

05. The Old Vicarage Place Rooftop Gardens. (A)



Figure 31. Rooftop Garden . Visualisation 03.

05. The Old Vicarage Place Rooftop Gardens. (B)



Figure 32. Roof Gardens . Technical drawing

01. Capitalise on the currently unused space to create a valuable asset for the town centre through the creation of an elevated roof garden, including:
 02. A community 'productive' garden. An accessible and inclusive garden space of raised beds, fruiting trees, herbs and ornamental plants. This could be coordinated with Edible St Austell, local community groups and potentially feed into social prescribing in collaboration with St Austell Healthcare.
 03. Access to the garden is achievable via external and internal staircases as well as an extension to the ramp access from the ground level. A wide, linear path provides access through the space and provides an opportunity for activity/markets, external events etc.
 04. Inclusive activity in the form of climbing and more imaginative play provides opportunity for a variety of ages. The proposal in this case is a climbing 'boulder' or similar as a representation of the surrounding landscape.
 05. There is potential for a bridge connection to the adjacent White River Place. The level and alignment of the bridge fits well with an existing roof terrace. This could, in collaboration with WRP incentivise the population of the, currently vacant, spaces in WRP.
 06. There is space for a large structure/multi purpose building on the rooftop. The suggestion is for this to be a unique glazed form to facilitate access to green space in inclement weather, winter, nighttime etc. The form could include further uses such as cafe kiosk, bar, etc, also with the potential for small lettable office units or similar.

Notes:

The roof structure is robust due to its previous use as a car park. Certainly the inclusion of a 'garden landscape' is achievable through the use of currently available lightweight structures and drainage methods. The installation of built form will need to be considered carefully in order to determine the additional structural requirements.

The space presents a unique and high value view through the rooftops of St Austell, to the church and the landscape beyond. This has the opportunity to be a unique and popular multi purpose space.

Due to its location, with the exception of access requirements, the project can be implemented with limited disruption to the general function of the town centre.

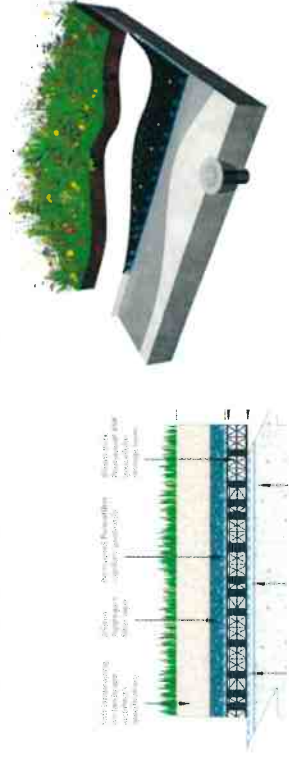


Figure 33. Example roof build-ups

05. The Old Vicarage Place Rooftop Gardens. (C)



Figure 34. Roof Garden. Illustrative plan



Figure 35. Roof Garden. Visualisation 01.



Figure 36. Roof Garden. Visualisation 02.

Site 14.

The Rooftop Gardens

Project Description:

This project seeks to create an exciting roof top garden with fantastic views over the town and a contemporary structure suitable for all year round pop-up business and events.

The rooftop of Vicarage Place has great potential due to its location, height and capacity for loading (designed as a car park). There have been numerous requests throughout consultation with community and stakeholders for a town centre park, which is difficult to achieve at ground level as the spaces need to remain flexible. The roof top location gives opportunity to do something unique and that is a dynamic 'draw' to St Austell. The proposals suggest diverse gardens, community growing spaces, performance/flexible space, informal play, informal sport/recreation (petanque, badminton etc), covered greenhouse/winter garden, several small business/hospitality units and a ramp bridge connection to WRP and to ground level. The location is sited within a dramatic location amongst the rooftops, with views to the church and the landscape beyond. It presents potential for links to health, wellbeing, community groups and social prescribing.

An additional benefit is that it can be made secure at times when not in use so although open to the public could also host private events; such as weddings, conferences etc as a means of generating additional revenue.

What are the Benefits:

- Unique, and scaleable. It could be ambitious, including built form/glasshouse etc but equally could be a beautiful rooftop garden. If covered, as winter-garden style space, it becomes a valuable year-round/all weather attraction.
- The site is secure. The space can be locked/secured and safe which limits any chance of antisocial behaviour, but also facilitates events and activities which could become a revenue generator for the owner/operator.
- Its implementation does not require major demolition/major infrastructure change (subject to adequate surveys), to make a significant change, though larger scale elements would require more significant analysis.
- There are further opportunities for leisure use, which can be considered in combination with the works. i.e. Ice rink/rollerskating facility, boules, basketball, Running Track or similar.
- The proposal includes an option for a bridge connection to the adjacent White River Place building. The currently vacant retail/office accommodation offices would benefit from direct and safe access to valuable open space.

Associated Projects: 11, 12, 13 & 09

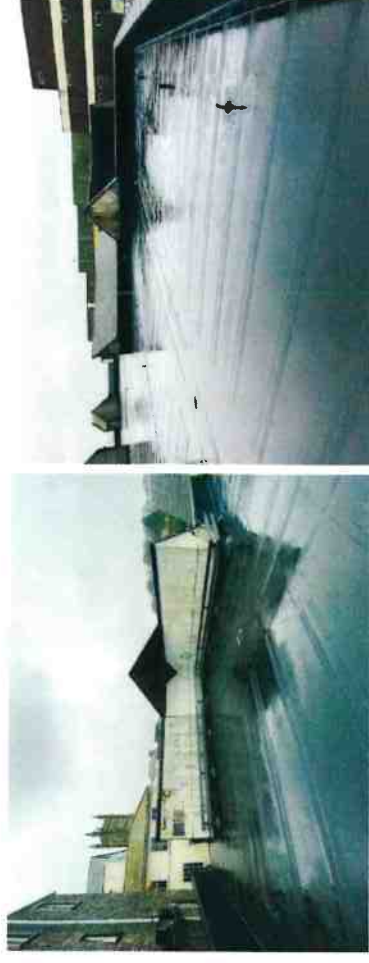
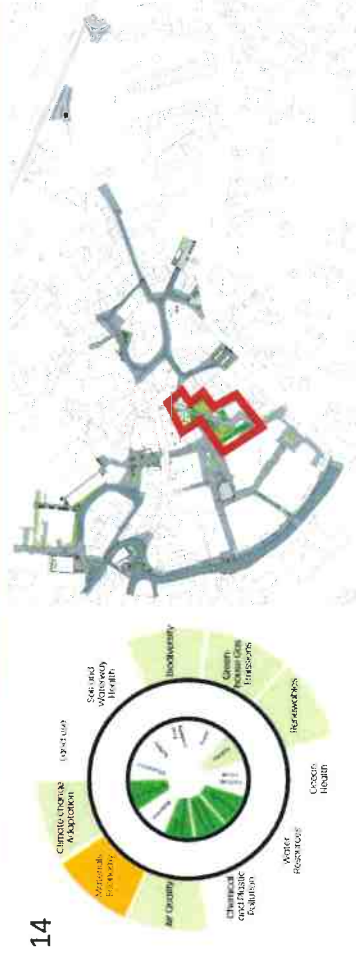


Figure 87, 88 & 89. Old Vicarage Place Roof.



14

