

DESIGN & ACCESS STATEMENT

OCTOBER 2024

Fig. 1 – Front and Side Elevation

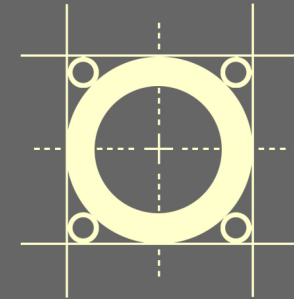


ADDRESS

The Pavilion at the Recreation Ground, BS36 1LU

PROPOSAL

Single storey side and front extension,
Internal re-model and refurb,
New canopy to front



WESTERN
BUILDING CONSULTANTS

1.0 INTRODUCTION

- 1.1 This Design and Access Statement has been prepared by Western Building Consultants.
- 1.2 It has been produced to support the proposal for an extension to, and alterations of, a Sports Pavilion at the Recreation Ground in Winterbourne, North of Bristol.
- 1.3 This statement explains the key design principles that have been used to develop details of the scheme and should be read in conjunction with the drawings submitted as part of the application.
- 1.4 This document is supported and should be read in conjunction with the following documents:
 - (3)001 – 1:1250 Site Plan
 - (3)002 – 1:500 Block Plan
 - (3)003 - 1:100 Existing GA Floor Plan
 - (3)004 - 1:100 Existing Roof Plan
 - (3)005 - 1:100 Existing Elevations
 - (3)006 - 1:100 Proposed GA Floor
 - (3)007 - 1:100 Proposed Roof Plan
 - (3)008 - 1:100 Proposed Elevations



Fig. 2 – Front and Side Elevation

2.0 OVERVIEW OF SITE

- 2.1 The Pavilion at the Recreation Ground is located in Winterbourne, which is North of the M4, East of Stoke Gifford and West of Coalpit Heath. The Cricket and Football ground is just East of Winterbourne Academy and South of Parkside Avenue. The site is level and flat. With the exception of a concrete finish lane West of the Pavilion, the site is entirely grass finish.



Fig 3 / 4 Aerial Photographs from Google Maps

3.0 PLANNING HISTORY

- 3.1 The online records for this site show no previous planning history for alterations to the Pavilion since its construction

4.0 CURRENT DESIGN

- 4.1 The existing building is a Pavilion at the Recreation Ground. It is single storey and has a monopitch roof falling away from the front elevation. It is approximately 18m long by 8.2m deep and 3.9m tall. The building is finished on the front in red/brown brick with painted white render to the sides and rear. A canopy is located at the front of the building. The roof is finished in metal sheet and has a grey metal flashing to the fascia. All windows and doors have security shutters. Internally there is a central 'clubroom' with access to a small kitchen. The clubroom also provides access to two changing rooms which have showers and toilets. There are no neighbouring buildings within the immediate vicinity and no overlooking – the nearest building is Winterbourne Academy (as seen in Fig.5) and is a reasonable distance from the building.



Fig 5 Side Elevation

Fig 6 Rear Elevation



5.0 PROPOSED DESIGN - SIZE

- 5.1 It is proposed to extend the building to the side and the front and internally re-model and refurb to improve the internal layout and the quality of the internal spaces. The building would be extended by 9.7m to the south side and 2.2m to the front with a further 0.8-2.2m canopy to the front elevation.

6.0 PROPOSED DESIGN – INTERNAL SPACES

- 6.1 The existing building will accommodate two changing rooms in a new configuration. Each changing room has space for 16 users and each includes 3 showers, (with privacy cubicles), one accessible shower, and one WC with wash basin. The changing rooms have been designed to Sport England guidelines. Between the two changing rooms there is an Officials Changing Rooms with one shower, one accessible shower, and a WC and basin. There will also be store with cleaners sink. The existing building will also accommodate a plant room, players lobby, and accessible WC and baby changing.
- 6.2 The new side extension will provide a new clubroom, with WCs, a kitchen, and a bar. It is considered the extension will provide the most suitable location for the clubroom, and create the most beautiful space.

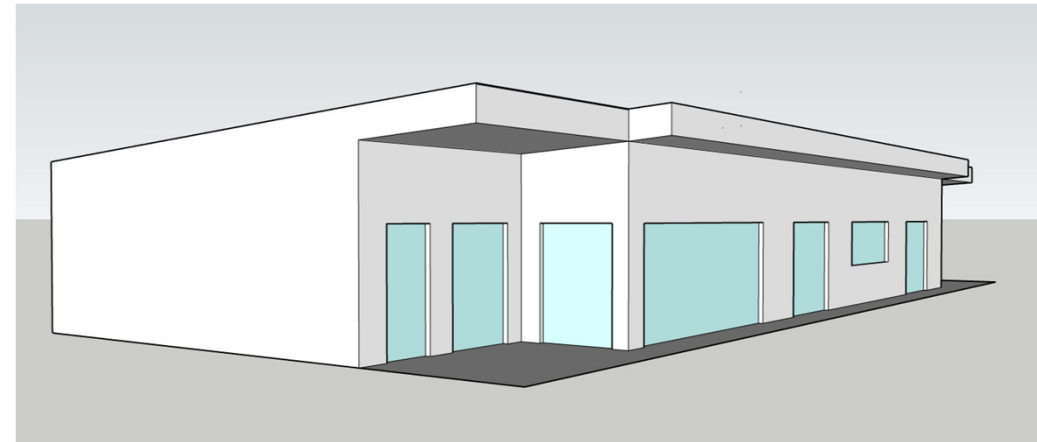


Fig 7 – Massing model image 01

7.0 PROPOSED DESIGN – EXTERNAL FEATURES AND MATERIALITY

- 7.1 The clubroom will include a 5m-wide glazed bi-fold door which can be opened up to improve the connection with the outside. The clubroom will also be filled with natural light from the addition of 3 rooflights positioned centrally in the space.
- 7.2 Externally, the walls will be finished in red-brown brick and white render to match the existing. The roof will also be finished in grey-coloured metal sheet to match existing with grey fascia trim. Window frames to be grey colour and all windows and doors will be fitted with security shutters.
- 7.3 The roof will be set at the same height as the existing. The overall height at the high point of the eaves will be approximately 0.25m taller than the existing.

8.0 PROPOSED DESIGN – SCALE AND MASSING

- 8.1 The proportions of the proposed design are based on the existing – the setting height of the new roof is to be the same as existing. The existing Pavilion has a gross internal area of 130.96 sq.m. The extension has a gross internal area of 108.70 sq.m. The line of the rear elevation is to remain as existing and the eaves height at the rear is to remain the same. Internal finished floor level is to remain as existing.

9.0 PROPOSED DESIGN – LANDSCAPE AND EXTERNALS

- 9.1 Externally under the canopy the ground is to be finished with new paving slab

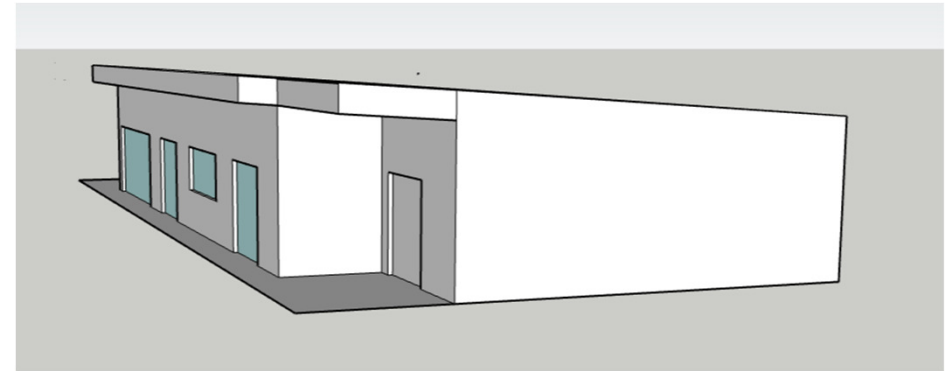
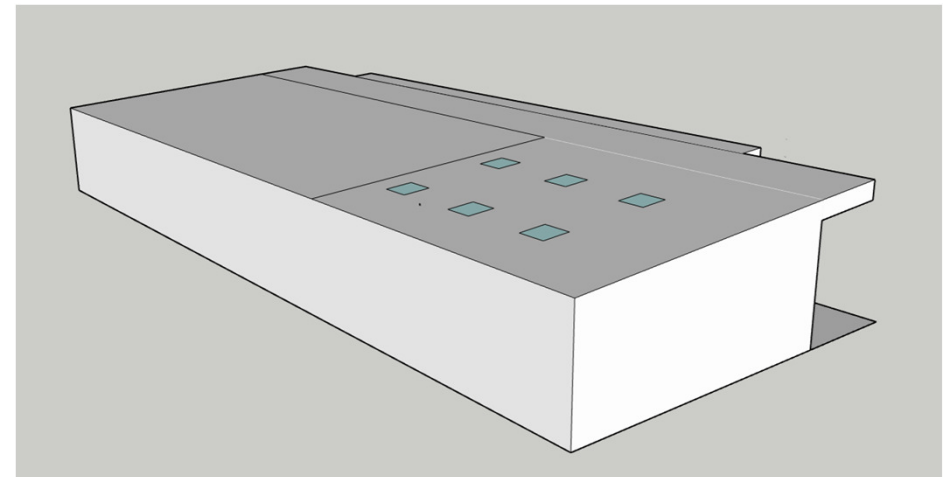


Fig 8&9 – Massing model image 002 / 03



10.0 PROPOSED DESIGN – ACCESS AND ACCESSIBILITY

- 10.0 The proposed Pavilion design has level thresholds to both entrances. Internally there will be an accessible shower in both changing rooms and also the Officials Changing Room. An accessible WC is also provided. Spaces are designed to Sports England Guidance and current UK Building Regulations

11.0 USAGE

- 11.0 The kitchen in the original plans is, in fact, a bar first with kitchen facilities second. Whilst the proposal provides a new bar and kitchen the amount of usage will remain as per existing i.e. there are no plans to increase the usage. The clubroom will only be used as a clubroom for sports and will not be let out. Deliveries of food and drink will be made by car. The sports pavilion changing rooms will also have the same amount of usage as per previous years. Only existing users will continue to use the facility, therefore no increase in traffic / vehicles. This is a refurbishment of an old, run down building which needs to increase in size to comply with Sport England guidelines

12.0 TRANSPORT

- 12.1 The site already has generous parking that caters for existing / proposed use. This is illustrated on the red outline on the aerial photograph on this page. Cars never park on the grass, as the tarmac area is considered ample. The proposal does not reduce or increase the parking provision - it is to remain as existing.
- 12.2 A new covered cycle stand for multiple bikes can be provided by the building to encourage more sustainable transport. The location of this is as per the yellow circle on the image on this page.



13.0 PROPOSED DESIGN – ARCHITECTURE

- 13.0 The current Pavilion has a simple impractical design with no Architectural interest. The new proposal however will feature a canopy to the front, and extensive glazing to the clubroom creating practical spaces that are well lit with a contemporary design with a greater consideration for functionality and aesthetics.

14.0 SUMMARY AND CONCLUSION

- 14.0 The current Pavilion is dated and is no longer fit for purpose – the layout is not the most practical, the building has no consideration for aesthetics, the clubroom is not large enough, and the building does not have accessible showers or WCs. It is proposed to extend the building to the side and front to address all these issues, and create a beautiful building that is accessible for all, as well as one that is practical, functional, and fit for purpose.
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