

QUOTATION REQUEST

Required in the construction of a storage barn at Marlborough Golf Course

**FOR Marlborough Town Council Grounds Department, Marlborough,
Wiltshire**

JOB No. 2021/23

SPECIFICATION OF MATERIALS AND WORKMANSHIP

For **Marlborough Town Council**
C/O Woolley & Wallis
4-5 Hughenden Yard
High Street
Marlborough
Wiltshire
SN8 1LT

Under the superintendence and to the reasonable satisfaction of

Woolley & Wallis
4-5 Hughenden Yard
High Street
Marlborough
Wiltshire
SN8 1LT

Note: Contractor to check through specification and must notify the Contract Administrator, (Woolley & Wallis), should any of the *Schedule of Works* or *General Clauses* pages be missing.

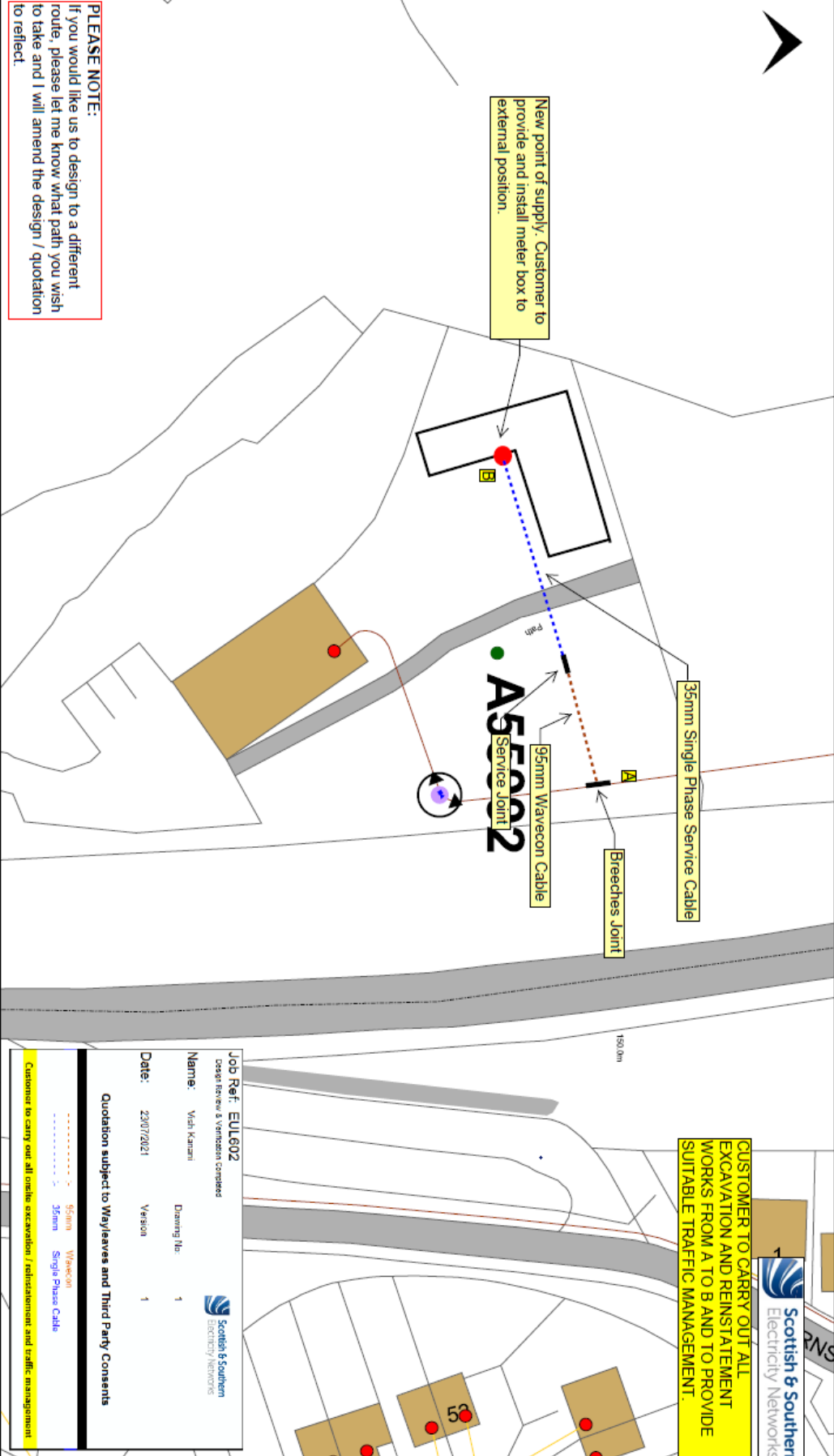
SECTION 1

GENERAL WORKS

No.	Room / Area	Description
A	GENERAL	Quote to include delivery all materials. Quote to include any safety features as required e.g. Heras fencing.
B	SUB BASE / PADS	Clean crushed stone at least 6", blinded with type 1. Concrete pads with holding down bolts to be installed. Spoil to be removed from site.
C	CONCRETE	Reinforced concrete to a minimum of 6" deep with DPC, sealed expansion joints both internally and externally Internal concrete floor is to be power floated to a smooth finish. External concrete is to be tamped to a ridged finish.
D	CONCRETE PANELLING	Pre-cast 100mm concrete paneling to 2.4m (1.2m each) on all elevations that do not have a roller shutter door. (NOTE THIS IS SLIGHTLY DIFFERENT TO PROPOSED ELEVATIONS)
E	CLADDING	Olive green steel box profile cladding sheets with sealed flashings between the concrete paneling to stop any weather/wildlife entering the building.
F	STEEL RSJ & PURLINS	The building will be constructed with a steel RSJ frame with metal roof and side purlins.
G	ROLLER SHUTTER DOORS & PEDESTRIAN DOOR	The elevations facing into the concrete forecourt area (East & South) will incorporate 4 full height olive green roller shutter doors and a single separate secure pedestrian door.
H	ROOF CLADDING	Dark Grey Steel Box Section sheeting with non-drip backing with 2 skylights per bay (see elevations), as per the attached elevation plan. The building will have a closed ridgeline.
I	WINDOWS	Two UPVC double glazing windows on the north elevation to provide natural light to the mezzanine floor, as per the drawings. Security bars are to be installed on the external elevations surrounding the windows. Two internal double glazed double windows installed in the kitchen and office overlooking the main barn area.

J	MEZZANINE	As per the drawings, an internal steel frame mezzanine floor is incorporated within the building including access stairs. Underneath the mezzanine will be a secure room comprising block built wall with secure pedestrian door for the security of high value items. Above the mezzanine an insulated timber framed structure with provide a secure office and kitchen / staff room. A floating ceiling is likely to be required (TBC). Kitchen to include 4 base units, 2 wall units, basin, wall mounted hot water heater with and associated services. Office and be open plan but sub-divided from the kitchen. Secure lockable fire doors to be installed. Hardwearing carpet to be installed upon the mezzanine.
K	W/C	Single storey timber or block structure with ceiling to be constructed to incorporate a full disabled toilet facility with WC toilet block, urinal, basin with wall mounted hot water heater, shower block with electric shower.
L	RAIN WATER GOODS	Steel rainwater goods. Position of the available drainage point to be confirmed. For the purpose of this quote please assume the connection point is within 50 yards. Cross drain to be installed between concrete forecourt and track.
M N	WIDLIFE PREVENTION SERVICES	The building in general is to be made wildlife proof. <u>Electricity</u> Trench to be dug as shown on the attached electric connection plan (REF: EUL602), cable to be laid and area to be reinstated. All required internal electricity to be installed including consumer unit, socket ring main to the main barn, office etc. Two external security lights are to be installed on the south and west elevations. Internal strip lights to be installed within the main barn. Office and kitchen – suitable lighting to be installed. <u>Foul Drainage</u> Sewage Treatment Plant to be supplied and installed. <u>Telecoms / Internet</u> Enquiries are being made with regards to the positioning of the connection point.

		For the purpose of this quote please assume a third party will be carrying out these works.
O	EXTERNAL WORKS	Surrounding area to be made good and reinstated with grass seed and wildflower seed. After works to the barn have completed a thin layer of type 1 is to be applied to the length of the track with a 360 to undo any damage caused to the track and create a smooth surface.
P	SECURITY FEATURE	To be itemised upon the quotation. Security camera system to be installed with two external cameras. Internal alarm system with moment detectors.



Map Centre: 418822, 170075

Scale: 1:500

Page Size: A3

Grid Ref: SU18827007

Designer Name: Kanani, Vishaal

Job Number:

Plot Date: 22/07/2021

Plot Ref: EUL602

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Subject to revision

Master held by S&S Asset Data Team - Asset Data@sse.com

General Enquiries

0800 048 3516

AGRICULTURAL

3m

1m

1m

1.5m

Services

LV

HV

EHV

FOOTPATH/UNMADE

0.45m

0.45m

0.6m

0.8m

ROAD CROSSING

0.6m

0.6m

0.75m

0.9m

General Enquiries

0800 048 3516

AGRICULTURAL

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1.5m

Services

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0.6m

0.8m

ROAD CROSSING

0.6m

0.6m

0.75m

0.9m

Job Ref: EUL602

Design Review & Verification Consents

Name: Vish Kanani

Drawing No: 1

Date: 22/07/2021

Version: 1

Quotation subject to Wayleaves and Third Party Consents

Customer to carry out all on-site excavation / reinstatement and traffic management

Legend

35mm Single Phase Service Cable

95mm Wavecon Cable

Breeches Joint

Service Joint

Path

150.0m

53

Customer to carry out all on-site excavation / reinstatement and traffic management

There may have been subsequent alterations to the surface levels. Trial holes must be taken to determine positions and depths of cables. HS (G) 47 Booklet from the Health and Safety Executive - Avoiding Danger from Buried Cables - should be consulted before commencing excavation work. WHEN WORKING IN THE VICINITY OF OVERHEAD LINES THE HEALTH AND SAFETY GUIDANCE NOTE GS6 SHOULD BE CONSULTED (AVAILABLE FROM THE HSE WEBSITE)

SECTION 2

PRELIMINARIES

2.1 PRELIMINARY PARTICULARS

1. Name of Parties.

The Employer shall be:-

Marlborough Town Council

The Contract Administrator (CA) shall be:-

Woolley & Wallis
4-5 Hughenden Yard
High Street
Marlborough
Wiltshire
SN8 1LT

The Contractor will act as Principal Designer and Principle Contractor to comply with CDM Regulations where required.

AUG 2021 SECTION A -

PRELIMINARIES

A1.00

CONDITIONS OF TENDER

- | | |
|-------|---|
| A1.01 | The Contractor shall submit a tender for all works and materials shown and or specified, including Contingency P.C. and Provisional Sums. |
| A1.02 | The figures submitted shall be fixed price and must remain open for acceptance for not less than two months from the date fixed for the submission of tenders upon which both parties shall enter into a Contract Agreement and in accordance with all the conditions expressed or implied in the Contract. |
| A1.03 | The Employer does not undertake to accept the lowest or any tender or to reimburse Contractors for any expenses incurred in the preparation of their tender. |
| A1.04 | Tenders must include for all works shown, described and apparent as being necessary for the complete and proper execution of the works. |
| A1.05 | Alterations and qualifications to tender documents must not be made without the written consent of the Contract Administrator. |

A2.00**THE SITE**

The site will comprise a bare soil area having been previously graded to the correct level.

A2.02

The working area is to be contained within the boundaries of the site within the minimum practical areas possible.

A2.03

Site visits may be made at any reasonable time but by arrangement with the Contract Administrator.

A2.04

The Contractor must before tendering ascertain the nature of the site and all local conditions and restrictions likely to affect the execution of the works.

A3.00**SERVICES**

A3.01

The Contractor will not have access to the electric supply.

A3.02

The Contractor will not have access to an external standpipe.

A3.03

The Contractor is to provide his own telephone service required for the site and pay all charges levied himself. Contractor to provide their own welfare facilities.

A4.00**STATUTORY/GENERAL OBLIGATIONS**

A5.01

SAFETY, HEALTH & WELFARE

Allow for complying with enactments regulations and working rules relating to safety, health and welfare of work people.

A5.02

CARRY OUT THE WORKS

The Contractor should carry out the works without any undue inconvenience and nuisance and without danger to occupants and users of adjacent building.

A5.03

NUISANCE

Take all necessary precautions to prevent nuisance from smoke, dust, rubbish and other causes.

A5.04

PUBLIC AND PRIVATE SERVICES

Notify all service authorities of proposed works not less than one week before commencing site operations.

Adequately protect, uphold, maintain and prevent damage to all services. Do not interfere with their operation without consent of the service authorities or private owners, or the Contract Administrator as appropriate.

A6.00**MANAGEMENT/ADMINISTRATION PROCEDURES****A6.01****NOTICES**

The Contractor shall give all notices, pay any fees (other than Building Regulation inspection fee) and charges as necessary for the proper execution of the work and conform with any Act of Parliament or other legally enforceable Regulation.

A6.02**INSURANCE**

For the duration of the contract the Contractor shall insure and indemnify the Employer against all claims by third parties and for all personal injury to or death of any person in accordance with the general conditions of contract, to include insurance cover for the building works against any claim and produce the necessary cover note for inspection.

A6.03**METHOD OF PAYMENT TO CONTRACTOR**

To be confirmed

A6.04**SUPERVISION**

The General Contractor is to provide one competent general working foreman who is to be constantly employed on the works during their execution.

The Contractor shall accept the responsibility for co-ordination, supervision and administration of the works, including all sub-contracts. Arrange and monitor a programme with each sub-contractor, supplier, Local Authority and statutory undertaker, and obtain and supply information as necessary for co-ordination of the work.

A6.05**COMMENCEMENT OF WORK**

Inform the Contract Administrator at least 7 working days before the proposed date for commencement of work on the site.

A6.06**ERRORS**

The Contractor shall be held responsible for the rectification of any errors due to his foreman or workmen, and for the rectification, removal and reinstatement at his own expense of any such errors, or any work condemned as inferior or in contravention of the specification by the Contract Administrator.

A6.07**MAINTENANCE**

The Contractor shall be responsible for making good at his own expense any defective workmanship or replace any defective material up to within six months from the handing over of the completed works, the decision as to the Contractor's

responsibility will be at the reasonable discretion of the Contract Administrator who shall furnish a schedule of such items to the Contractor prior to the termination of the maintenance period.

A6.08

VARIATIONS

Orders for any extras to, alterations in, or omissions from the Specification shall be given to the Contractor by the Contract Administrator in writing and the work shall be charged for or deducted at current day work rates or agreed estimate.

A7.00

RESOURCES/TEMPORARY WORKS AND SERVICES

A7.01

SITE SET UP

The Contractor shall inform the Contract Administrator of the intending siting of all spoil heaps, temporary works and services. Any site huts and storage areas are to be maintained in positions agreed. Provide skip for waste as and when required and keep parking access clear at all times.

A7.02

PROTECTION

Provide adequate security to all parts of the existing and new structure during the progress of the works against theft.

A7.03

MAINTENANCE OF PUBLIC AND PRIVATE ROADS

Maintain public and private roads, footpaths, kerbs etc. and keep the approaches to the site clear of mud and dirt.

The Contractor shall make good any damage caused by his own or any sub-contractor's or supplier's transport at his own expense and pay any costs and charges in connection therewith.

A7.04

LABOUR, PLANT, ETC.

The Contractor shall provide all labour, plant, tools, vehicles and equipment necessary for the proper execution of the works. He shall also provide, erect, maintain and remove when no longer required, all scaffolding, ladders, galleries, staging, trestles etc. for the carrying out of the work in proper sequence. Allow for complying with the Factory Act or other Regulations governing the use of ladders, scaffolding etc.

A7.05

REMOVING RUBBISH AND CLEANING WORKS ON COMPLETION

Provide for removing all rubbish from the site, both as it accumulates from time to time and at completion.

Provide for removing all protective casings and coverings, cleaning the building inside and out, touching up paintwork and

polished work and leaving the whole of the works clean to the satisfaction of the Contract Administrator on completion.

A7.06

TEMPORARY FENCING ETC.

Provide and maintain all necessary temporary fencing, hoardings, screens, planked footways, guard rails, gantries and the like for the proper execution of the work and to restrict access onto the site only for people authorized to be there and to restrict the public from entering the site.

A7.07

SAFETY, HEALTH & WELFARE

Provide for all costs incurred and comply with all Safety, Health & Welfare Regulations appertaining to all work people (including those employed by sub-contractors) employed on the site.

A7.8

OBLIGATIONS

Provide for complying with all other obligations not herein before mentioned.

SECTION B -

MATERIALS AND WORKMANSHIP

B1.00

STORAGE FACILITY

GENERALLY

B2.00

CARPENTRY

MATERIALS

B2.01

TIMBER

Timber shall be sound, well conditioned, properly seasoned to suit the particular use and free from defects or combination of defects rendering it unsuitable for the purpose intended.

B2.05

METALWORK

To be CE Marked and up to current regulation.

B2.06

MEASUREMENTS

The Contractor shall check all measurements at the site and not from drawings, otherwise all work should be executed strictly in accordance with detail drawings.