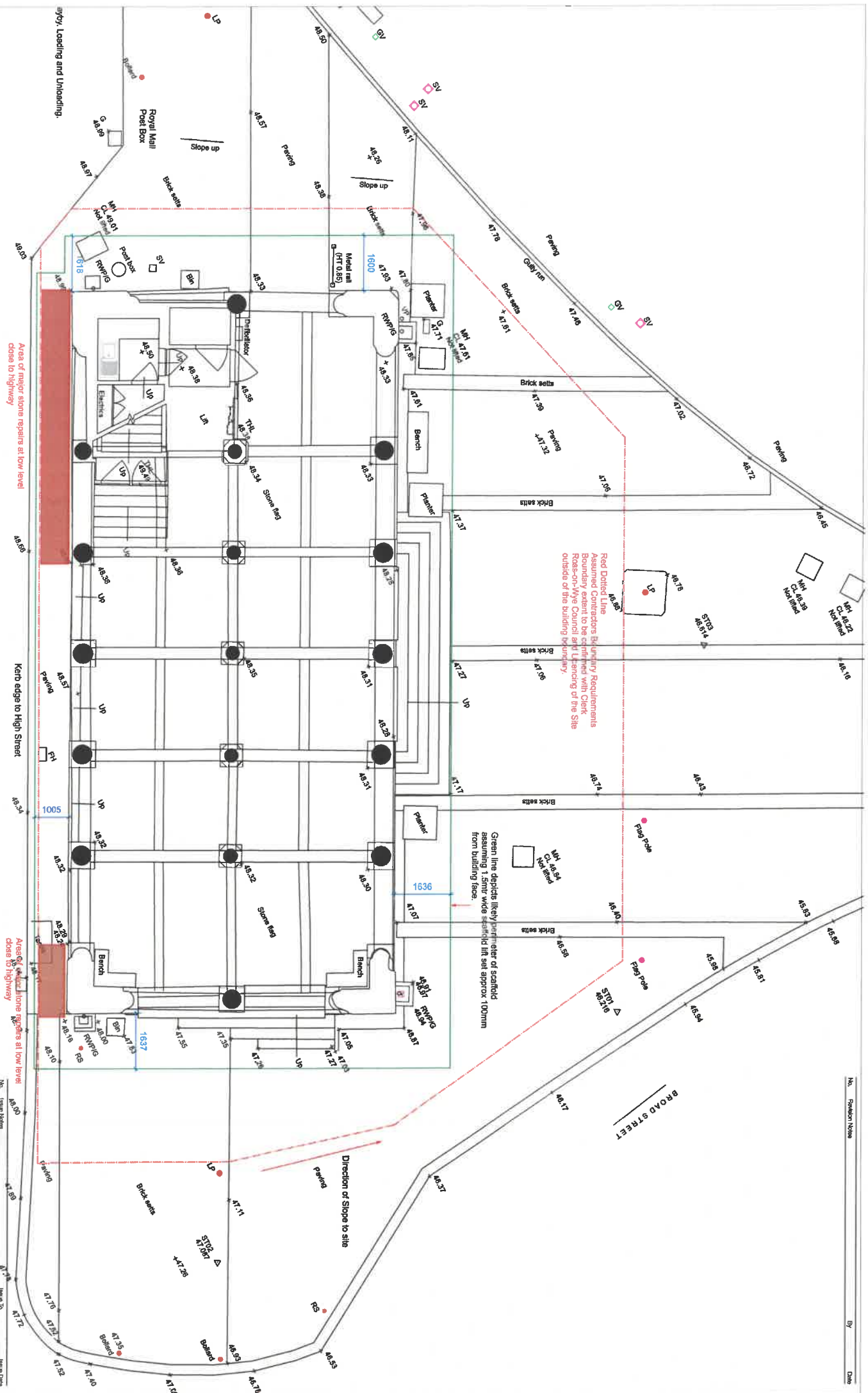


Market House Site Layout



Scale 1:50





Carefully rake out and deep repoint the thin joints between existing stone blocks within the blue outline.

North west corner

NW 1. Within the red outlined area to the large corner stone block NW1. Apply a sensitive mortar repair to the eroded areas to build the surface level with adjacent blockwork. Approach sensitively, matching the new plastic mortar repair with the host stone in colour, texture and finish. As directed by the architect and in line with the specification.



Rake out and deepack and repoint thin horizontal mortar joint under base of corner stone

Rake out and repoint to open defective vertical joints, mainly to corner stones and the base of bottom course.

Rake out and deep pack open joints to modern brickwork surround to gully. Allow for replacement iron gully grille

South west corner



Existing condition of South West Corner.

West Elevation between columns 7 and 7b



Apply a fine mortar repair to the column base as shown. Mix to be agreed and directed by Conservation Architect

Repair mortar flaunch to top of stone upstand under timber trellis.

Remove heavy soiling and algae to infill stone cobbles with a stiff brush.

Lower 2 base stones to half column 7b are ending heavily on surface. Gently brush back loose friable stone back to a sound hard crust. Allow for minor pointing to this area as directed by the architect.



Current condition of lower stones to column 7b.

Refer to schedule and drawing 950-017 for repairs for repairs to gable coping rainwater lead chute, stone roundie.

Refer to drawing 950-030 for repairs to both WF-08, WF-09 windows.

Apply mortar repair to small area of lower front right stone section where shown. Using ceramic or stainless steel armatures with an Conservation Architect approved mortar repair mix to match the host stone in colour, texture.

Rake out and deep pack open joints to stone steps as necessary. Approximately 35% of visible joints.

Repoint open joints where seen along this section of low level stone.

Extinguish deep open void, pack with lime mortar and the slips to offer full support to above stone.

Rake out and repoint isolated open vertical joints where seen along the lower stone section to the left of north steps. refer to drg. 950-017
Rake out vegetation to perimeter cobbled border and repoint with lime mortar.


Existing Large open void at ground level behind existing planter and bench.

Place in appropriate sized stone 1 or 2 stones undressed to match existing adjacent stones in size and colouration and finish to this area at ground level.

Clear existing vegetation from perimeter, make out loose defective joints to wall face below columns & tie to ground level, repoint in appropriately approved lime mortar.

NOTE: All stone replacement to be in an approved Rose Brownstone (Sandstone) unless otherwise directed by the Conservation Architect.

Vertebrae clay life.



In a vertebrae life slip to wide open joint here, set in approved lime mortar. Place out and reposition remaining isolated open joints.

Repoint open joints to brick surround to this open gully.

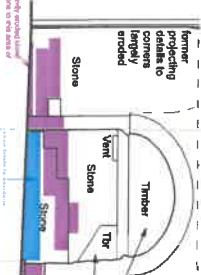
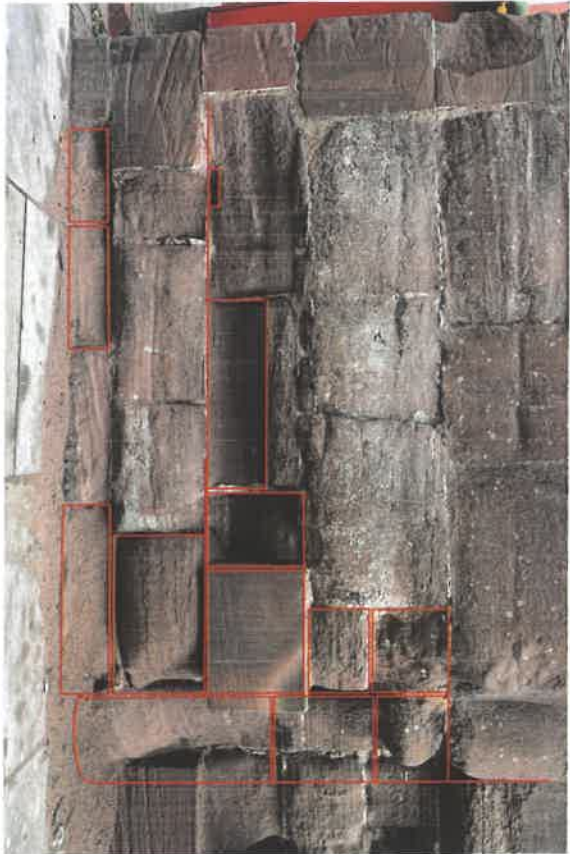
Take out existing vegetation from cobbled inset border
Repoint open joints in approved lime mortar

NOT to SCALE

Gentily brush loose delaminated stone from the exposed face back to a sound surface.
Refer to dng' 850-017



Area of stone corresponding to drawing
Current condition of existing lower left wall to the south west corner.



Allow for cleaning, minor timber repairs to infill timber screen panels set within the archway under columns 8a and 8.

Area of lower stone work as shown on drawing 950-018 South and West Repairs Elevations.

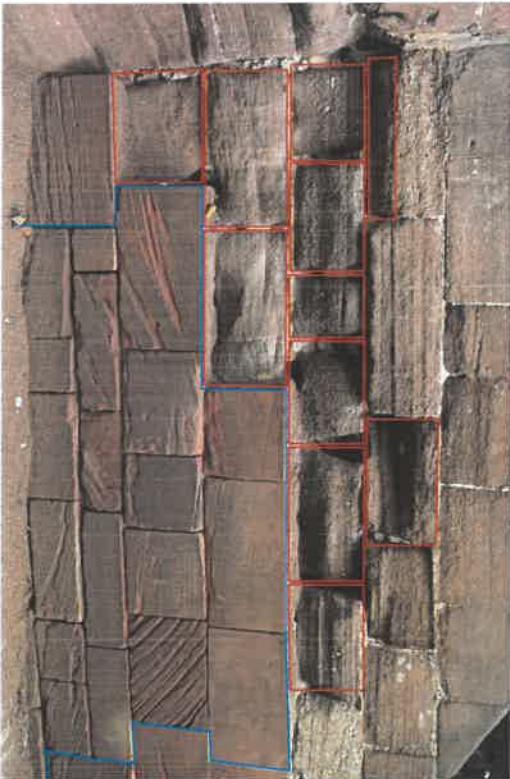
Area of stone corresponding to drawing



Current condition of south west corner adjacent to half column 8a

A degree of further investigation is necessary to determine how deep the stone sections are, and what building material is present as the structure core.

The stones are severely eroded, especially the two lower large stone sections to the half column referred to as (Col 8a).



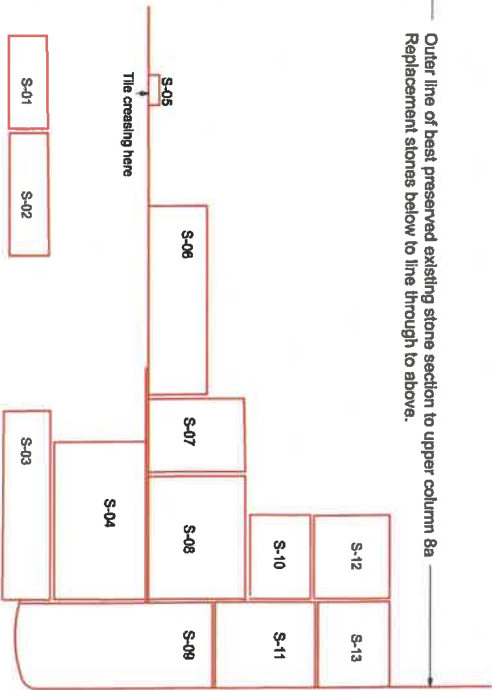
The identified red outlined blocks indicated above require replacing in part or whole, each stone to be treated on an individual basis. As stones are exposed, visual inspections can determine extent of replacement. Ashlar stone replacements of a minimum depth of 150mm.

Allow for filling in large voids which may be present behind the outer stone. Architect to advise as works uncover and progress.

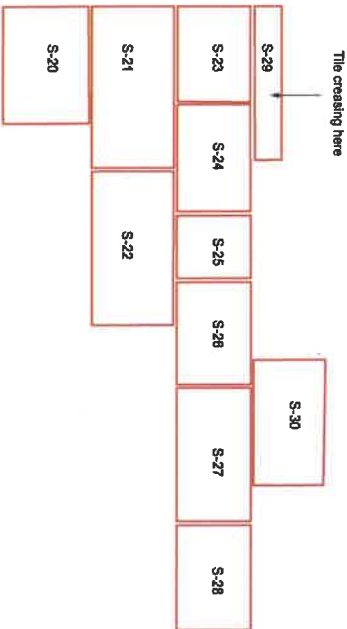
The area below outlined in BLUE represents earlier previous attempts at stone replacement and for unknown reasons the lime mortar has failed and desintegrated.

Ideally this area should be carefully removed and rebuilt using the same stone blocks. Report this area in line with the specification and above stone replacements. Refer to drawing 560-018

Outer line of best preserved existing stone section to upper column 8a
Replacement stones below to line through to above.



All replacement stone to be treated individually, to replicate the stone size, position and coursing within the wall. New stone to be set in an approved lime mortar. Refer to the specification for proposed lime mortar mix. Selected stone to be approved by the Conservation Architect before any sizing cutting to ensure match and consistency with the entire elevation.



NOTE:
Actual existing stone blocks vary in size, allowances in the drawing should be made for the angle of perspective within the images provided causing deflection to the horizontal and vertical course lines.

APPROVED SMC

No. Issues To Issues To

HAWKES EDWARDS
CHARTERED ARCHITECTS
HISTORIC BUILDING CONSULTANTS
www.hawkesedwards.com

CLIENT: Rose-of-Wyke Town Council
PROJECT: Market House
TITLE: South Elevation External Stone Repairs 1 of 2
SCALE: 1:15
DATE: 05/07/22
SHEETING: A1
REF: NW CAB
JOB/DRAWING NUMBER: 1 046 Town Street, Rose-of-Wyke, Notts NG20 9HT
Tel: 01909 280870
Fax: 01909 280870
Email: info@hawkesedwards.com
CIPD: 026

Area of existing stonework to South Elevation requiring sensitive repointing. Lower previously replaced newer stone joints to be carefully packed tight with approved lime mortar.



Existing Photographic Record of the east end of the lower stone to the South Elevation



Minor areas of repointing required to the upper corner stone joints which may have been washed out from the overflowing guttering above. Gently clean the existing stone to remove staining and algae



Repoint defective/open joints with approved lime mortar. Gently clean the existing stone to remove staining and algae

3 No required stone block replacements



Hatched recessed stone blocks are questionable and if left will advance the decay of adjacent stones.

In order to uniform the stone and protect the lower block edges. Recommend refacing hatched blocks with 150mm deep ashlars at the heavier eroded areas. Introducing red clay tile creasing where possible to preserve more of the historic fabric. The Conservation Architect to advise and direct exact intervention on site.



Protect and preserve these markings

Apply sensitive plastic mortar repair to the top eroded section of the corner block S33. Mortar repair to match host stone in colour, texture and finish.

Area of stone outlined in blue corresponds to area defined on drawing 950-018



South east corner shown above demonstrating its close proximity to the adjacent highway. A likely contributory factor to the lower stone and mortar erosion.