposed complying with a grade or category within a national standard of another Member State of the European Community or an international standard recognised in the UK.
- Before ordering: Submit notification of all such substitutions.
- Documentary evidence: Submit for verification when requested as detailed in clause A31/200. Any submitted foreign language documents must be accompanied by certified translations into English.

250 CURRENCY OF DOCUMENTS AND INFORMATION

- Currency: References to published documents are to the editions, including amendments and revisions, current on the date of the Invitation to Tender.

260 SIZES

- General dimensions: Products are specified by their co-ordinating sizes.
- Timber: Cross section dimensions shown on drawings are:
 - Target sizes as defined in BS EN 336 for structural softwood and hardwood sections.
 - Finished sizes for non-structural softwood or hardwood sawn and further processed sections.

DOCUMENTS PROVIDED ON BEHALF OF THE EMPLOYER

410 ADDITIONAL COPIES OF DRAWINGS/ DOCUMENTS

- Additional copies: Issued on request and charged to the Contractor.

440 DIMENSIONS

- Scaled dimensions: Do not rely on.

450 MEASURED QUANTITIES

- Ordering products and constructing the Works: The accuracy and sufficiency of the measured quantities is not guaranteed.
- Precedence: The specification and drawings shall override the measured quantities.

460 THE SPECIFICATION

- Coordination: All sections must be read in conjunction with Main Contract Preliminaries/ General conditions.

DOCUMENTS PROVIDED BY CONTRACTOR/ SUBCONTRACTORS/ SUPPLIERS

630 TECHNICAL LITERATURE

- Information: Keep on site for reference by all supervisory personnel:
 - Manufacturers' current literature relating to all products to be used in the Works.
 - Relevant British, EN or ISO Standards.

A32 MANAGEMENT OF THE WORKS

GENERALLY

110 SUPERVISION

- General: Accept responsibility for coordination, supervision and administration of the Works, including subcontracts.
- Coordination: Arrange and monitor a programme with each subcontractor, supplier, local authority and statutory undertaker, and obtain and supply information as necessary for coordination of the work.

118 VEHICLE SAFETY REQUIREMENTS

- Vehicle equipment: Ensure that all vehicles have the following:
 - Audible alert to other road users to the planned movement of the vehicle when the vehicle's indicators are in operation.
 - Prominent signage at the rear of the vehicle to warn cyclists of the dangers of passing the vehicle on the inside.
 - Properly adjusted class VI mirror/s or Fresnel lens to eliminate the near side blind spot.
 - Side under run guards.
- Driver training:
 - Drivers must be trained on vulnerable road user safety through an approved course and hold a current valid Certificate of Competence.
 - Drivers must have a valid driving licence and be legally able to drive the vehicle.
- Scheme membership: Submit evidence of registration with and accreditation to the Fleet Operator Recognition Scheme (FORS)
- Level of accreditation: N/A.
- Submittal date: N/A.

120 INSURANCE

- Documentary evidence: Before starting work on site submit details, and/ or policies and receipts for the insurances required by the Conditions of Contract.

130 INSURANCE CLAIMS

- Notice: If any event occurs which may give rise to any claim or proceeding in respect of loss or damage to the Works or injury or damage to persons or property arising out of the Works, immediately give notice to the Employer / Client, the person administering the contract on their behalf and the Insurers.
- Failure to notify: Indemnify the Employer against any loss, which may be caused by failure to give such notice.

140 CLIMATIC CONDITIONS

- Information: Record accurately and retain:
 - Daily maximum and minimum air temperatures (including overnight).
 - Delays due to adverse weather, including description of the weather, types of work affected and number of hours lost.

150 OWNERSHIP

- Alteration/ clearance work: Materials arising become the property of the Contractor except where otherwise stated. Remove from site as work proceeds.

PROGRAMME/ PROGRESS

210 PROGRAMME

- Master programme: Immediately when requested and before starting work on site submit in an approved form a master programme for the Works, which must include details of:
 - Planning and mobilisation by the Contractor
 - Subcontractor's work.
 - Running in, adjustment, commissioning and testing of all engineering services and installations.
 - Work resulting from instructions issued in regard to the expenditure of provisional sums.
 - Work by others concurrent with the Contract.
- Submit one copy.

245 START OF WORK ON SITE

- Notice: Before the proposed date for start of work on site give minimum notice of one week.

260 SITE MEETINGS

- General: Site meetings will be held to review progress and other matters arising from administration of the Contract.
- Frequency: weekly.
- Location: on site.
- Accommodation: Ensure availability at the time of such meetings.
- Attendees: Attend meetings and inform subcontractors and suppliers when their presence is required.
- Chairperson (who will also take and distribute minutes): Contract Administrator.

290 NOTICE OF COMPLETION

- Requirement: Give notice of the anticipated dates of completion of the whole or parts of the Works.
- Associated works: Ensure necessary access, services and facilities are complete.
- Period of notice (minimum): Two weeks.

310 EXTENSIONS OF TIME

- Notice: When a notice of the cause of any delay or likely delay in the progress of the works is given under the contract, written notice must also be given of all other causes which apply concurrently.
- Details: As soon as possible submit:
 - Relevant particulars of the expected effects, if appropriate, related to the concurrent causes.
 - An estimate of the extent, if any, of the expected delay in the completion of the Works beyond the date for completion.
 - All other relevant information required.

CONTROL OF COST

420 REMOVAL/ REPLACEMENT OF EXISTING WORK

- Extent and location: Agree before commencement.
- Execution: Carry out in ways that minimize the extent of work.

430 PROPOSED INSTRUCTIONS

- Estimates: If a proposed instruction requests an estimate of cost, submit without delay and in any case within seven days.

470 PRODUCTS NOT INCORPORATED INTO THE WORKS

- Ownership: At the time of each valuation, supply details of those products not incorporated into the Works which are subject to any reservation of title inconsistent with passing of property as required by the Conditions of Contract, together with their respective values.
- Evidence: When requested, provide evidence of freedom of reservation of title.

A33 QUALITY STANDARDS/ CONTROL

STANDARDS OF PRODUCTS AND EXECUTIONS

110 INCOMPLETE DOCUMENTATION

- General: Where and to the extent that products or work are not fully documented, they are to be:
 - Of a kind and standard appropriate to the nature and character of that part of the Works where they will be used.
 - Suitable for the purposes stated or reasonably to be inferred from the project documents.
- Contract documents: Omissions or errors in description and/ or quantity shall not vitiate the Contract nor release the Contractor from any obligations or liabilities under the Contract.

120 WORKMANSHIP SKILLS

- Operatives: Appropriately skilled and experienced for the type and quality of work.
- Registration: With Construction Skills Certification Scheme.
- Evidence: Operatives must produce evidence of skills/ qualifications when requested.

130 QUALITY OF PRODUCTS

- Generally: New. (Proposals for recycled products may be considered).
- Supply of each product: From the same source or manufacturer.
- Whole quantity of each product required to complete the Works: Consistent kind, size, quality and overall appearance.
- Tolerances: Where critical, measure a sufficient quantity to determine compliance.
- Deterioration: Prevent. Order in suitable quantities to a programme and use in appropriate sequence.

135 QUALITY OF EXECUTION

- Generally: Fix, apply, install or lay products securely, accurately, plumb, neatly and in alignment.
- Colour batching: Do not use different colour batches where they can be seen together.
- Dimensions: Check on-site dimensions.
- Finished work: Without defects, e.g. not damaged, disfigured, dirty, faulty, or out of tolerance.
- Location and fixing of products: Adjust joints open to view so they are even and regular.

140 EVIDENCE OF COMPLIANCE

- Proprietary products: Retain on site evidence that the proprietary product specified has been supplied.
- Performance specification: Submit evidence of compliance, including test reports indicating:
 - Properties tested.
 - Pass/ fail criteria.
 - Test methods and procedures.
 - Test results.
 - Identity of testing agency.
 - Test dates and times.
 - Identities of witnesses.
 - Analysis of results.

150 INSPECTIONS

- Products and executions: Inspection or any other action must not be taken as approval unless confirmed in writing referring to:
 - Date of inspection.
 - Part of the work inspected.
 - Respects or characteristics which are approved.
 - Extent and purpose of the approval.
 - Any associated conditions.

160 RELATED WORK

- Details: Provide all trades with necessary details of related types of work. Before starting each new type or section of work ensure previous related work is:
 - Appropriately complete.
 - In accordance with the project documents.
 - To a suitable standard.
 - In a suitable condition to receive the new work.
- Preparatory work: Ensure all necessary preparatory work has been carried out.

170 MANUFACTURER'S RECOMMENDATIONS/ INSTRUCTIONS

- General: Comply with manufacturer's printed recommendations and instructions current on the date of the Invitation to tender.
- Exceptions: Submit details of changes to recommendations or instructions.
- Execution: Use ancillary products and accessories supplied or recommended by main product manufacturer.
- Products: Comply with limitations, recommendations and requirements of relevant valid certificates.

180 WATER FOR THE WORKS

- Mains supply: Clean and uncontaminated.
- Other: Do not use until:
 - Evidence of suitability is provided.
 - Tested to BS EN 1008 if instructed.

ACCURACY/ SETTING OUT GENERALLY

330 APPEARANCE AND FIT

- Tolerances and dimensions: If likely to be critical to execution or difficult to achieve, as early as possible either:
 - Submit proposals; or
 - Arrange for inspection of appearance of relevant aspects of partially finished work.
- General tolerances (maximum): To BS 5606, tables 1 and 2.

SERVICES GENERALLY

410 SERVICES REGULATIONS

- New or existing services: Comply with the Byelaws or Regulations of the relevant Statutory Authority.

- 430 WATER REGULATIONS/ BYELAWS CONTRACTOR'S CERTIFICATE
- On completion of the work: Submit (copy where also required to the Water Undertaker) a certificate including:
 - The address of the premises.
 - A brief description of the new installation and/ or work carried out to an existing installation.
 - The Contractor's name and address.
 - A statement that the installation complies with the relevant Water Regulations or Byelaws.
 - The name and signature of the individual responsible for checking compliance.
 - The date on which the installation was checked.

- 435 ELECTRICAL INSTALLATION CERTIFICATE
- Submit: When relevant electrical work is completed.
 - Original certificate: To be lodged in the Building Manual.

- 445 SERVICE RUNS
- General: Provide adequate space and support for services, including unobstructed routes and fixings.
 - Ducts, chases and holes: Form during construction rather than cut.
 - Coordination with other works: Submit details of locations, types/ methods of fixing of services to fabric and identification of runs and fittings.

- 450 MECHANICAL AND ELECTRICAL SERVICES
- Final tests and commissioning: Carry out so that services are in full working order at completion of the Works.
 - Building Regulations notice: Copy to be lodged in the Building Manual.

SUPERVISION/ INSPECTION/ DEFECTIVE WORK

- 525 ACCESS
- Extent: Provide at all reasonable times access to the Works and to other places of the Contractor or subcontractors where work is being prepared for the Contract.
 - Designate: Contract Administrator.

- 530 OVERTIME WORKING
- Notice: Prior to overtime being worked, submit details of times, types and locations of work to be done.
 - Minimum period of notice: Three days.
 - Concealed work: If executed during overtime for which notice has not been given, it may be required to be opened up for inspection and reinstated at the Contractor's expense.

- 540 DEFECTS IN EXISTING WORK
- Undocumented defects: When discovered, immediately give notice. Do not proceed with affected related work until response has been received.
 - Documented remedial work: Do not execute work which may:
 - Hinder access to defective products or work; or
 - Be rendered abortive by remedial work.

- 560 TESTS AND INSPECTIONS
- Timing: Agree and record dates and times of tests and inspections to enable all affected parties to be represented.
 - Confirmation: One working day prior to each such test or inspection. If sample or test is not ready, agree a new date and time.
 - Records: Submit a copy of test certificates and retain copies on site.

610 DEFECTIVE PRODUCTS/ EXECUTIONS

- Proposals: Immediately any work or product is known, or appears, to be not in accordance with the Contract, submit proposals for opening up, inspection, testing, making good, adjustment of the Contract Sum, or removal and re-execution.
- Acceptability: Such proposals may be unacceptable and contrary instructions may be issued.

WORK AT OR AFTER COMPLETION

710 WORK BEFORE COMPLETION

- General: Make good all damage consequent upon the Works.
Temporary markings, coverings and protective wrappings: Remove unless otherwise instructed.
- Cleaning: Clean the Works thoroughly inside and out, including all accessible ducts and voids. Remove all splashes, deposits, efflorescence, rubbish and surplus materials.
- Cleaning materials and methods: As recommended by manufacturers of products being cleaned, and must not damage or disfigure other materials or construction.
- COSHH dated data sheets: Obtain for all materials used for cleaning and ensure they are used only as recommended by their manufacturers.
- Minor faults: Touch up in newly painted work, carefully matching colour and brushing out edges. Repaint badly marked areas back to suitable breaks or junctions.
- Moving parts of new work: Adjust, ease and lubricate as necessary to ensure easy and efficient operation, including doors, windows, drawers, ironmongery, appliances, valves and controls.

720 SECURITY AT COMPLETION

- General: Leave the Works secure with, where appropriate, all accesses closed and locked.
- Keys: Account for and adequately label all keys and hand over together with an itemized schedule, retaining duplicate schedule signed as a receipt.

730 MAKING GOOD DEFECTS

- Remedial work: Arrange access with Contract Administrator.
- Rectification: Give reasonable notice for access to the various parts of the Works.
- Completion: Notify when remedial works have been completed.

A34 SECURITY/ SAFETY/ PROTECTION

SECURITY, HEALTH AND SAFETY

- 120 EXECUTION HAZARDS
- Common hazards: Not listed. Control by good management and site practice.
 - Significant hazards: The design of the project includes the following:
 - Hazard: Asbestos and live services. Refer to PCI.
 - Precautions assumed: Refer to PCI and integrate in the CPP.
 - Specification reference: Refer to PCI and integrate in the CPP.
 - Drawing reference: Refer to PCI and integrate in the CPP.
- 130 PRODUCT HAZARDS
- Hazardous substances: Site personnel levels must not exceed occupational exposure standards and maximum exposure limits stated in the current version of HSE document EH40: Workplace Exposure Limits.
 - Common hazards: Not listed. Control by good management and site practice.
 - Significant hazards: Specified construction materials include the following:
 - Hazard: Confirm in CPP.
 - Material: Confirm in CPP.
 - Specification reference: Confirm in CPP.
- 140 CONSTRUCTION PHASE HEALTH AND SAFETY PLAN
- Submission: Present to the Employer/ Client no later than one week before commencement.
 - Confirmation: Do not start construction work until the Employer has confirmed in writing that the Construction Phase Health and Safety Plan includes the procedures and arrangements required by the CDM Regulations.
 - Content: Develop the plan from and draw on the Outline Construction Phase Health and Safety Plan, clause A30/570, and the Pre-tender Health and Safety Plan/ Preconstruction information.
- 150 SECURITY
- Protection: Safeguard the site, the Works, products, materials, and any existing buildings affected by the Works from damage and theft.
 - Access: Take all reasonable precautions to prevent unauthorized access to the site, the Works and adjoining property.
 - Special requirements: Compound to remain secure - refer to PCI.
- 160 STABILITY
- Responsibility: Maintain the stability and structural integrity of the Works and adjacent structures during the Contract.
 - Design loads: Obtain details, support as necessary and prevent overloading.
- 170 OCCUPIED PREMISES
- Extent: Existing buildings will be occupied and/ or used during the Contract as follows: Refer to PCI.
 - Works: Carry out without undue inconvenience and nuisance and without danger to occupants and users.
 - Overtime: If compliance with this clause requires certain operations to be carried out during overtime, and such overtime is not required for any other reason, the extra cost will be allowed, provided that such overtime is authorized in advance.

210 SAFETY PROVISIONS FOR SITE VISITS

- Safety: Submit details in advance of safety provisions and procedures (including those relating to materials, which may be deleterious), which will require their compliance when visiting the site.
- Protective clothing and/ or equipment: Provide and maintain on site for visitors to the site.

PROTECT AGAINST THE FOLLOWING

330 NOISE AND VIBRATION

- Standard: Comply with the recommendations of BS 5228-1, in particular clause 7.3, to minimize noise levels during the execution of the Works.
- Noise levels from the Works: Maximum level: 80 dB(A) when measured from 2m.
- Equipment: Fit compressors, percussion tools and vehicles with effective silencers of a type recommended by manufacturers of the compressors, tools or vehicles.
- Restrictions: Do not use:
 - Percussion tools and other noisy appliances without consent during the hours of Apply before usage.
 - Radios or other audio equipment or permit employees to use in ways or at times that may cause nuisance.

340 POLLUTION

- Prevention: Protect the site, the Works and the general environment including the atmosphere, land, streams and waterways against pollution.
- Contamination: If pollution occurs inform immediately, including to the appropriate Authorities and provide relevant information.

350 PESTICIDES

- Use: Not permitted.

360 NUISANCE

- Duty: Prevent nuisance from smoke, dust, rubbish, vermin and other causes.
- Surface water: Prevent hazardous build-up on site, in excavations and to surrounding areas and roads.

370 ASBESTOS CONTAINING MATERIALS

- Duty: Report immediately any suspected materials discovered during execution of the Works.
 - Do not disturb.
 - Agree methods for safe removal or encapsulation.

371 DANGEROUS OR HAZARDOUS SUBSTANCES

- Duty: Report immediately suspected materials discovered during execution of the Works.
 - Do not disturb.
 - Agree methods for safe removal or remediation.

380 FIRE PREVENTION

- Duty: Prevent personal injury or death, and damage to the Works or other property from fire.
- Standard: Comply with Joint Code of Practice 'Fire Prevention on Construction Sites', published by Construction Industry Publications and The Fire Protection Association (The 'Joint Fire Code').

390 SMOKING ON SITE

- Smoking on site: Not permitted.

400 BURNING ON SITE

- Burning on site: Not permitted.

410 MOISTURE

- Wetness or dampness: Prevent, where this may cause damage to the Works.
- Drying out: Control humidity and the application of heat to prevent:
 - Blistering and failure of adhesion.
 - Damage due to trapped moisture.
 - Excessive movement.

420 INFECTED TIMBER/ CONTAMINATED MATERIALS

- Removal: Where instructed to remove material affected by fungal/ insect attack from the building, minimize the risk of infecting other parts of the building.
- Testing: carry out and keep records of appropriate tests to demonstrate that hazards presented by concentrations of airborne particles, toxins and other micro organisms are within acceptable levels.

430 WASTE

- Includes: Rubbish, debris, spoil, surplus material, containers and packaging.
- General: Minimize production. Prevent accumulations. Keep the site and Works clean and tidy.
- Handling: Collect and store in suitable containers. Remove frequently and dispose off site in a safe and competent manner:
 - Non-hazardous material: In a manner approved by the Waste Regulation Authority.
 - Hazardous material: As directed by the Waste Regulation Authority and in accordance with relevant regulations.
- Recyclable material: Sort and dispose at a Materials Recycling Facility approved by the Waste Regulation Authority.
- Voids and cavities in the construction: Remove rubbish, dirt and residues before closing in.
- Waste transfer documentation: Retain on site.

PROTECT THE FOLLOWING

510 EXISTING SERVICES

- Confirmation: Notify all service authorities, statutory undertakers and/ or adjacent owners of proposed works not less than one week before commencing site operations.
- Identification: Before starting work, check and mark positions of utilities/ services. Where positions are not shown on drawings obtain relevant details from service authorities, statutory undertakers or other owners.
- Work adjacent to services:
 - Comply with service authority's/ statutory undertaker's recommendations.
 - Adequately protect, and prevent damage to services: Do not interfere with their operation without consent of service authorities/ statutory undertakers or other owners.
- Identifying services:
 - Below ground: Use signboards, giving type and depth;
 - Overhead: Use headroom markers.
- Damage to services: If any results from execution of the Works:
 - Immediately give notice and notify appropriate service authority/ statutory undertaker.
 - Make arrangements for the work to be made good without delay to the satisfaction of service authority/ statutory undertaker or other owner as appropriate.
 - Any measures taken to deal with an emergency will not affect the extent of the Contractor's liability.
- Marker tapes or protective covers: Replace, if disturbed during site operations, to service authority's/ statutory undertakers recommendations.

- 520 **ROADS AND FOOTPATHS**
- Duty: Maintain roads and footpaths within and adjacent to the site and keep clear of mud and debris.
 - Damage caused by site traffic or otherwise consequent upon the Works: Make good to the satisfaction of the Employer, Local Authority or other owner.
- 540 **RETAINED TREES/ SHRUBS/ GRASSED AREAS**
- Protection: Preserve and prevent damage, except those not required.
 - Replacement: Mature trees and shrubs if uprooted, destroyed, or damaged beyond reasonable chance of survival in their original shape, as a consequence of the Contractor's negligence, must be replaced with those of a similar type and age at the Contractor's expense.
- 560 **EXISTING FEATURES**
- Protection: Prevent damage to existing buildings, fences, gates, walls, roads, paved areas and other site features, which are to remain in position during execution of the Works.
 - Special requirements: Protect listed building and occupants of both this and Shire Hall Suite.
- 570 **EXISTING WORK**
- Protection: Prevent damage to existing work, structures or other property during the course of the work.
 - Removal: Minimum amount necessary.
 - Replacement work: To match existing.
- 580 **BUILDING INTERIORS**
- Protection: Prevent damage from exposure to the environment, including weather, flora, fauna, and other causes of material degradation during the course of the work.
- 625 **ADJOINING PROPERTY RESTRICTIONS**
- Precautions:
 - Prevent trespass of workpeople and take precautions to prevent damage to adjoining property.
 - Pay all charges.
 - Remove and make good on completion or when directed.
 - Damage: Bear cost of repairing damage arising from execution of the Works.
- 630 **EXISTING STRUCTURES**
- Duty: Check proposed methods of work for effects on adjacent structures inside and outside the site boundary.
 - Supports: During execution of the Works:
 - Provide and maintain all incidental shoring, strutting, needling and other supports as may be necessary to preserve stability of existing structures on the site or adjoining, that may be endangered or affected by the Works.
 - Do not remove until new work is strong enough to support existing structure.
 - Prevent oversteering of completed work when removing supports.
 - Adjacent structures: Monitor and immediately report excessive movement.
 - Standard: Comply with BS 5975 and BS EN 12812.
- 640 **MATERIALS FOR RECYCLING/ REUSE**
- Duty: Sort and prevent damage to stated products or materials, clean off bedding and jointing materials and other contaminants.
 - Storage: Stack neatly and protect until required by the Employer or for use in the Works as instructed.

A36 FACILITIES/ TEMPORARY WORK/ SERVICES

ACCOMMODATION

- 210 ROOM FOR MEETINGS
- Facilities: Provide suitable temporary accommodation for site meetings, adequately heated and lit. The room may be part of the Contractor's own site offices.
 - Furniture and Equipment: Provide table and chairs for 3 people.
- 230 TEMPORARY ACCOMMODATION
- Proposals for temporary accommodation and storage for the Works: Submit two weeks prior to starting on site.
 - Details to be included: Type of accommodation and storage, its siting and the programme for site installation and removal.

SERVICES AND FACILITIES

- 420 LIGHTING AND POWER
- Supply: Electricity from the existing mains may be used for the Works as follows:
 - Metering: Metered by the Employer and charged to the Contractor.
 - Point of supply: in existing store.
 - Available capacity: TBC.
 - Frequency: 50 Hz.
 - Phase: TBC.
 - Current: Alternating.
 - Continuity: No responsibility will be accepted for the consequences of failure or restriction in supply.
- 430 WATER
- Supply: The existing mains may be used for the Works as follows:
 - Metering: Metered by the Employer and charged to the Contractor.
 - Source: in existing store.
 - Location of supply point: TBC.
 - Conditions/ Restrictions: TBC.
 - Continuity: No responsibility will be accepted for the consequences of failure or restriction in supply.
- 440 TELEPHONES
- Direct communication: As soon as practicable after the Date of Possession provide the Contractor's person in charge with a mobile telephone.
- 540 METER READINGS
- Charges for service supplies: Where to be apportioned ensure that:
 - Meter readings are taken by relevant authority at possession and/ or completion as appropriate.
 - Copies of readings are supplied to interested parties.

570 PERSONAL PROTECTIVE EQUIPMENT

- General: Provide for the sole use of other members of the project team, in sizes to be specified:
 - Safety helmets to BS EN 397, neither damaged nor time expired. Number required: 1.
 - High visibility waistcoats to BS EN ISO 20471 Class 2. Number required: 1.
 - Safety boots with steel insole and toecap to BS EN ISO 20345. Pairs required: 0.
 - Disposable respirators to BS EN 149.FFP1S.
 - Eye protection to BS EN 166.
 - Ear protection - muffs to BS EN 352-1, plugs to BS EN 352-2
 - Hand protection - to BS EN 388, 407, 420 or 511 as appropriate.

A37 OPERATION/ MAINTENANCE OF THE FINISHED WORKS

GENERALLY

- 110 THE BUILDING MANUAL
- Responsibility: The Contractor
 - Content: Obtain and provide comprehensive information for owners and users of the completed Works. Include an overview of the main design principles and describe key components and systems within the finished Works, so affording a complete understanding of the Works, including all buildings and their systems to enable efficient and safe operation and maintenance.
 - Specific requirements: Refer to PCI.
 - Format: Electronic.
 - Number of copies: 1.
 - Delivery to: CA. by (date) completion.
- 115 THE HEALTH AND SAFETY FILE
- Responsibility: the Principal Designer.
 - Content: Obtain and provide the following information: Contractor to provide information as required by CA.
 - Format: Electronic
 - Delivery to: Client By (date): 2 weeks after completion.
- 155 CONTENT OF THE BUILDING MANUAL
- General: Details of the property, the parties, fire safety strategy, operational requirements and constraints of a general nature.
 - Building fabric: Design criteria, maintenance details, product details, and environmental and trafficking conditions.
 - Building services: Description and operation of systems, diagrammatic drawings, record drawings, identification of services, product details, equipment settings, maintenance schedules, consumable items, spares and emergency procedures.
 - Documentation: Guarantees, warranties, maintenance agreements, test certificates and reports.
- 160 PRESENTATION OF BUILDING MANUAL
- Format: A4 size, plastics covered, loose leaf, four ring binders with hard covers, each indexed, divided and appropriately cover titled.
 - Selected drawings needed to illustrate or locate items mentioned in the Manual: Where larger than A4, to be folded and accommodated in the binders so that they may be unfolded without being detached from the rings.
 - As-built drawings: The main sets may form annexes to the Manual.

A53 WORK BY STATUTORY AUTHORITIES/ UNDERTAKERS

120 WORK BY STATUTORY UNDERTAKERS

- Item: Electrical main.
- Description of work: Relocate incoming electrical main from current to new store room.
- Provisional Sum: Include £600.00-.
- Allow for general attendance.

A54 PROVISIONAL WORK/ ITEMS

110A PROVISIONAL SUMS FOR DEFINED WORK

- Item: Repairs to existing roof.
- Description of work: Repairs to existing roof.
- Provisional Sums: Include £250.00.
- Allow for general attendance.

110B PROVISIONAL SUMS FOR DEFINED WORK

- Item: Shelving in store room.
- Description of work: Shelving in store room.
- Provisional Sums: Include £250.00.
- Allow for general attendance.

590 CONTINGENCIES

- Provisional sum: Include: £750.00.



NBS Specification

BTC Fair Park Public Toilets

09 August 2019

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C20 Demolition

- 25 LOCATION OF SERVICES
- Services affected by the Works: Locate and mark positions.
 - Mains services marking: Arrange with the appropriate authorities for services to be located and marked.
- 30 SERVICES DISCONNECTION ARRANGED BY CONTRACTOR
- Responsibility: Before starting deconstruction/ demolition arrange with the appropriate authorities for disconnection of services owned by those authorities and removal of associated fittings and equipment.
- 32 DISCONNECTION OF DRAINS
- General: Locate, disconnect and seal disused foul and surface water drains.
 - Sealing: Permanent, and within the site.
- 35 LIVE FOUL AND SURFACE WATER DRAINS
- General: Protect drains and fittings still in use. Keep free of debris and ensure normal flow during deconstruction/ demolition work.
 - Damage: Make good damage arising from deconstruction/ demolition work. Leave clean and in working order at completion of deconstruction/ demolition work.
- 45 SERVICES TO BE RETAINED
- Damage to services: Give notice, and notify relevant service authorities and/ or owner/ occupier regarding damage arising from deconstruction/ demolition.
 - Repairs to services: Complete as directed, and to the satisfaction of the service authority or owner.
- 76 ASBESTOS-CONTAINING MATERIALS – UNKNOWN OCCURENCES
- Discovery: Give notice immediately of suspected asbestos-containing materials when discovered during deconstruction/ demolition work. Avoid disturbing such materials.
 - Removal: Submit statutory risk assessments and details of proposed methods for safe removal.
- 78 UNFORESEEN HAZARDS
- Discovery: Give notice immediately when hazards, such as unrecorded voids, tanks, chemicals, are discovered during deconstruction/ demolition.
 - Removal: Submit details of proposed methods for filling, removal, etc.
- 90 CONTRACTOR'S PROPERTY
- Components and materials arising from the deconstruction/ demolition work: Property of the Contractor except where otherwise provided.
 - Action: Remove from site as work proceeds where not to be reused or recycled for site use.

D20 Excavating and filling

65 HARDCORE

- Fill: Granular material, free from harmful matter and excessive dust or clay, well graded, all pieces less than 75 mm in any direction, and in any one layer only one of the following:
 - Crushed hard rock (other than argillaceous rock) or quarry waste.
 - Crushed concrete, brick or tile, free from plaster.
 - Gravel or hoggin.
- Filling: Spread and level both backfilling and general filling in layers not exceeding 150 mm. Thoroughly compact each layer.

75 BLINDING TO HARDCORE

- Surfaces to receive sheet overlays or concrete: Blind with:
 - Concrete where shown on drawings; or
 - Sand, fine gravel, or other approved fine material applied to provide a closed smooth surface.
- Permissible deviation on surface level: +0 -25mm.

E10 Mixing/ Casting/ Curing in situ concrete

15 SPECIFICATION

- Concrete generally: To BS 8500-2.
- Exchange of information: Provide concrete producer with information required by BS 8500-1, clauses 4 and 5.

60 PLACING AND COMPACTING

- Surfaces to receive concrete: Clean, with no debris, tying wire clippings, fastenings or free water.
- Timing: Place as soon as practicable after mixing and while sufficiently plastic for full compaction.
- Temperature limitations for concrete: 30°C (maximum) and 5°C (minimum). Do not place against frozen or frost covered surfaces.
- Compaction: Fully compact to full depth to remove entrapped air especially around reinforcement, cast-in accessories, into corners of formwork and at joints. Continue until air bubbles cease to appear on the top surface.
 - Methods of compaction: To suit consistence class and use of concrete.

70 CURING AND PROTECTING

- Evaporation from surfaces of concrete: Prevent throughout curing period.
 - Surfaces covered by formwork: Retain formwork in position and, where necessary to satisfy curing period, cover surfaces immediately after striking.
 - Top surfaces: Cover immediately after placing and compacting. Replace cover immediately after any finishing operations.
- Curing periods:
 - Surfaces which in the finished building will be exposed to the elements, and wearing surfaces of floors and pavements: 10 days (minimum).
 - Other structural concrete surfaces: 5 days (minimum).
- Protection: Protect concrete from shock, indentation and physical damage.

E20 Formwork for in situ concrete

70 FORMWORK

- General: Accurately and robustly constructed to produce finished concrete to the required dimensions.
- Formed surfaces: Free from twist and bow with intersections, lines and angles square, plumb and true.
- Joints between forms and completed work: Prevent loss of grout and formation of steps.
- Holes and chases: Form with inserts or box out as required.

F10 Brick/ block walling

51 BASIC WORKMANSHIP

- Bond where not specified: Half lap stretcher.
- Mortar joints: Fill all vertical joints. Lay bricks, solid and cellular blocks on a full bed.
- AAC block thin mortar adhesive and gypsum block adhesive joints: Fill vertical joints. Lay blocks on a full bed.
- Clay block joints:
 - Thin layer mortar: Lay blocks on a full bed.
 - Interlocking perpend: Butted.
- Quoins and advance work: Rack back.
- Locations for equal levelling of cavity wall leaves:
 - Every course containing vertical twist type ties or other rigid ties.
 - Every third tie course for double triangle/ butterfly ties.
 - Courses in which lintels are to be bedded.
- Lift height (maximum) for walling using cement gauged or hydraulic lime mortar: 1.2 m above any other part of work at any time.
- Daily lift height (maximum) for walling using cement gauged or hydraulic lime mortar: 1.5 m for any one leaf.
- Lift height (maximum) for walling using thin joint mortar glue: 1.3 m above any other part of work at any time.

60 ALTERATIONS/ EXTENSIONS

- Coursing: Line up with existing work.
- Block bonding new walls to existing: Unless agreed otherwise cut pocket requirements as follows:
 - Width: Full thickness of new wall.
 - Depth (minimum): 100 mm.
 - Vertical spacing: As follows:
 - Brick to brick: 4 courses high at 8 course centres.
 - Block to block: Every other course.
 - Pocket joints: Fully filled with mortar.
- New and existing facework in the same plane: Bonded together at every course to achieve continuity of bond and coursing.
- Support of existing work: Fully consolidate joint above inserted lintel or masonry with semidry mortar to support existing structure.

G20 Carpentry/ timber framing/ first fixing

2 TIMBER PROCUREMENT

- Timber (including timber for wood based products): Obtained from well managed forests/ plantations in accordance with:
 - The laws governing forest management in the producer country or countries.
 - International agreements such as the Convention on International Trade in Endangered Species of wild fauna and flora (CITES).
- Documentation: Provide either:
 - Documentary evidence (which has been or can be independently verified) regarding the provenance of all timber supplied, or
 - Evidence that suppliers have adopted and are implementing a formal environmental purchasing policy for timber and wood based products.

5 STRUCTURAL SOFTWOOD FOR STRUCTURAL USE GENERALLY

- Grading standard: To BS 4978, BS EN 14081-1, or other national equivalent and so marked.
 - Timber of a target thickness less than 100 mm and not specified for wet exposure: Graded at an average moisture content not exceeding 20% with no reading being in excess of 24% and clearly marked as 'DRY' or 'KD' (kiln dried).
 - Timber graded undried (green) and specified for installation at higher moisture contents: Clearly marked as 'WET' or 'GRN'.
- Strength class to BS EN 338: C16.
- Treatment: Organic solvent impregnation to NBS section Z12 and Wood Protection Association Commodity Specification C8, Service life: 40 years.

30 SELECTION AND USE OF TIMBER

- Timber members damaged, crushed or split beyond the limits permitted by their grading: Do not use.

32 NOTCHES, HOLES AND JOINTS IN TIMBER

- Notches and holes: Position in relation to knots or other defects such that the strength of members will not be reduced.
- Scarf joints, finger joints and splice plates: Do not use without approval.

35 PROCESSING TREATED TIMBER

- Cutting and machining: Carry out as much as possible before treatment.
- Extensively processed timber: Retreat timber sawn lengthways, thickened, planed, ploughed, etc.
- Surfaces exposed by minor cutting/ drilling: Treat with two flood coats of a solution recommended by main treatment solution manufacturer.

40 MOISTURE CONTENT

- Moisture content of wood and wood based products at time of installation: Not more than:
 - Covered in generally unheated spaces: 24%.
 - Covered in generally heated spaces: 20%.
 - Internal in continuously heated spaces: 20%.

50 ADDITIONAL SUPPORTS

- Provision: Position and fix additional studs, noggings and/ or battens to support edges of sheet materials, and wall/ floor/ ceiling mounted appliances, fixtures, etc. shown on drawings.
- Material properties: Timber to be of adequate size and have the same treatment as adjacent timber supports.

70 TRIMMING OPENINGS

- Trimmers and trimming joists: Not less than 25 mm wider than general joists.

H60 Plain roof tiling

K10 Gypsum board dry linings/ partitions/ ceilings

25 LINING ON TIMBER FRAMED CEILINGS

- Substrate: Joists at existing centres.
- Linings: 12.5 mm foil backed plasterboard.
 - Recycled content: Not applicable.
- Fixing: Screws at 230 mm centres.
- Finishing: Not required.
 - Primer/ Sealer: Not required.
 - Accessories: Not required.

69 INSTALLING BEADS/ STOPS

- Cutting: Neatly using mitres at return angles.
- Fixing: Securely using longest possible lengths, plumb, square and true to line and level, ensuring full contact of wings with substrate.
- Finishing: After joint compounds/ plasters have been applied, remove surplus material while still wet from surfaces of beads exposed to view.

70 ADDITIONAL SUPPORTS

- Framing: Accurately position and securely fix to give full support to:
 - Partition heads running parallel with, but offset from main structural supports.
 - Fixtures, fittings and services.
 - Board edges and lining perimeters.

75 NEW WET LAID BASES

- Dpcs: Install under full width of partitions/ freestanding wall linings.

87 SEALING GAPS AND AIR PATHS

- Sealing: Apply sealant to perimeter abutments and around openings as a continuous bead with no gaps.
 - Gaps between floor and underside of gypsum board: After sealing, fill with joint compound.

L10 Windows/ Rooflights/ Screens/ Louvres

75 SEALANT JOINTS

- Sealant:
 - Manufacturer: Contractor's choice.
Product reference: Contractor's choice.
 - Colour: to match.
 - Application: As section Z22 to prepared joints. Finish triangular fillets to a flat or slightly convex profile.

80 IRONMONGERY

- Fixing: In accordance with any third party certification conditions applicable. Assemble and fix carefully and accurately using fasteners with matching finish supplied by ironmongery manufacturer. Do not damage ironmongery and adjacent surfaces.
- Checking/ adjusting/ lubricating: Carry out at completion and ensure correct functioning.

90 REPLACEMENT WINDOW INSTALLATION

- Standard: To BS 8213-4.

L20 Doors/ shutters/ hatches

80 SEALANT JOINTS

- Sealant:
 - Manufacturer: Contractor's choice .
Product reference: Contractor's choice .
 - Colour: to match .
 - Application: As section Z22 to prepared joints. Triangular fillets finished to a flat or slightly convex profile.

85 FIXING IRONMONGERY GENERALLY

- Fasteners: Supplied by ironmongery manufacturer.
 - Finish/ Corrosion resistance: To match ironmongery.
- Holes for components: No larger than required for satisfactory fit/ operation.
- Adjacent surfaces: Undamaged.
- Moving parts: Adjusted, lubricated and functioning correctly at completion.

M10 Cement based levelling/ wearing screeds

7A CEMENT

- Manufacturer: ARDEX UK Ltd.
 - Web: ardex.co.uk.
 - Email: info@ardex.co.uk.
 - Product reference: ARDEX A 35 Ultra Rapid Drying Cement for Internal Screeds

45 AGGREGATES AND CEMENTS

- Sand: To BS EN 13139.
 - Grading limits: In accordance with BS 8204-1, Table B.1.
- Coarse aggregates:
 - Standard: To BS EN 12620.
- Cement:
 - Cement types: In accordance with BS 8204-1, clause 5.1.3.

47 ADMIXTURES

- Standards; In accordance with BS 8204-1, Table 1.
- Calcium chloride: Do not use in admixtures.

50 MIXING

- Water content: Minimum necessary to achieve full compaction.
- Mixing: Mix materials thoroughly to uniform consistency in a suitable forced action mechanical mixer.

52 COMPACTION

- General: Compact thoroughly over entire area.
- Screeds over 50 mm thick: Lay in two layers of equal thickness. Roughen surface of compacted lower layer then immediately lay upper layer.

75 TROWELLED FINISH TO LEVELLING SCREEDS

- Floating: To an even texture with no ridges or steps.
- Trowelling: To a uniform smooth surface, free from trowel marks and other blemishes, and suitable to receive specified flooring material.

90 CURING

- Curing period (minimum): As soon as screed has set sufficiently, closely cover with polyethylene sheeting for seven days.
- Drying after curing: Allow screeds to dry gradually.

M20 Plastered/ Rendered/ Roughcast coatings

- 10 CEMENT:LIME:SAND External plinth 150mm above ground level.
- Substrate: Concrete/brick.
 - Preparation: Roughen surface.
 - Mortar: Contractor's choice.
 - Sand: To BS EN 13139.
 - Grading: 0/2 or 0/4 (CP or MP); category 2 fines.
 - Lime: Nonhydraulic to BS EN 459-1, type CL 90S.
 - Undercoats:
 - Mix (cement:lime:sand): 1:1:6 using sulfate resisting cement.
 - Thickness (excluding dubbing out and keys): 8-12mm.
 - Final coat:
 - Mix (cement:lime:sand): 1:1:5-6.
 - Thickness: 6-10mm.
 - Finish: Plain.
- 15 CEMENT:LIME:SAND ROUGHCAST (HARLING) All external wall areas
- Substrate: Concrete/brick.
 - Preparation: Roughen surface.
 - Mortar: Contractor's choice.
 - Sand: To BS EN 13139.
 - Grading: 0/2 or 0/4 (CP or MP); category 2 fines.
 - Lime: Nonhydraulic to BS EN 459-1, type CL 90S.
 - Undercoats:
 - Mix (cement:lime:sand): 1:1:6 using sulfate resisting cement.
 - Thickness (excluding dubbing out and keys): 8-12mm.
 - Final coat:
 - Coarse aggregate: To BS EN 12620.
 - Type: Rounded gravel.
 - Single size: 2/6.3 mm (5 mm).
 - Mix (cement:lime:sand:coarse aggregate): 5-8 mm.
 - Finish: Roughcast to an even thickness and texture.
- 60 CEMENTS FOR MORTARS
- Cement: To BS EN 197-1.
 - Types: Portland cement, CEM I.
Portland slag cement, CEM II.
Portland fly ash cement, CEM II.
 - Strength class: 32.5, 42.5 or 52.5.
 - Sulfate resisting cement: To BS EN 197-1.
 - Strength class: 42.5.
 - Masonry cement: To BS EN 998-1 and Kitemarked
 - Class: MC 12.5 (with air entraining agent).
- 62 ADMIXTURES FOR CEMENT GAUGED MORTARS
- Air entraining (plasticizing) admixtures: To BS EN 934-2 and compatible with other mortar constituents.
 - Other admixtures: Submit proposals.
 - Prohibited admixtures: Calcium chloride and admixtures containing calcium chloride.

- 65 MIXING
- Render mortars (site-made):
 - Batching: By volume using gauge boxes or buckets.
 - Mix proportions: Based on damp sand. Adjust for dry sand.
 - Mixes: Of uniform consistence and free from lumps.
- 67 COLD WEATHER
- Internal work: Take precautions to prevent damage to internal coatings when air temperature is below 3°C.
 - External work: Avoid when air temperature is at or below 5°C and falling or below 3°C and rising.
- 71 SUITABILITY OF SUBSTRATES
- General: Suitable to receive coatings. Sound, free from contamination and loose areas.
- 80 PLASTERBOARD BACKINGS
- Additional framing supports:
 - Fixtures, fittings and service outlets: Accurately position to suit fasteners.
 - Board edges and perimeters: To suit type and performance of board.
 - Joints:
 - Joint widths (maximum): 3 mm.
 - End joints: Stagger between rows.
 - Two layer boarding: Stagger joints between layers.
 - Joint reinforcement tape: Apply to joints and angles except where coincident with metal beads.
- 82 BEADS/ STOPS
- Location: External angles and stop ends.
 - Materials:
 - External render: Stainless steel.
 - Internal plaster/ render: Galvanized steel.
 - Fixing: Secure and true to line and level.
 - Beads/ stops to external render: Fix mechanically.
- 87 APPLICATION OF COATINGS
- General: Apply coatings firmly and achieve good adhesion.
 - Appearance of finished surfaces: Even and consistent. Free from rippling, hollows, ridges, cracks and crazing.
 - Accuracy: Finish to a true plane with walls and reveals plumb and square.
 - Drying out: Prevent excessively rapid or localized drying out.
 - Keying undercoats: Cross scratch (plaster coatings) and comb (render coatings). Do not penetrate undercoat.
- 93 CURING AND DRYING OF RENDER COATINGS
- Curing: Keep each coat damp by covering with polyethylene sheet and/ or spraying with water
 - Curing period (minimum): 7 days.
 - Drying: Allow each coat to dry thoroughly, with shrinkage substantially complete before applying next coat.
- 99A RENDER FINAL COAT - PLAIN FLOATED FINISH Plinth only
- Finish: Even, open texture free from laitance.

M60 Painting/ clear finishing

30 PREPARATION GENERALLY

- Standard: In accordance with BS 6150.
- Refer to any pre-existing CDM Health and Safety File and CDM Construction Phase Plan where applicable.
- Risk assessment and method statement for hazardous materials: Prepare for operations, disposal of waste, containment and reoccupation, and obtain approval before commencing work.
- Preparation materials: Types recommended by their manufacturers and the coating manufacturer for the situation and surfaces being prepared.
- Substrates: Sufficiently dry in depth to suit coating.
- Efflorescence salts, dirt, grease and oil: Remove.
- Surface irregularities: Provide smooth finish.
- Organic growths and infected coatings:
 - Remove with assistance of biocidal solution.
 - Apply residual effect biocidal solution to inhibit regrowth.
- Joints, cracks, holes and other depressions: Fill with stoppers/ fillers. Provide smooth finish.
- Dust, particles and residues from preparation: Remove and dispose of safely.
- Doors, opening windows and other moving parts:
 - Ease, if necessary, before coating.
 - Prime resulting bare areas.

32 PREVIOUSLY COATED SURFACES GENERALLY

- Preparation: In accordance with BS 6150, clause 11.5.
- Contaminated or hazardous surfaces: Give notice of:
 - Coatings suspected of containing lead.
 - Substrates suspected of containing asbestos or other hazardous materials.
 - Significant rot, corrosion or other degradation of substrates.
- Risk assessment and method statement for hazardous materials: Prepare for operations, disposal of waste, containment and reoccupation, and obtain approval before commencing work.
- Removing coatings: Do not damage substrate and adjacent surfaces or adversely affect subsequent coatings.
- Loose, flaking or otherwise defective areas: Carefully remove to a firm edge.
- Alkali affected coatings: Completely remove.
- Retained coatings:
 - Thoroughly clean.
 - Gloss coated surfaces: Provide key.
- Partly removed coatings: Apply additional preparatory coats.
- Completely stripped surfaces: Prepare as for uncoated surfaces.

37 WOOD PREPARATION

- General: Provide smooth, even finish with lightly rounded arrises.
- Degraded or weathered surface wood: Take back surface to provide suitable substrate.
- Degraded substrate wood: Repair with sound material of same species.
- Heads of fasteners: Countersink sufficient to hold stoppers/ fillers.
- Resinous areas and knots: Apply two coats of knotting.
- Defective primer: Take back to bare wood and reprime.

43 PLASTER PREPARATION

- Nibs, trowel marks and plaster splashes: Scrape off.
- Overtrowelled 'polished' areas: Provide suitable key.

61 COATING GENERALLY

- Application standard: In accordance with BS 6150, clause 9.
- Conditions: Maintain suitable temperature, humidity and air quality.
- Surfaces: Clean and dry at time of application.
- Thinning and intermixing: Not permitted unless recommended by manufacturer.
- Priming coats: Apply as soon as possible on same day as preparation is completed.
- Finish:
 - Even, smooth and of uniform colour.
 - Free from brush marks, sags, runs and other defects.
 - Cut in neatly.
- Doors, opening windows and other moving parts: Ease before coating and between coats.

N13 Sanitary appliances and fittings

70 INSTALLATION GENERALLY

- Assembly and fixing: Fix appliances securely to structure, without taking support from pipelines, level and plumb and so that surfaces designed to fall drain as intended.
- Jointing and bedding compounds: Recommended by manufacturers of appliances, accessories and pipes, to form watertight joints between appliances and backgrounds (except cisterns) and between appliances and discharge pipes.

75 CISTERNS

- Cistern operating components: Obtain from cistern manufacturer.
- Inlet and flushing valves: Match to pressure of water supply.
- Internal overflows: Into pan, to give visible warning of discharge.
- External overflows: Fix pipes to falls, and locate to give visible warning of discharge. Agree position.

P10 Sundry insulation/ proofing work

10A INSULATION

- Manufacturer: Knauf Insulation Ltd.
 - Web: www.knaufinsulation.co.uk.
 - Email: info@knaufinsulation.com.
 - Product reference: Earthwool® Loft Roll 44
- Thickness: 100mm plus 170mm. Total thickness 270mm.

20 INSULATION TO LOFT ACCESS HATCHES

- Material: as 10A.
- Recycled content: Not applicable.
- Thickness: Same as the loft insulation.
- Installation requirements:
 - Fit: No gaps and securely fixed.
 - Edges of hatch: Sealed with a compressible draught excluder.

40A INSULATION

- Manufacturer: ROCKWOOL Ltd.
 - Web: www.rockwool.co.uk.
 - Email: info@rockwool.com.
 - Product reference: ROCKWOOL FLEXI
- Width: 400 mm.
- Length: as required.
- Thickness: 100 mm.

P20 Unframed isolated trims/ skirtings/ sundry items

80 INSTALLATION GENERALLY

- Joinery workmanship: As section Z10.
- Metal workmanship: As section Z11.
- Methods of fixing and fasteners: As section Z20.
- Straight runs: To be in one piece, or in long lengths with as few joints as possible.
- Running joints: Location and method of forming to be agreed where not detailed.
- Joints at angles: Mitre, unless shown otherwise.
- Position and level: To be agreed where not detailed.

Q40 Fencing

60 INSTALLATION GENERALLY

- Expertise: By an experienced fencing contractor.
- Alignment: Straight lines or smoothly flowing curves.
- Tops of posts: Following profile of the ground.
- Setting posts: Rigid, plumb and to specified depth, or greater where necessary to ensure adequate support.
- Fixings: All components securely fixed.

R10 Rainwater drainage systems

16A PVC-U GUTTERS

- Manufacturer: Marley Plumbing & Drainage.
 - Web: www.marleypd.co.uk.
 - Email: marketing@marleypd.co.uk.
 - Product reference: Clip-master PVCu half round gutter
- System colour: Black.
- Gutter: Clip-master half round, as measured.
- Fittings:
 - Union brackets: Ref RUC1.
 - Angles: None.
 - Outlets: Running, 68 mm circular spigot, ROC1.
 - Stopends: External, REC1
 - Brackets and rafter arms: Fascia bracket spacer/ height adjuster, RGS1.
- Accessories: None.

35A PVC-U PIPEWORK

- Manufacturer: Marley Plumbing & Drainage.
 - Web: www.marleypd.co.uk.
 - Email: marketing@marleypd.co.uk.
 - Product reference: 68 mm circular downpipe
- System colour: Black.
- Pipes: As measured.
- Fittings:
 - Pipe sockets: Loose, RL25.
 - Bends and offsets: None.
 - Branches: None.
 - Access pipes: None.
 - Shoes: Plain, RS25.
 - Hoppers: None.
 - Pipe clips: One piece, RCZ253.
- Accessories: None.

50 INSTALLATION GENERALLY

- Discharge of rainwater: Complete, and without leakage or noise nuisance.
- Components: Obtain from same manufacturer for each type of pipework and guttering.
- Allowance for thermal and building movement: Provide and maintain clearance as fixing and jointing proceeds.
- Fixings and fasteners: As section Z20.

60 GUTTERS LAID TO FALL

- Setting out: To true line and even gradient to prevent ponding or backfall. Position high points of gutters as close as practical to the roof and low points not more than 50 mm below the roof.
- Joints: Watertight.
- Roofing underlay: Dressed into gutter.

70 PIPEWORK

- Fixing: Securely, plumb and/ or true to line with additional supports as necessary to support pipe collars, particularly at changes in direction.
- Cut ends of pipes and gutters: Clean and square with burrs and swarf removed.

R11 Above ground foul drainage systems

50 INSTALLATION GENERALLY

- Standards: To BS EN 12056-1, BS EN 12056-2 (including National Annexes NA-NG) and BS EN 12056-5.
- Drainage from appliances: Quick, quiet and complete, without blockage, crossflow, backfall, leakage, odours, noise nuisance or risk to health.
- Components: From same manufacturer for each type of pipework.
- Access: Provide access fittings in convenient locations to permit cleaning and testing of pipework.
- Thermal and building movement: Provide and maintain clearance as fixing and jointing proceeds.
- Fixings: Allow the pipe to slide.
 - Finish: Plated, sherardized, galvanized or other nonferrous.
 - Compatibility: Suitable for the purpose, material being fixed and substrate.

60 PIPEWORK

- Fixing: Securely plumb and/ or true to line. Fix lengths of discharge stack pipes at or just below socket collar or coupling.
 - Additional supports: Provide as necessary at junctions and changes in direction.
- Cut ends of pipes: Clean and square with burrs and swarf removed.

70 PIPEWORK TEST

- Preparation: Temporarily seal open ends of pipework using plugs.
- Testing: Connect a 'U' tube water gauge and pump air into pipework until gauge registers 38 mm.
- Required performance: Allow a period for temperature stabilisation, after which the pressure of 38 mm is to be maintained without loss for at least 3 minutes.

R12 Below ground drainage systems

- 2 EXISTING DRAINS
- Setting out: Before starting work, check levels and positions of existing drains, inspection chambers and manholes against drawings. Report discrepancies.
- 4 IN SITU CONCRETE FOR USE IN DRAINAGE BELOW GROUND
- Standard: To BS 8500-2.
 - Concrete: Designated, GEN1, as section E10 .
- 14 PLASTICS PIPELINES
- Pipes, bends and junctions: PVC-U to BS EN 1401-1.
 - Manufacturer: Contractor's choice .
 - Product reference: Contractor's choice .
 - Recycled content: None permitted.
 - Sizes: DN 110 .
 - Type of subsoil: shillet .
 - Bedding class: P .
 - Warning marker tape: Not required .
- 19 EXCAVATING PIPE TRENCHES
- Trench from bottom up to 300 mm above crown of pipe: With vertical sides.
 - Width: As small as practicable but not less than external diameter of pipe plus 300 mm.
 - Type of subsoil: Where the type of subsoil at the level of the crown of the pipe differs from that stated for the type of pipeline, give notice.
 - Timing: Excavate to formation immediately before laying beds or pipes.
 - Mud, rock projections, boulders and hard spots: Remove. Replace with bedding material, well consolidated.
 - Local soft spots: Harden by tamping in bedding material.
- 21 BEDDING AND JOINTING
- Laying pipes: To true line and regular gradient on even bed for full length of barrel with sockets (if any) facing up the gradient.
 - Jointing: Lubricate. Leave gaps at ends of spigots to allow for movement.
- 27 CLASS P FULL DEPTH GRANULAR SUPPORT
- Granular material: 10mm single sized pea shingle.
 - Bedding: Granular material, compacted to a thickness of 100 mm (minimum). Scoop out locally at couplings and sockets and lay pipes digging slightly into bed and resting uniformly on their barrels. Adjust to line and gradient.
 - Granular support: After initial testing, lay and compact by hand more granular material uniformly to 100 mm above crown of pipe.
- 37 CLASS Y CONCRETE SURROUND FOR SHALLOW PIPES UNDER BUILDINGS
- Locations: Where crown of pipe is less than 300 mm below underside of slab.
 - Timing: Excavate trench after hardcore has been laid and compacted.
 - Concrete blinding: 25 mm thick, over full width of trench.
 - Temporary pipe support: Folding wedges of compressible board, pipe inverts 100 mm (minimum) above blinding.
 - Concrete pipe surround: Same mix as slab and cast integrally with slab. Extend length to within 150 mm of nearest flexible joint.

- 41 TRENCHES LESS THAN 1 M FROM FOUNDATIONS
- Class Z concrete surround: Provide in locations where bottom of trench is lower than bottom of foundation.
 - Top of concrete: Higher than bottom of foundation.
- 44 BENDS AT BASE OF SOIL STACKS
- Bends: 90° nominal rest bend with a minimum radius of 200 mm to centreline of the pipe.
 - Height of invert of horizontal drain at base of stack below centreline of lowest branch pipe (minimum): 450 mm.
 - Stabilizing bends: Bed in concrete without impairing flexibility of couplings.
- 58 INSTALLATION OF FITTINGS
- Appearance: Square with and tightly jointed to adjacent construction as appropriate.
 - Bedding and surround of fittings, traps, etc: Concrete, 150 mm thick.
 - Permissible deviation in level of gullies: +0 to -10mm.
- 61 BRICK MANHOLES AND INSPECTION CHAMBERS
- Bases: Plain in situ concrete, 150 mm thick.
 - Brickwork: semi-engineering one brick thick. 1:3 cement sand mortar. English bond. Flush joint.
 - Frogs: Facing upwards.
 - Steps: Not required .
 - Standard: To BS EN 13101.
 - Fixing: Bed in joints to chambers over 900 mm deep at 300 mm vertical centres staggered 300 mm horizontally, with top step not more than 450 mm below top of cover.
 - Channels, branches and benching: Conventional, plastic .
 - Cover slabs: Concrete.
 - Thickness: 150 mm .
 - Openings: To suit required access covers.
 - Reinforcement: None.
 - Access covers and frames: Rebed existing iron inspection chamber cover and frame.
- 69 CONVENTIONAL CHANNELS, BRANCHES AND BENCHING
- Main channel: Bedded solid in 1:3 cement:sand mortar, branches connected to main channel at or slightly above invert level, but not higher than half channel level, so that discharge flows smoothly in direction of main flow.
 - Benching: Concrete rising vertically from main channel to a height not lower than soffit of outlet pipe, then sloping upwards at 10% to walls, and with dense smooth uniform finish.
- 84 TESTING AND INSPECTION GENERALLY
- Obstructions and debris: Remove. Check that the installation is clear before testing.
- 85 INITIAL TESTING OF PIPELINES
- Before testing:
 - Cement mortar jointing: Leave 24 h.
 - Solvent welded pipelines: Leave 1 h.
 - Timing: Before surround and backfilling .
 - Method: Block open ends of pipelines to be tested and pressurise. Air test short lengths to BS EN 1610

88 FINAL TESTING OF DRAINS

- Before testing:
 - Cement mortar jointing: Leave 24 h.
 - Solvent welded pipelines: Leave 1 h.
- Standard: In accordance with Building Regulations Approved Document H1 .
- Method: Water .

89 WATER TESTING OF MANHOLES AND INSPECTION CHAMBERS

- Timing: Before backfilling.
- Standard:
 - Exfiltration: To BS EN 1610, water testing (method W).
 - Infiltration: No identifiable flow of water penetrating the chamber.

91 BACKFILLING TO PIPELINES GENERALLY

- Backfill from top of surround or protective cushion: Material excavated from trench, compacted in 300 mm layers. Do not use heavy compactors before there is 600 mm of material over pipes.

97 CLEANING

- General: Flush out the whole installation and remove silt and debris immediately before handing over.

V90 Electrical systems - domestic

- 20 DESIGN OF LOW VOLTAGE ELECTRICAL INSTALLATION GENERALLY
- Design and detailing: Complete for the electrical installation.
 - Standards: In accordance with BS 7671 and the requirements of the Electricity Distributor.
 - Design information: Submit calculations, manufacturer's literature and drawings showing equipment positions and routes.
- 63 INSTALLING CONDUIT AND FITTINGS
- Fixing: Fix securely. Fix boxes independently of conduit.
 - Drainage outlets: Locate at lowest points in conduit installed externally, and where condensation may occur.
 - Location: Position vertically and horizontally in line with equipment served, and parallel with building lines. Locate where accessible.
 - Jointing:
 - Number of joints: Minimize.
 - Lengths of conduit: Maximize.
 - Cut ends: Remove burrs, and plug during building works.
 - Movement joints in structure: Manufactured expansion coupling.
 - Threaded steel conduits: Tightly screw to ensure electrical continuity, with no thread showing.
 - Conduit connections to boxes and items of equipment, other than those with threaded entries: Earthing coupling/ male brass bush and protective conductor.
 - Changes of direction: Site machine-formed bends, junction boxes and proprietary components. Do not use elbows or tees. Alternatively, use conduit boxes.
 - Connections to boxes, trunking, equipment and accessories: Screwed couplings, adaptors, connectors and glands, with rubber bushes at open ends.
- 64 INSTALLING TRUNKING AND DUCTING
- Positioning: Accurate with respect to equipment served, and parallel with other services and, where relevant, floor level and other building lines.
 - Access: Provide space encompassing cable trunking to permit access for installing and maintaining cables.
 - Jointing:
 - Number of joints: Minimize.
 - Lengths of trunking: Maximize.
 - Steel systems: Mechanical couplings. Do not weld. Fit a copper link at each joint to ensure that satisfactory electrical continuity is maintained between the separate sections of trunking, equipment and accessories.
 - Movement: Fix securely. Restrain floor mounted systems during screeding.
 - Junctions and changes of direction: Proprietary jointing units.
 - Cable entries: Fit grommets, bushes or liners.
 - Internal fire barriers: Provide to maintain integrity of fire compartment.
 - Protection: Fit temporary blanking plates. Prevent ingress of screed and other extraneous materials.
 - Service outlet units: Fit when cables are installed.

66 CABLE ROUTES

- Cables generally: Conceal wherever possible.
 - Concealed cable runs to wall switches and outlets: Align vertically or horizontally with the accessory.
- Exposed cable runs: Submit proposals.
 - Orientation: Straight, vertical and/ or horizontal and parallel to walls.
- Distance from other services running parallel: 150 mm minimum.
 - Heating pipes: Position cables below.

68 INSTALLING ELECTRICAL ACCESSORIES AND EQUIPMENT

- Location: Contractor's choice.
- Arrangement: Coordinate with other wall or ceiling mounted equipment.
- Positioning: Accurately and square to vertical and horizontal axes.
- Alignment: Align adjacent accessories on the same vertical or horizontal axis.
- Mounting: Recessed.
- Mounting heights (finished floor level to underside of equipment or accessory): ..
- Accessory face plates: Free from any traces of plaster, grout and paint or similar.

70 INSTALLING FINAL CONNECTIONS

- Size: Determine.
- Cable: Heat resisting white flex.
- Length: Allow for equipment removal and maintenance.

72 INSTALLING LUMINAIRES

- Location: Contractor's choice.
- Supports: Adequate for weight of luminaire.
- Locations: Submit proposals.

74 EQUIPMENT LABELLING

- Electrical equipment: Install labels indicating purpose.
- Voltage warning notices:
 - Location: Apply to equipment in a position where it can be seen prior to gaining access to live parts when the voltage exceeds 230 V.
 - Format: To BS EN ISO 7010, functional reference number W012, include warnings of the voltage present.
- Distribution boards: Card circuit chart within a reusable clear plastic cover. Fit to the inside of each unit. Include typed information identifying the outgoing circuit references, their device rating, cable type, size, circuit location and details. Label each outgoing way corresponding to the circuit chart.
- Sub-main cables: Label at both ends, with circuit reference using proprietary cable marker sleeves.

76 ENGRAVING

- Metal and plastic accessories: Engrave, indicating their purpose.
- Emergency lighting test key switches: Describe their function.
- Multigang light switches: Describe the luminaire arrangement.

78 FINAL FIX

- Accessory faceplates, luminaires and other equipment: Fit after completion of building painting.

79 CLEANING

- Electrical equipment: Clean immediately before handover.
- Equipment not supplied but installed under the electrical works: Clean immediately before handover.

COMPLETION

85 INSPECTION AND TESTING GENERALLY

- Standard: In accordance with BS 7671.
- Notice before commencing tests (minimum): 24 hours.
- Labels and signs: Fix securely before system is tested.
- Certificates: Submit.
 - Number of copies: 1.

W53 Assistance call systems

COMPLETION

- 81 TESTING AND COMMISSIONING
- Standard: In accordance with BS 7671.
 - Controls: Check operation.
 - Alarm signalling: Check operation.
 - Results: Submit.



Schedule of Works

Our Ref: MW/SC/P180406



CHARTERED BUILDING SURVEYORS

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Conditions of Contract and Preliminaries

Revision B – 6th August 2019

Property:	Fair Park Public Toilets Corporation Road Bodmin PL31 1LF
Employer:	Bodmin Town Council Shire House Mount Folly Square Bodmin PL31 2DQ
Contract Administrator:	Harriet Parkin RTP Surveyors 9 Mount Folly Square Bodmin Cornwall PL31 2DF
Drawings:	Refer to Drawing P180406-03 – Existing Plan and Elevations P180406-08 – Proposed Plan, Elevations and Section

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Section C Demolition / Alteration / Renovation

Preparation and Clearance

- C.1. Carefully remove and set aside 2 No. lengths of playground fencing to facilitate access around the perimeter.

C.20.0. Demolition

- C.20.1. Carefully remove and protect and set aside 2 No. Wallgate units for re-fixing.
- C.20.2. Remove all sanitaryware items including fittings, accessory items and cisterns.
- C.20.3. Take off DDA toilet hot water heater from existing Store Room. Set aside for re-fixing.
- C.20.4. Remove all above floor drainage pipework.
- C.20.5. Remove 2 No. metal security doors and frames.
- C.20.6. Remove 3 No. internal doors and frames.
- C.20.7. Remove 4 No. external doors and frames.
- C.20.8. Demolish internal masonry and timber studwork partitions and cubicles, with the exception of the existing DDA toilet masonry partitions.
- C.20.9. Hack off all ceramic wall tiles from inside face of all external walls and the partition walls within DDA toilet.
- C.20.10. Break out complete floor screed and floor tiles, including tiled skirting and adhesives etc.
- C.20.11. Remove perimeter timber coving and ceiling in all areas except within DDA toilet.
- C.20.12. Take down ceiling windows and trims.
- C.20.13. Take down plasterboard ceiling and loft access hatch within existing Store Room.
- C.20.14. Take down timber boarding to roof void internal gable walls (4 No. gables). Leave timber framework in position.
- C.20.15. Remove all electrical installations, including consumer units, wirings, fixtures and fittings back to the meter which is located in the existing Store Room.

- C.20.16. Remove all water supply pipework back to stopcock which is located in the existing Store Room.
- C.20.17. Take down all external signage.
- C.20.18. Carefully remove and set aside DDA alarm beacon and cage.
- C.20.19. Remove all timber fascia boards.
- C.20.20. Hack off all pebble dash render and plain render to all external walls and gable end walls back to the masonry.
- C.20.21. Demolish all external landings and half height external walls, including foundations.
- C.20.22. The inspection chamber currently incorporated into the ramp serving the existing Store Room is to be removed but set aside the inspection chamber frame and cover for re-use.
- C.20.23. Break out brickwork infills and cills from windows W1, W2 and W3.
- C.20.24. Remove masonry cills from windows W1, W2 and W3.
- C.20.25. Provide temporary support and remove lintels over W3 and D3.

Section D Groundwork

D.20.0. Excavating and Filling

- D.20.1. Mark out drainage runs on existing floor slab.
- D.20.2. Allow to neatly cut through existing concrete floor slab, utilising specialist concrete cutting equipment. Remove concrete.
- D.20.3. Excavate for new internal/external underground drainage as shown on drawing.
- D.20.4. Following installation of drainage, provide and lay 150mm thick layer of hardcore.
- D.20.5. Provide and lay 50mm sand blinding.

Section E In Situ Concrete / Large Precast Concrete

E.10.0. Mixing / Casting / Curing In Situ Concrete

External Work

- E.10.1. Provide and lay mass concrete ramps and landing (3 No.). Allow to make good areas of concrete path around perimeter of building following demolition and reconstruction of ramps. Sides of ramps/landing to be fair faced. Top surface of ramps/landing to be smooth and level.

Internal Work

- E.10.2. Provide and lay nominal 150mm thick concrete floor above drainage to make good floor to match existing. Include for 1200 gauged damp-proof membrane. Lap and seal with existing damp-proof membrane.

E.20.0. Formwork for In Situ Concrete

- E.20.1. Provide and fix concrete form work to form external ramps and landings.

Section F Masonry

F.10.0. Brick / Block Walling

F.10.1 Form new openings for 2 No. external door openings D5 and D6, 2 No. new window openings W4 and W5 and enlargement of 1 No. existing opening, W3. Note: W4 and W5 to be same height as W1, W2 and W3.

F.10.2 Form solid brick reveals to openings.

F.31.0. Precast Concrete Sills / Lintels / Copings / Features

F.31.1. Provide and lay precast concrete lintels over doors D5 and D6 and windows W3, W4 and W5.

F.31.2. Provide and lay brick on edge sub-cills bedded and pointed in cement sand mortar 1:3. Neat struck joint to windows W3, W4 and W5.

Section G Structural / Carcassing Metal / Timber

G.20.0. Carpentry / Timber Framing / First Fixing

Roof Access Hatch

- G.20.1. Form new loft access hatch within existing ceiling joists with loose laid cover in Store Room. Nominal dimensions 600 x 600mm.

Partitions

- G.20.2. Construct internal partition walls comprising of 2 No. skins with nominal 150mm wide pipe zone of 50mm x 89mm softwood treated studs at 400mm centres with head and soul plates and noggins at 600mm centres. All partitions to be laid and fitted on damp-proof course material.
- G.20.3. Frame out for:
- 4 No. Wallgate units.
- G.20.4. Partitions to be bolted to external walls within 12 masonry anchors fixed at 500mm centres.
- G.20.5. Head of partition to be screwed to ceiling joists/noggins.
- G.20.6. External faces of partitions to be clad with 12mm WPB plywood.

Section H Cladding / Covering

H.60.0. Plain Roof Tiling

- H.60.1. Allow the provisional sum of £250 for repairs to the existing roof covering.
 Refer to A54-110A.
- H.60.2. Allow to clear moss growth from existing roof slope.
- H.60.3. Provide and fix UV resistant rigid felt support, dressed underneath lower
 course of tiles and into new guttering.

Section K Linings / Sheathing / Dry Partitioning

K.10.0. Plasterboard Dry Linings / Partitions / Ceilings

- K.10.1. Provide and fix plasterboard to complete area except within DDA toilet in accordance with NBS K10-25.

K.32.0. Panel Cubicles / Duct and Wall Linings / Screens

- K.32.1. Allow to prepare the existing wall surfaces in readiness for application of Whiterock Wall Cladding.
- K.32.2. Provide and fix Altro Whiterock Wall Cladding with welded joints to all internal faces of external walls, internal partitions and ceilings. Fix to walls, partitions and ceilings with AltroFix W157 Adhesive.
- K.32.3. Whiterock wall cladding to be fixed to full perimeter of all window reveals and to reveals and head of door openings.

Section L Windows / Doors / Stairs

L.10.0. Windows / Rooflights / Screens / Louvres

All Windows

L.10.1. Provide and fix full glazed non-openable window frames to all window openings:

- Alitherm 300 aluminium window frames.
- RAL colour 7016
- Toughened safety glass. Obscure: Stipolite
- Sealed to perimeter externally
- Sealed to Whiterock internally

L.20.0. Doors / Shutters / Hatches

L.20.1. Provide and fix 5 No. steel door sets from South West Garage Doors in accordance with the following:

a. D1

- Outward opening
- Phlexicare RADAR lock set
- Separate mortice lock
- Kick plates
- Colour and finish TBC

b. D2, D3, D4, D6

- Inward opening
- Self-closing mechanism
- Internal tactile lock with 'engaged' indicator
- Over-ride lock
- Kick plates
- Stainless steel handle
- Colour and finish TBC

c. D5

- Outward opening
- Mortice lock
- Stainless steel handle
- Colour and finish TBC

Section M	Surface Finishes
------------------	-------------------------

M.10.0. Cement Based Levelling / Wearing Screeds

M.10.1. Provide and lay 75mm screed to complete floor in accordance with NBS M10-7A. Mixed in accordance with manufacturer's instructions.

M.20.0. Plastered / Rendered / Roughcast Coatings

M.20.1. Render bottom of perimeter of external plinth in accordance with NBS M20-10.

M.20.2. Render all other external wall areas in accordance with NBS M20-15 allowing for all necessary stainless steel beads, bellcast beads etc.

M.50.0. Rubber / Plastics / Cork / Lino / Carpet Tiling / Sheetting

M.50.1. Provide and lay Altro Reliance 25 incorporating cove former 38R and fixed to Whiterock PVC sheet with Altro Weldrod hot welded joints.

M.60.0. Painting / Clear Finishing

M.60.1. Decoration of Plastered Ceiling in Store Room:

M.60.2. Preparation:

M.60.3. Preparation of new plastered ceilings for decoration is to cover and imply the following all as necessary and as required.

- i. Stopping and filling all cracks in plaster
- ii. Rubbing down or other preparation
- iii. Rubbing down between coats
- iv. Cutting in edges next to walls / unplastered surfaces
- v. Working off ladders and trestles as required

M.60.4. Paint to New Plaster Surfaces:

M.60.5. Prepare for and paint 1 No. mist coat and 2 No. full coats of vinyl Matt emulsion paint to new ceiling surfaces. Colour: Brilliant White.

M.60.6. Decoration of Existing Timber Ceiling in DDA Toilet

M.60.7. Preparation:

M.60.8. Preparation of existing timber surfaces for decoration is to cover and imply the following all as necessary and as required.

- i. Abrade to remove sharp edges and grazed grain etc., working in the direction of the grain
- ii. Clean to ensure all areas are free from dirt, mould and grease
- iii. Treat knots and resinous areas by removing resin and applying a thin coat of knotting solution
- iv. Make good all nail holes, open joints etc., with suitable quality filler in accordance with the manufacturer's instructions
- v. Allow making good to dry before sand papering smooth and dusting off

M.60.9. Paint to Existing Timber Surfaces:

M.60.10. Prepare for and paint 1 no. coat of wood primer, 2 no. coats of acrylic based undercoat and 1 no. coat of oil gloss / eggshell, satin finish paint to all existing timber surfaces. Colour to be agreed.

M.60.11. Decoration of Whiterock Ceilings, Walls and Partitions with Anti-Graffiti Paint

M.60.12. Allow to paint 2 No coats of Dulux Trade anti-graffiti clearcoat over all Whiterock wall cladding in accordance with specification provided in the Appendix.

M.60.13. Decoration of external roughcast render finish.

M.60.14. Decoration of New Renderwork to External Walls (do not paint bottom section which is to be left unpainted renderwork)

M.60.15. Preparation:

M.60.16. Preparation of new external wall renderwork for decoration is to cover and imply the following all as necessary and as required.

- a. Washing of new surfaces
- b. Stopping and filling cracks in render
- c. Rubbing down or other preparation
- d. Rubbing down between coats
- e. Cutting in edges next to unpainted surfaces

M.60.17. Paint to New Masonry Surfaces:

Prepare for and paint 4 no. full coats of Dulux Trade masonry paint to all new surfaces. Colour to be agreed.

Section N Furniture / Equipment

N.10.0. General Fixtures / Furnishings / Equipment

N.10.1. Allow the provisional sum of £250 for shelving in the Store Room.

N.13.0. Sanitary Appliances and Fittings

N.13.1. Provide and install:

- a. 4 No. Perth WC's in stainless steel (S3442) (MY)
- b. 4 No. seats and covers for Perth WC's
- c. 1 No. babychange unit – Magrini horizontal wall mounted, Ref: MH42
- d. 1 No. Armitage Shanks Doc M pack in stainless steel, Ref: S6972 (MY)
- e. 4 No. lockable toilet roll dispensers in stainless steel
- f. 4 No. Gerberit Sigma concealed cisterns (12cm, 6/3 litres) and flush plates, complete with flush plates.

N.13.2. Install 2 No Wallgate units previously set aside.

N.13.3. Provide and fix 1 No Phs Group wall mounted lockable sharps unit, 7 litre capacity, in position as shown on drawing.

N.13.4. Provide and fix 2 No SS THR 11 automatic Wallgate units.

N.91.0. External Signage and Interpretation

N.91.1. Provide and fix external signage as follows. Signs to be stainless steel. Nominal dimensions 150mm x 150mm.

- a. 1 No. wheelchair accessible
- b. 4 No. unisex
- c. 1 No. babychange
- d. 2 No. sharps disposal

Section P Building Fabric Sundries

P.10.0. Sundry Insulation / Proofing Work

- P.10.1. Provide and lay insulation above ceiling joist to whole ceiling area in accordance with NBS P10-10A and 20.

Fascias

- P.10.2. Provide and fix insulation between stud partitions framework in accordance with NBS P10.

P.20.0. Unframed Isolated Trims / Skirtings / Sundry items

- P.20.1. Provide and Fix ex32mm softwood linings, ex25mm x 25mm softwood stops and 18mm external grade plywood roof access hatch.
- P.20.2. Provide and fix white plastic fascia boards to eaves.

Section Q Paving / Planting / Fencing / Site Furniture

Q.40.0. Fencing

- Q.40.1. Allow to re-fix two lengths of playground fencing previously set aside. Make good all work disturbed.

Q.41.0. Barriers / Guardrails

- Q.41.1. Provide and fix key clamp handrail and intermediate rail system to the 3 No. ramps/landings.

Tube size: 7

Range: Alvin DDA range.

Powder coat all surfaces: RAL colour TBC.

Section R Disposal Systems

R.10.0. Rainwater Drainage Systems

- R.10.1. Provide and fix black plastic half round guttering and round downpipes with shoes to discharge directly onto ground in accordance with NBS R10-16A and 36A.

R.11.0. Above Ground Foul Drainage Systems

- R.11.1. Provide and fix 1 No. 110mm uPVC soil and vent pipes. Vented above roof level with vented terminal. Allow to re-use existing roof opening.
- R.11.2. Provide and fix 1 No. 110mm uPVC soil and vent pipe. Pipe to be terminated within roof void with air remittance valve.
- R.11.3. Provide and fix 110mm uPVC branch pipework for WC suites.
- R.11.4. Provide and fix 42mm waste pipework for 4 No. Wallgate units and connect to 110mm drainage pipework.
- R.11.5. Provide and fix 42mm waste pipework for 1 No. wash hand basin and connect to 110mm drainage pipework.

R.12.0. Below Ground Drainage Systems

- R.12.1. Allow to cap off all existing drainage runs.
- R.12.2. Allow to remove and cap off existing floor drains.
- R.12.3. Provide and lay new underground drainage in accordance with NBS R12 and as shown on the drawing.
- R.12.4. Construct new external inspection chamber in accordance with NBS R12.
- R.12.5. Connect existing drain run to new inspection chamber drainage. Make good all work disturbed.
- R.12.6. Provide and lay 5 No Wade G202 floor gullies and K2302 vari-level gratings as shown on drawing.

Section S Piped Supply Systems

S.90.0. Hot and Cold Water Supply Systems – Domestic

Existing Hot and Cold Water Supply and Distribution Pipework:

- S.90.1. The existing cold water supply main enters in the current Store Room.
- S.90.2. Allow to alter position of supply main and locate in Store room with new stopcock and drain down valve.

New Water Supplies and Distribution Pipework:

Cold Water

- S.90.3. Provide and fix suitably sized copper and/or plastic cold water services and connect to all sanitary fitments, 4 No. Wallgate units and external tap.

External Cold Water Tap

- S.90.4. Provide and fix Franke Aquatic-S self-wclosing bib tap. Product code AQUA205.

Hot Water – DDA Toilet

- S.90.5. Re-fix hot water heater previously set aside in Store Room.
- S.90.6. Provide and fix suitably sized copper/plastic hot water services and connect to DDA wash hand basin tap.

Section V Electrical Supply / Power / Lighting Systems

V.90.0. Electrical Systems – Domestic

General:

- V.90.1. The electrical installation is to be carried out by an NECEIC contractor and shall comply with the last edition of the Electrical Wiring Regulations. All wiring to be laid in chases behind plaster in solid walls, behind dry linings and within timber frame walls and partitions. All wiring is to be protected by MK conduit or equal and approved. All wiring should be run in such a way that it can be renewed as necessary at a later date without disturbing the structural finishes.

Existing Electrical Arrangement:

- V.90.2. The electrical meter and switch gear are located in the existing Store Room. Western Power shall relocate the existing incoming main meter and switch gear into the new Store Room.
- V.90.3. The Main Contractor shall include for attendance to the electrical sub-contractor including cutting chases, notching, forming holes and making good all works disturbed thereafter.
- V.90.4. The electrical test certificate is to be supplied to the employer. A copy of the electrical test certificate is to be supplied to the Contract Administrator.

Existing Installation:

- V.90.5. The existing installation shall be completely stripped out and renewed.
- V.90.6. The existing HANGER consumer unit which serves the play area lighting pole is to be relocated in the new Store Room and reconnect to the lighting pole service.
- V.90.7. The existing internal armoured cable is to be taken off and re-run within the roof void and extended with a junction box to the consumer unit in the new store room.

New Installation:

- V.90.8. Provide and fix electrical installation in accordance with electrical schedule.

DDA Hand Dryer:

- V.90.9. Provide and fix DDA compliant electric hand dryer.

Section W Communications / Security / Control Systems

W.53.0. Assistance Call Systems

- W.53.1. Allow to re-fix alarm beacon and caging previously set aside and connect to alarm pull within DDA toilet.

Summary

	Preliminaries and General Conditions	£
C	Demolition / Alteration / Renovation	£
D	Groundwork	£
E	In Situ Concrete / Large Precast Concrete	£
F	Masonry	£
G	Structural / Carcassing Metal / Timber	£
H	Cladding / Covering	£
K	Linings / Sheathings / Dry Partitioning	£
L	Windows / Doors / Stairs	£
M	Surface Finishes	£
N	Furniture / Equipment	£
P	Building Fabric Sundries	£
Q	Paving / Planting / Fencing / Site Furniture	£
R	Disposal Systems	£
S	Piped Supply Systems	£
V	Electrical Supply / Power / Lighting Systems	£
W	Communication / Security / Control Systems	£
	Provisional Sums	£1,100.00
	Contingency Sum	£750.00
	Total	£

Schedule of Rates

The rates for labour and schedule of rates are to include for profit of overhead charges, supervision, welfare facilities, national and other insurances, income tax, national insurance and other pension contributions, holidays with pay and paid public holidays, stamps, incentive payments, non-productive overtime (except where authorised by the Contract Administrator), travelling time, fares and travelling expenses, tool money, provision of water and electricity and the use of scaffolding and non-mechanical plant unless brought or retained on the site solely for the use in connection with day work.

Inclusive Rates of Labour as Defined Below:

Function	Rate per hour
Labourer	£
Carpenter	£
Joiner	£
Mason	£
Plasterer	£
Painter/Decorator	£

Materials:

Add for profit and overhead charges on the net cost materials purchased after all discounts other than cash discounts not exceeding 5% "on cost" percentage ____%.

Plant:

Add for profit and overhead charges on the net cost of invoice rates for the following used solely in connection with day work.

Mechanical plant. ____%

Non-mechanical plant. ____%

Transport when used solely in connection with daywork
"on cost" percentage. ____%



Appendices

- Drawing Log
- Electrical Schedule

Electrical Schedule

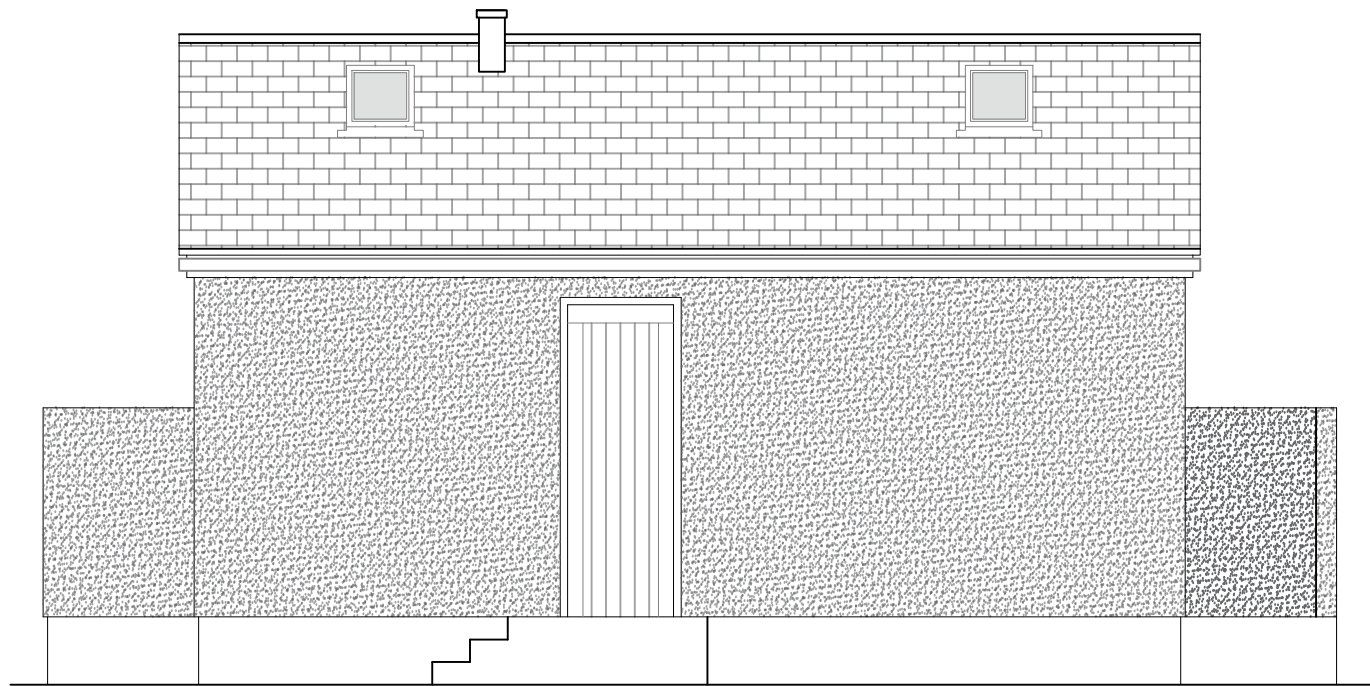
Room	Ceiling Light	PIR Switch	Wall Switch	Twin 13 Amp Socket	Switched Fused Spur Connection for Wallgate	DDA Emergency Alarm	Switched Fused Spur	Other
Store	1		1	1			For water heater (DDA toilet)	
Unisex (1)	1	1			1 (to be locked in Store Room)			
Unisex (2)	1	1			1 (to be locked in Store Room)			
Unisex (3)	1	1			1 (to be locked in Store Room)			
DDA	2	1				1	For hand dryer (to be located in Store Room)	Switch and cabling for assistance call system
Unisex/Baby Changing	2	1			1 (to be locked in Store Room)			

Notes

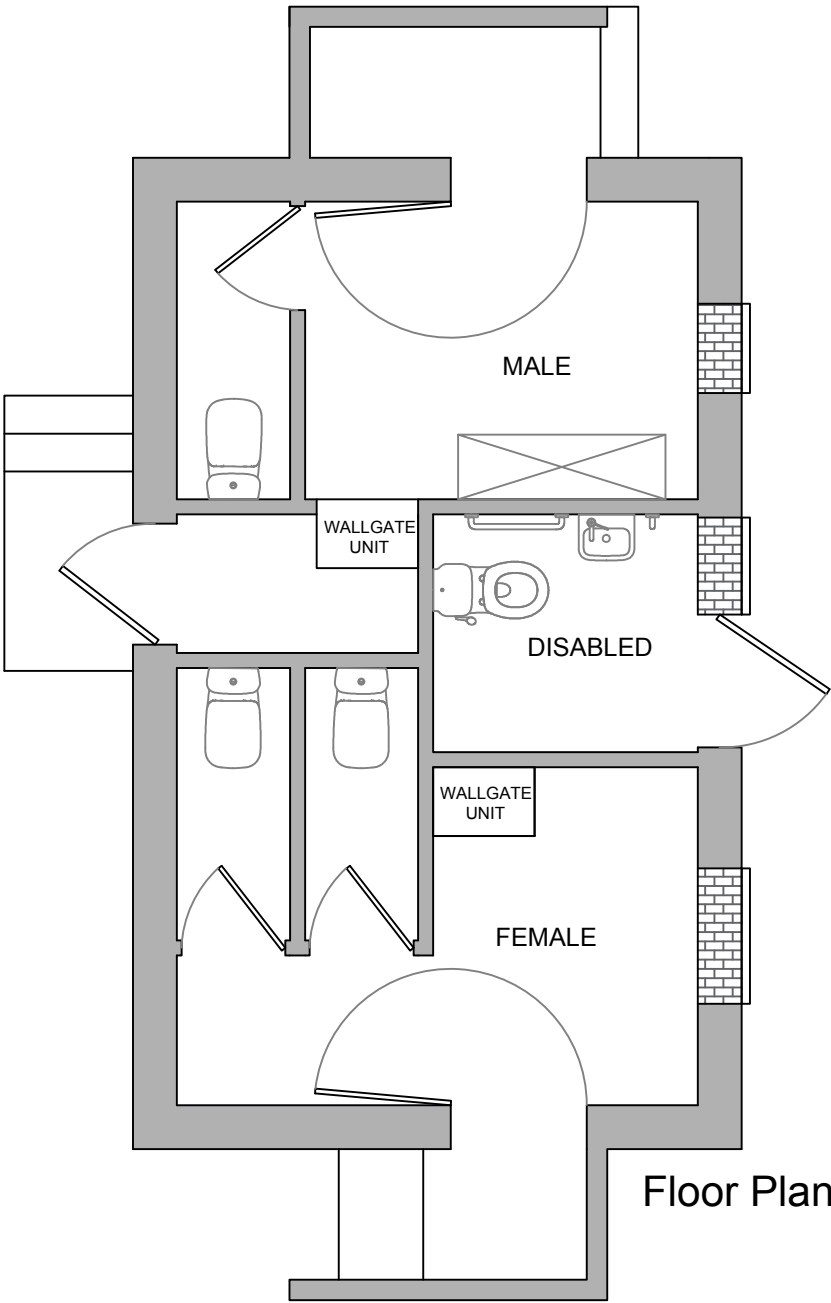
- i. All ceiling lights to be LED bulkhead light fittings incorporating emergency back-up facility.
- li. All switched fused spurs to be located in the Store Room and clearly labelled.



Drawings



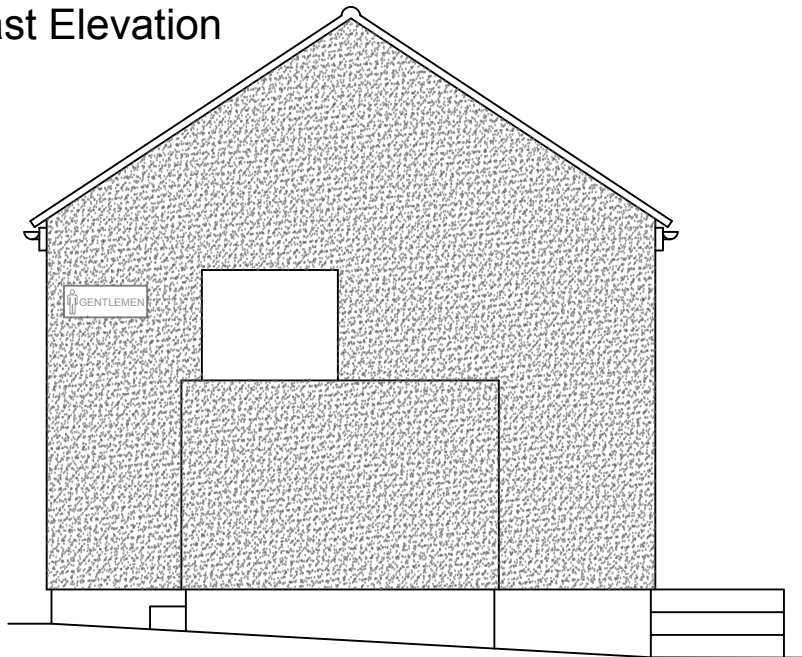
South West Elevation



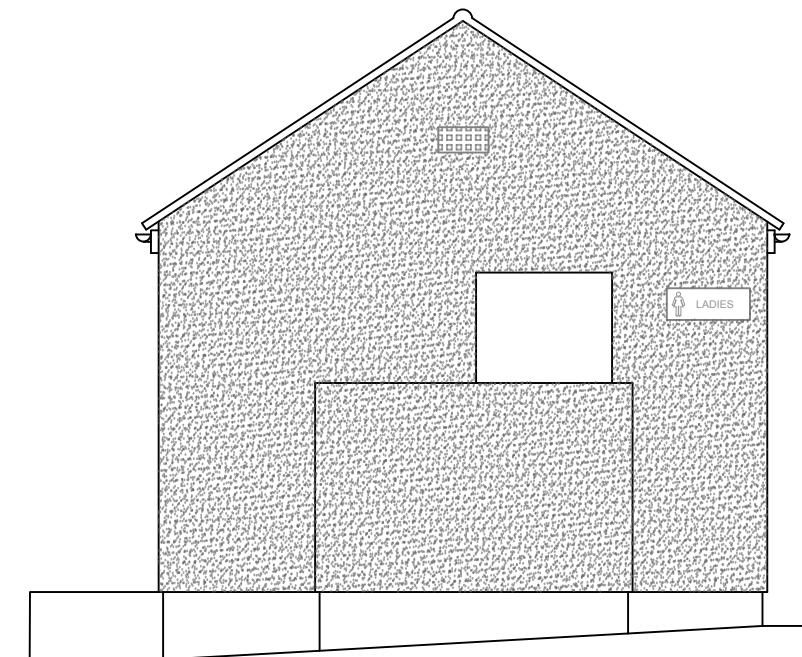
Floor Plan



North East Elevation



North West Elevation



South East Elevation

GENERAL NOTES

00			
REVISION	AMENDMENT	INITIAL	DATE

STATUS

- ☐ Preliminary
- ☒ Planning
- ☐ Building Regulations
- ☐ Tender
- ☐ Contract
- ☐ As Built

PROJECT


Fair Park Public Conveniences
Corporation Road
Bodmin
PL31 1LF

CLIENT

Richard Davies
Bodmin Town Council

DRAWING TITLE

Existing plan and elevations




CHARTERED BUILDING SURVEYORS

RTP Surveyors
9 Mount Folly Square
Bodmin, Cornwall, PL31 2DF

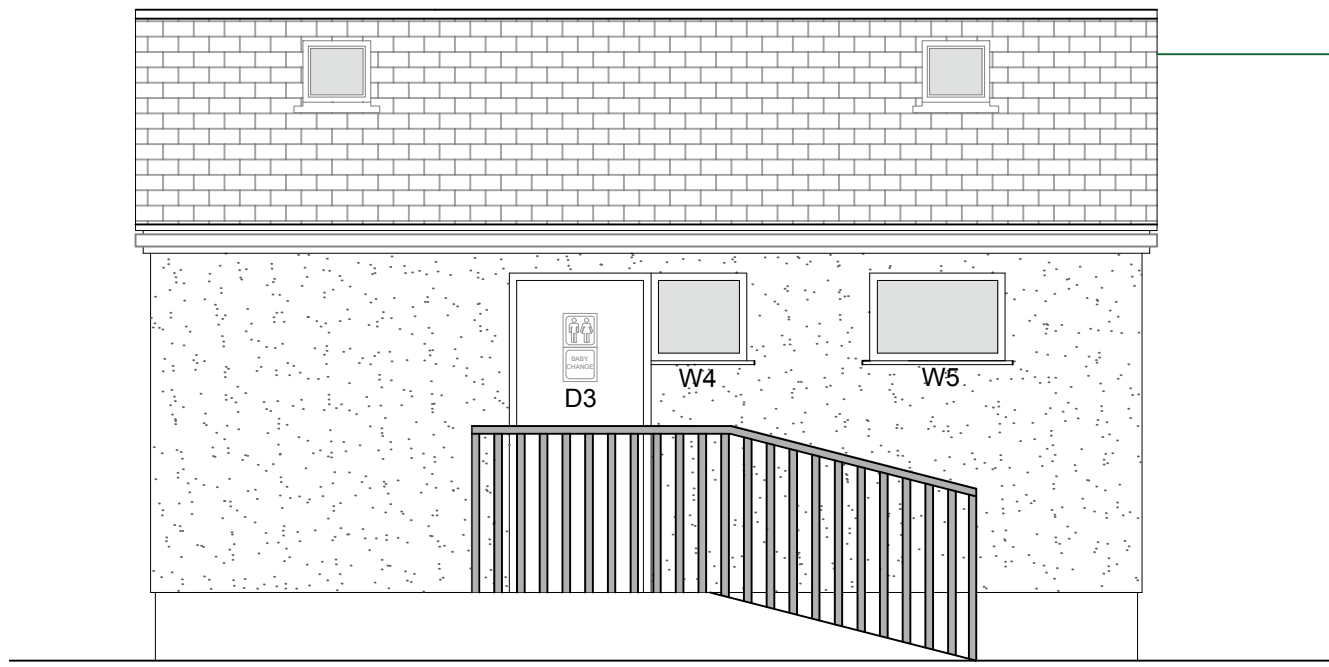
T 01208 892020
F 01208 269476
E Bodmin@rtpsveyors.co.uk
www.rtpsveyors.co.uk

Office also at Falmouth

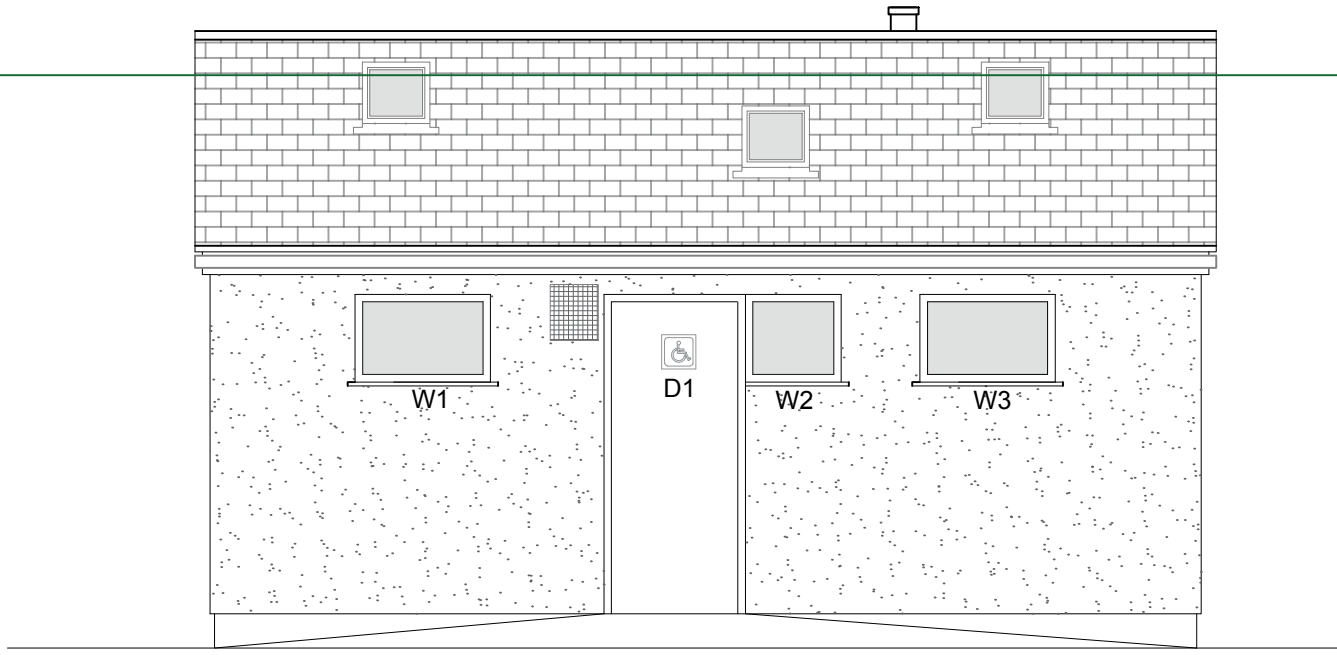


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DATE Nov 18	CHECKED BY RTP			

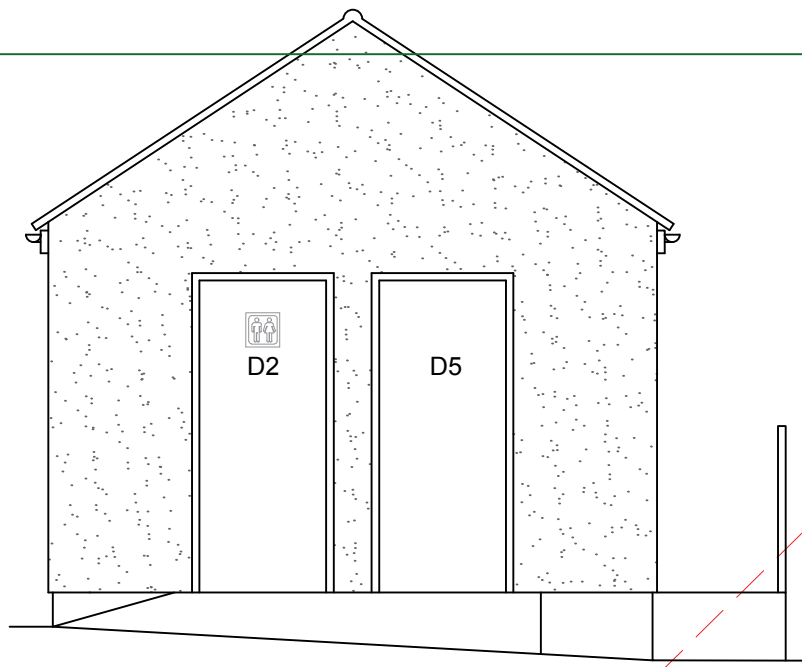
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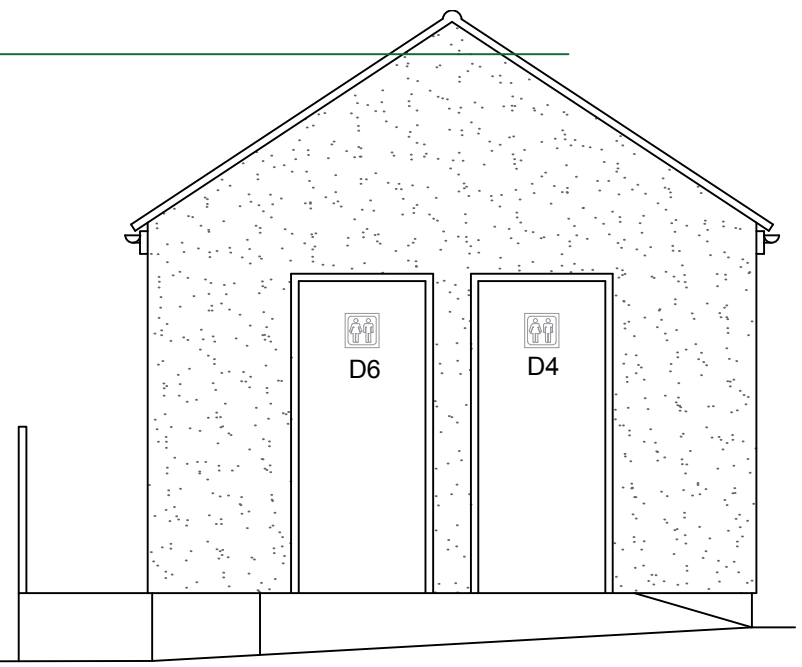
South West Elevation
1:50



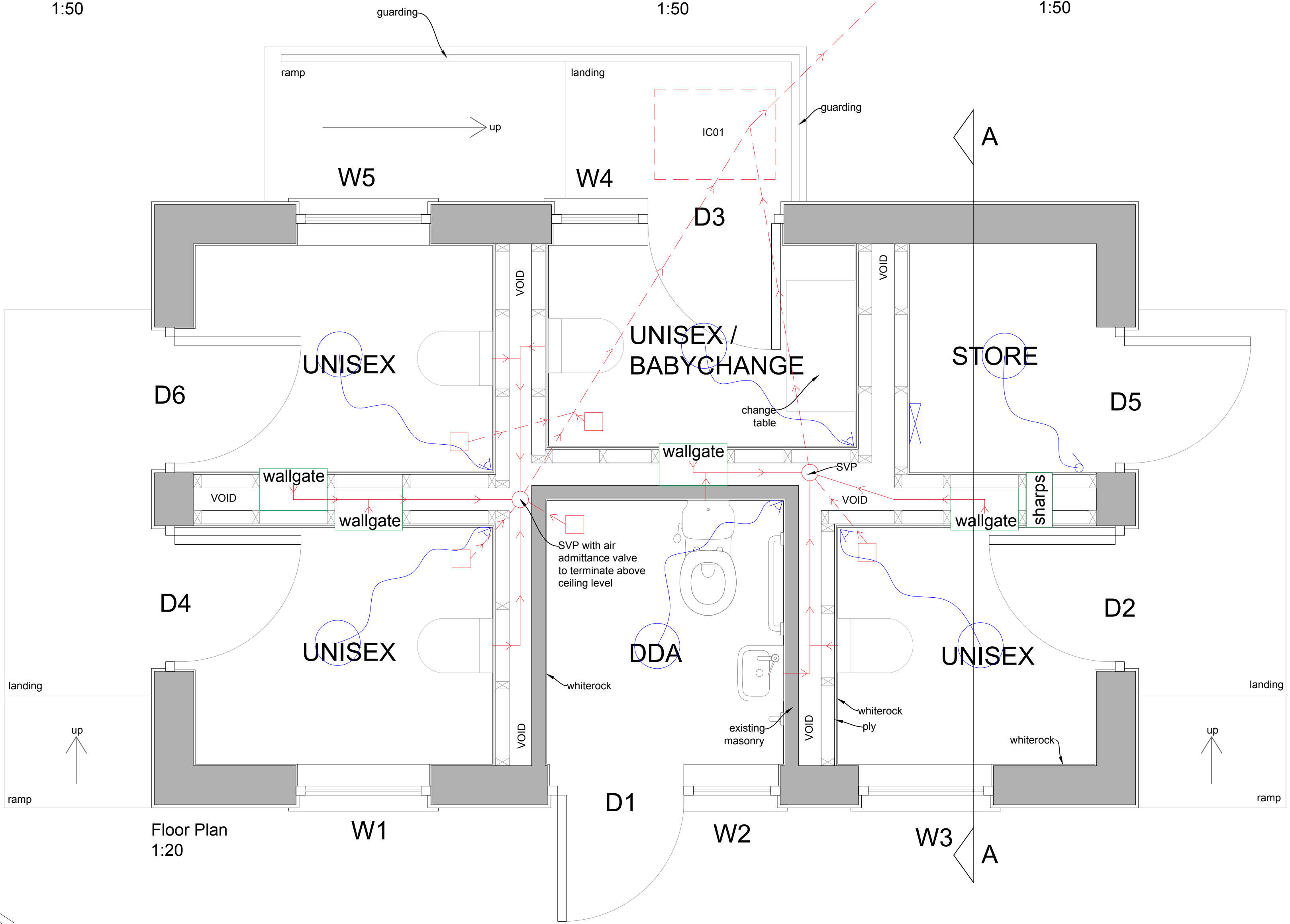
North East Elevation
1:50



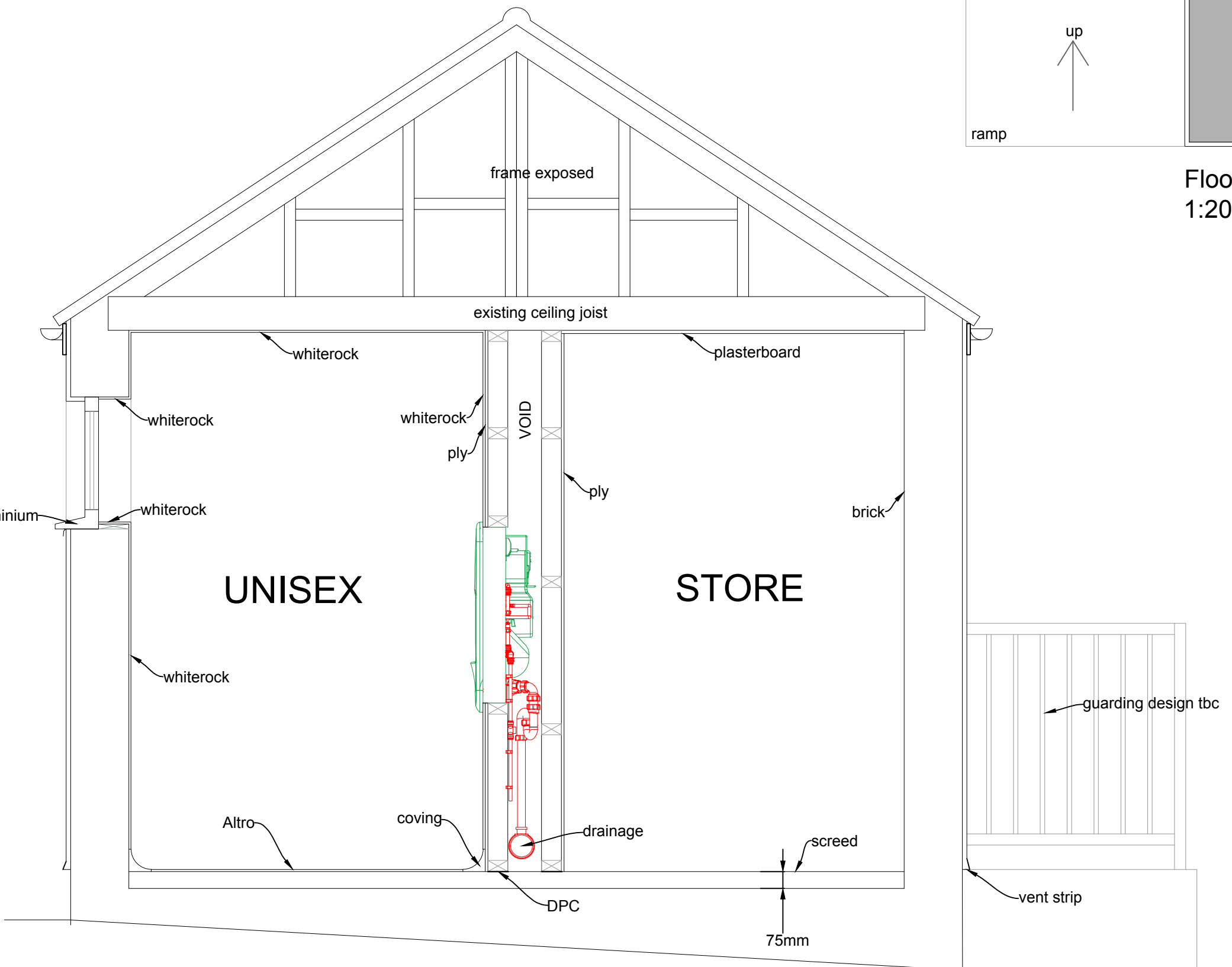
North West Elevation
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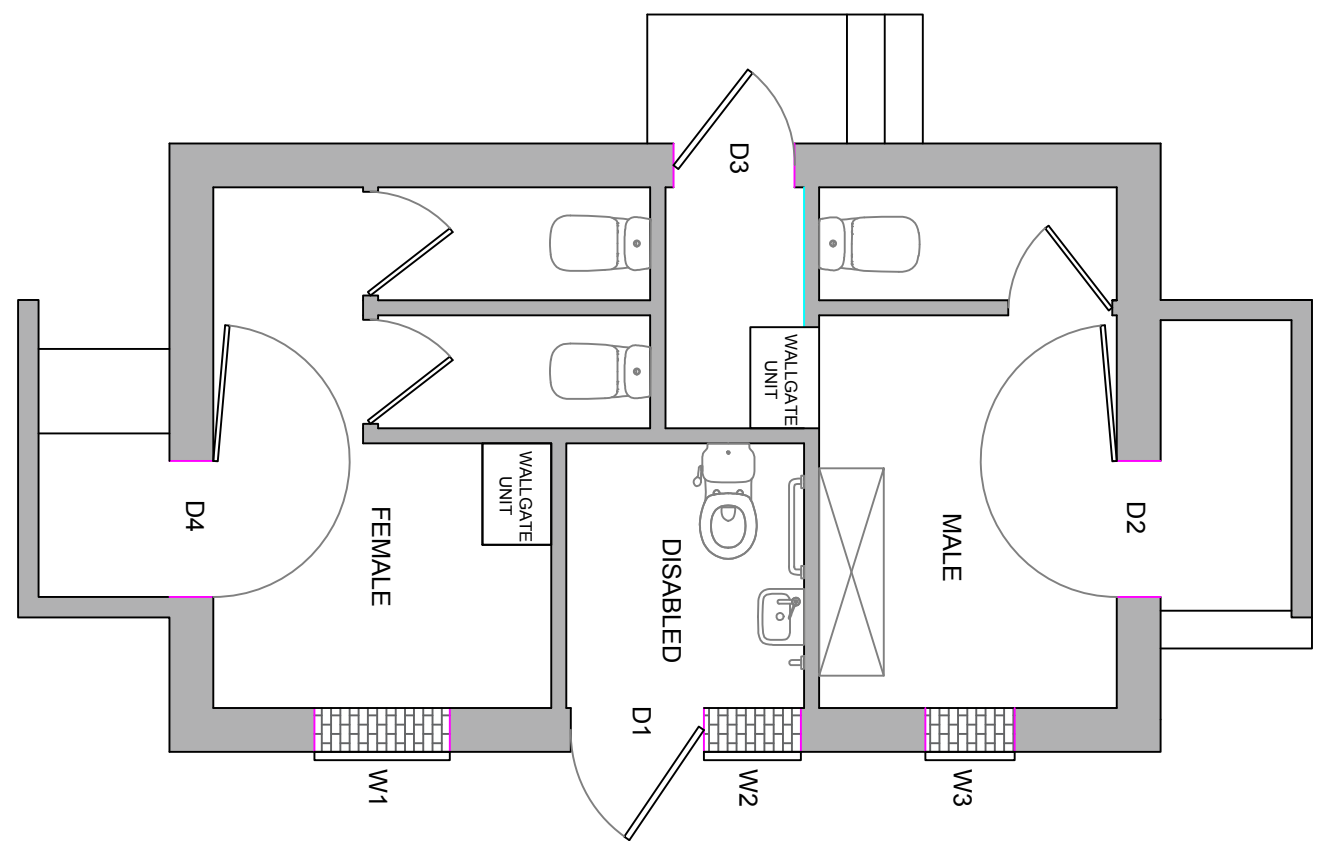
South East Elevation
1:50



Floor Plan
1:20



Section A-A
1:20



Existing Floor Plan
1:50

GENERAL NOTES

- PIR sensor
- bulkhead light
- light switch
- consumer unit

- above ground drainage
- below ground drainage

A	Change facade, add floor drains	HP	02.07
REVISION	AMENDMENT	INITIAL	DATE

- STATUS
- ☒ Preliminary
 - ☐ Planning
 - ☐ Building Regulations
 - ☐ Tender
 - ☐ Contract
 - ☐ As Built

PROJECT
Fair Park Public Conveniences
Corporation Road
Bodmin
PL31 1LF

CLIENT
Richard Davies
Bodmin Town Council

DRAWING TITLE
Proposed plan, elevations
and section

**RTP**
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Office also at Falmouth

**RICS**

SCALE As shown	DRAWN BY HP	DRAWING NO. P180406-08	REV. A	SIZE A1
DATE May 19	CHECKED BY RTP			

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Pre-Construction Information

CDM – Pre-Construction Information

Nature of project		Comments/response
Name of client		Bodmin Town Council
Location of project		Fair Park Public Conveniences Corporation Road Bodmin PL31 1LF
Nature of construction work to be carried out (e.g. scope of works)		Refurbishment and alteration works to public conveniences building.
Timescale for completion of construction work		Commencement of works estimated towards the end of 2019. Completion of works to be determined via submission of programme from Principal Contractor.
Contact names and addresses of the project team (if appointed)		Principal Designers – RTP Surveyors, 9 Mount Folly Square, Bodmin, Cornwall, PL31 2DG. Principal Contractor – TBC
The existing environment		Comments/response
Surrounding land uses and related restrictions adjacent to proposed construction site (e.g. premises, schools, shops or factories)		Residential properties to the North Playing field to the East Children's playground to the South Amenity space to the West Two of the playground fence panels will need to be removed so that herras fencing can be erected around the whole building. The herras fencing will need to be clad with dust suppression material to avoid excess dust escaping the site during demolition works. As public access around the total perimeter of the building will need to be maintained for the period of works it is imperative that unauthorised access to the site is prohibited at all times and clear signage is erected to denote so.
Planning restrictions, which may affect health and safety		None.
Existing services including both underground and overhead		Existing foul and surface water drainage runs and inspection chambers as identified on site plan. See also South West Water map in appendix. There are no overhead cables directly over or adjacent to the site. There is overhead cabling down St Marys Road but this should not be of consequence to the works at the public

	conveniences.
Existing traffic systems and restrictions (e.g. access for emergency services, waste disposal, deliveries, etc.)	<p>The site is accessed off Corporation Road. Only on-road parking is available. A section of the surrounding amenity area / playing field will be attributed to the site for material storage. This area will need to be incorporated into the site fencing to prevent unauthorised access.</p> <p>Delivery of goods and removal of waste will require careful planning.</p>
Existing structures (any hazardous materials in existing structures which are being demolished or refurbished, any fragile materials which require specific safety precautions or have instability problems, structural limitations or loadings)	<p>Existing single storey brick built public convenience block with pitched roof and concrete tile roof covering.</p> <p>An asbestos survey has not yet been undertaken but will be supplied to the Principal Contractor prior to the works. If necessary, asbestos containing materials will be removed by a specialist contractor prior to commencement of works.</p>
Relevant information relating to the presence of Asbestos or any other known hazardous substances or materials	An asbestos survey has not yet been undertaken but will be supplied to the Principal Contractor prior to the works. If necessary, asbestos containing materials will be removed by a specialist contractor prior to commencement of works.
Ground conditions (e.g. contamination, instability, possible subsidence, old mine workings or underground obstructions)	Not known.
Existing fire and emergency procedures	The Principal Contractor must maintain access for emergency vehicles at all times to both the site and residential properties in the surrounding area which are also accessed via Corporation Road.
Existing permit to work arrangement that are to be enforced on this project	None.
Existing security arrangements that are to be enforced on this project	<p>Site to be secured at the end of each working day.</p> <p>Note consistent use of all surrounding areas by the public. Security of the site to unauthorised access must be maintained at all times.</p>
Existing drawings and existing health and safety file	Comments/response
Available drawings of structure(s) to be demolished or incorporated in the proposed structure(s)	See RTP existing and proposed plans and elevations.

(this may include a health and safety file prepared for the structure(s) and held by the client)	
Client-specific site-wide elements	Comments/response
Positioning of site access and egress points (e.g. for deliveries and emergencies)	The site is accessed via Corporation Road and it is considered that this will provide the access and egress points to the site for deliveries and emergencies. Note that public off road parking is also available on Corporation Road and care must be taken to protect public vehicles from site traffic collision or damage from material drop off etc. by the use of a banksman at all times.
Location of temporary site accommodation/welfare facilities	The Principal Contractor will need to provide a welfare unit and WC for the duration of the project. It is assumed at this time that the unit will be located on the on-road parking on Corporation Road. This is to be confirmed with Bodmin Town Council prior to starting on site.
Location of unloading, layout and storage areas	Unloading and storage of materials will be provided within a small compound adjacent to the public convenience building on either the East or West. This area must be included within the herras fencing compound to prevent unauthorised access.
Traffic/pedestrian routes	<p>The Principal Contractor should include information on traffic / pedestrian routes in the site induction.</p> <p>There is currently a pavement which runs between Corporation Road and the public convenience building. It is assumed that this section of pavement will be closed during the works. The Principal Contractor will need to erect signage to that effect to notify pedestrians that the pavement is closed and direct them to an alternative protected route.</p>
Overlap with client's undertaking	Comments/response
Consideration of the health and safety issues which arise when the project is to be located in premises occupied or partially occupied by the client or effected by the works (i.e. other activities on or adjacent to the site)	<p>The property will not be occupied during the works.</p> <p>Consideration must be given to the neighbouring properties which are occupied with regard to disturbance.</p> <p>The adjoining playing field and children's</p>

	playground will remain in use by the public during the works.
Site rules	Comments/response
Specific site rules which the client or the Principal Designer may wish to lay down as a result of the points above or for other reasons (e.g. specific permit-to-work rules, emergency procedures)	None.
Continuing liaison	Comments/response
Procedures for considering the health and safety implications of design elements of the principal contractor's and other contractors' packages	Through contract instructions, continual liaison and site meetings with the Contract Administrator.
Procedures for dealing with unforeseen eventualities during project execution resulting in substantial design change and which might affect resources	Stop work immediately and contact the Contract Administrator.
Key performance indicators	Comments/response
Are there any specific KPIs that the client proposes to initiate during the project that are related to health and safety? (i.e. noise/dust emissions, accidents, health and safety inspections/audits)	None.

Harriet Parkin BSc (Hons) MRICS

On behalf of RTP Surveyors

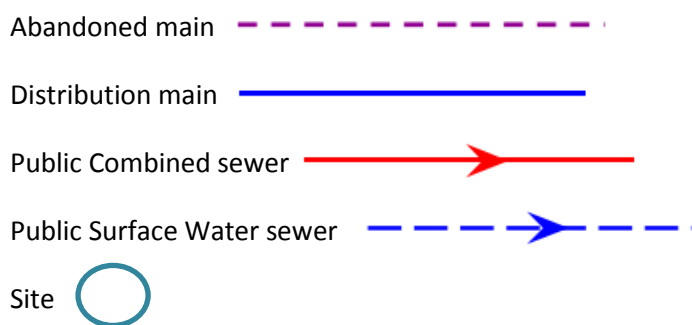
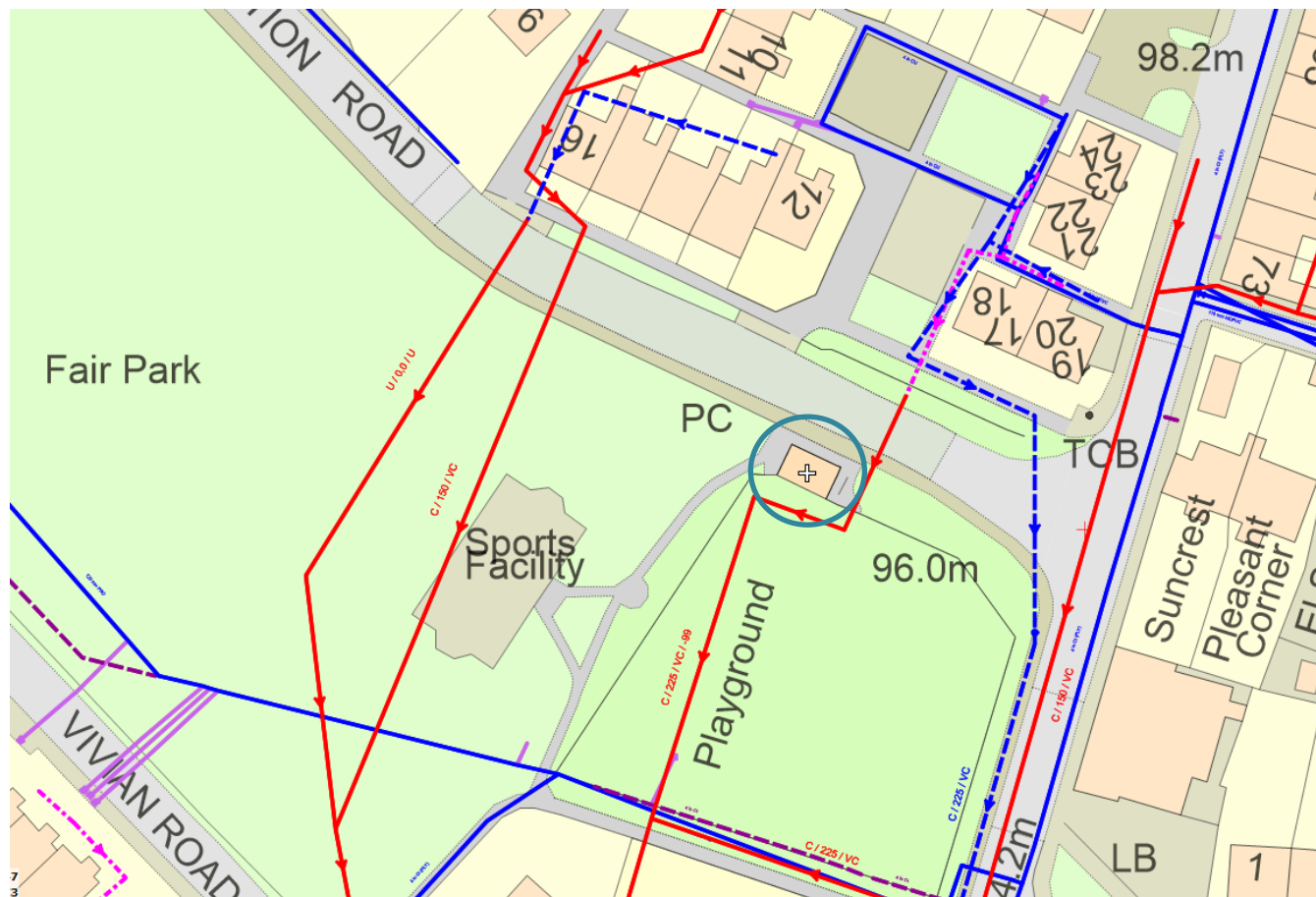
19th June 2019

Appendix A

Schedule 3 Risks:

- 1) Work which puts workers at risk of burial under earthfalls, engulfment swampland of falling from a height, where the risk is particularly aggravated by the nature of the work or processes used or by the environment at the place of work or site;**
 - **Principal Contractor to include methods of risk reduction in Construction Phase Plan and Site Induction.**
- ~~2) Work which puts workers at risk from chemical or biological substances constituting a particular danger to the safety or health of workers of involving a legal requirement for health monitoring;~~
- ~~3) Work with ionizing radiation requiring the designation of controlled or supervised areas under regulation 16 of the Ionising Radiations Regulations 1999;~~
- ~~4) Work near high voltage power lines;~~
- ~~5) Work exposing workers to the risk of drowning;~~
- ~~6) Work on wells, underground earthworks and tunnels;~~
- ~~7) Work carried out by divers having a system of air supply;~~
- ~~8) Work carried out by workers in casissons with a compressed air atmosphere;~~
- ~~9) Work involving the use of explosives;~~
- 10) Work involving the assembly or dismantling of heavy prefabricated components.**
 - **Principal Contractor to include methods of risk reduction in Construction Phase Plan and Site Induction.**

Appendix B
South West Water Map (not to scale)



Appendix C

CDM site plan (not to scale)

