



**Address of property:
The Village Centre
New Hill
Farnsfield
Notts
NG22 8JN**

**Prepared on behalf of:
The Parish Council**

**Date of inspection:
25th April 2017**

BUILDING SURVEY REPORT

‘a detailed report on a property’s condition’



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1.0 Making the most of your report

This form of survey report has been designed in line with comments from our customers. Our aim is to provide advice and information on your property, its construction, the materials used and its condition in a format that is clear and easy to understand.

A plain English style

We try wherever possible to use a plain English style and avoid jargon, but we do need sometimes to use technical terms to describe parts of the building. Before you start to read the report, take a look at the “Example House Illustration” and “Glossary of Building Terms” in the APPENDIX. This will help you understand some of the technical terms in the report. We would of course be pleased to discuss any aspect of the report with you further.

Advice on repairs and faults

The construction style of the building and the defects found by the Surveyor are shown in the Survey Report and there are annotated photos where we feel that these are appropriate and helpful.

Extra construction facts

In the APPENDIX we incorporate general advice for each part of the structure. This will give you some background knowledge of main materials and construction used. They have been selected because they are relevant to this property and reading them will give you a better assessment of the repairs recommended in the report.

Useful general maintenance notes are included in APPENDIX 4. You will find Essential Guidance for your Survey Report in APPENDIX 5. Please read your report carefully and feel free to contact our surveyor to discuss any matters.

CONDITION RATINGS 1 2 & 3

What everyone wants to know is how significant any defect is and whether repairs need to be dealt with now, or can the work wait until after occupation-for each repair: we tell you how urgent and significant it is. Where the repair or further investigation is required, the appropriate advice about what action to take is provided.

CONDITION RATINGS DEFINITION

- 1 Satisfactory Repair:** Considered to be in an acceptable state of repair and condition taking into account the age of the property. No repair is required.
- 2 Maintenance Required:** Considered by the surveyor to be in a generally acceptable condition but requires some routine maintenance and repair which is considered normal for a property of this age and character.
- 3 Urgent Repair or Further Investigation Needed:** Defects or shortcomings that are an actual or developing threat to the fabric of the building or to personal safety. Repair or further investigation is required immediately.

Remember this is just a guide but it should help you prioritise the repairs listed. Take special note of items with a condition rating 3 as further investigation may be needed by a specialist contractor.

2.0 Instruction

Weather:

The weather was dry and clear preceded by a period of similar weather.

Limitations of Inspection:

Comment cannot be given on areas that are covered, concealed or not otherwise readily visible. There may be detectable signs of concealed defects, in which case recommendations are made in the report. In the absence of any such evidence it must be assumed in producing this report that such areas are free from defect. If greater assurance is required on these matters, it will be necessary to carry out exposure works. Unless these are carried out prior to exchange of contracts, there is a risk that additional defects and consequent repair costs will be discovered at a later date.

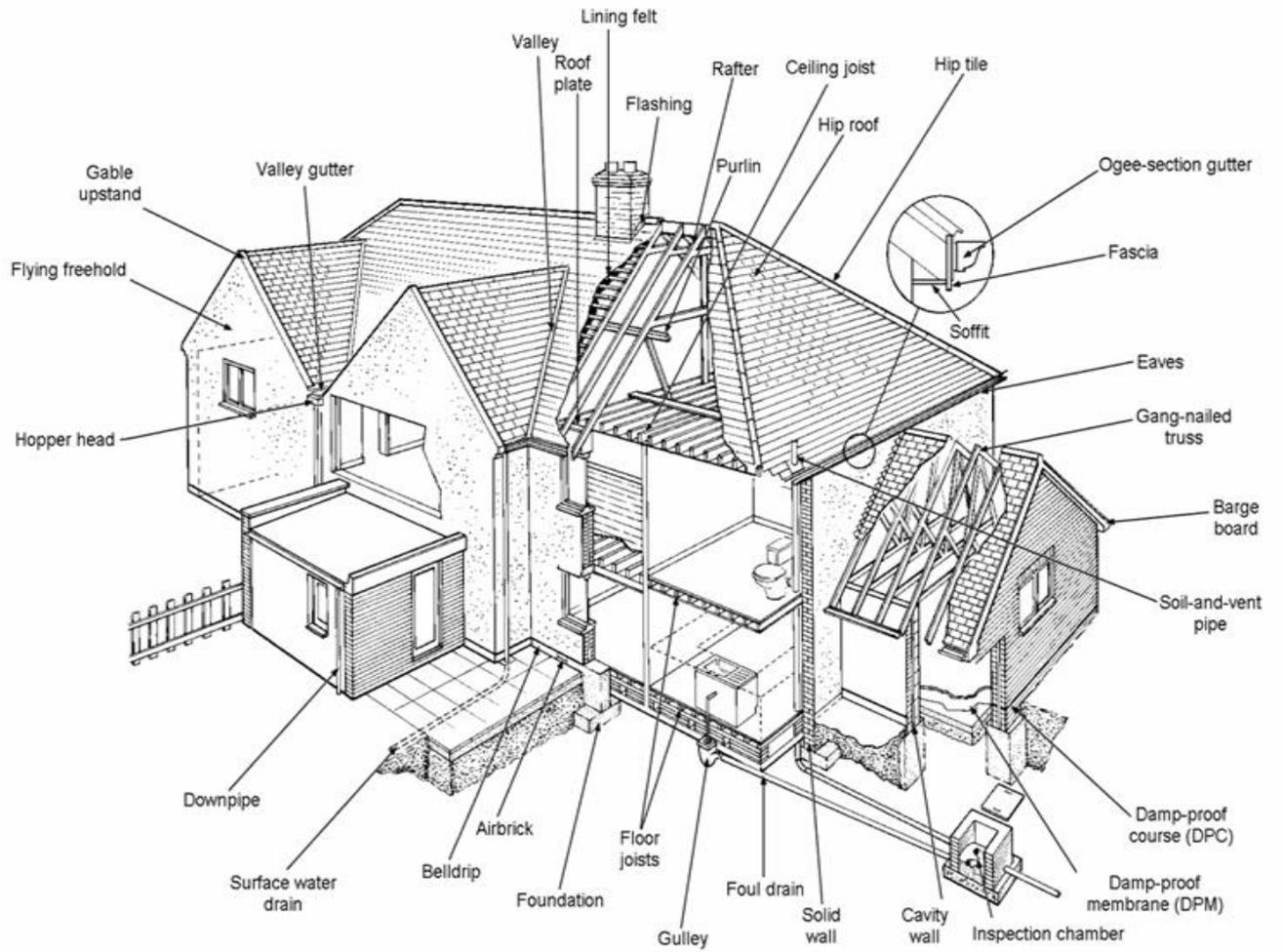
The inspection of the services was limited to those areas which are visible. No comment can be made as to the soundness of any services which are not visible. Services have not been tested but where appropriate, specific advice has been made as to the advisability of having the services inspected by a specialist contractor.

It must be accepted that this report can only comment on what is visible and reasonably accessible to the Surveyor at the time of inspection.

Information relied upon in this Report

None.

Example Property Diagram



GLOSSARY OF BUILDING TERMS

Aggregate	Pebbles, shingle, gravel, etc. used in the manufacture of concrete, and in the construction of "soak ways".
Air Brick	Perforated brick or metal/plastic grille used for ventilation, especially to floor voids (beneath timber floors) and roof spaces.
Architrave	Joinery moulding around window or doorway.
Asbestos	Fibrous mineral used in the past for insulation. Can be a health hazard - specialist advice should be sought if asbestos is found.
Asbestos Cement	Cement with 10-15% asbestos fibre as reinforcement. Fragile - will not bear heavy weights. Hazardous fibres may be released if cut or drilled.
Ashlar	Finely dressed natural stone: the best grade of masonry
Asphalt	Black, tar-like substance, strongly adhesive and impervious to moisture. Used on flat roofs and floors.
Barge Board	See "Verge Board".
Balanced Flue	Common metal device normally serving gas appliances which allows air to be drawn to the appliance whilst also allowing fumes to escape (see also "Fan Assisted Flues").
Batten	Thin lengths of timber used in the fixing of roof tiles or slates.
Beetle Infestation	(Wood-boring insects: eg woodworm) Larvae of various species of beetle which tunnel into timber causing damage. Specialist treatment normally required. Can also affect furniture.
Benching	Smoothly contoured concrete slope beside drainage channel within an inspection chamber. Also known as "Haunching".
Bitumen	Black, sticky substance, related to asphalt. Used in sealants, mineral felts and damp proof courses.
Breeze Block	Originally made from cinders ("breeze") - the term now commonly used to refer to various types of concrete and cement building blocks.
Carbonation	A natural process affecting the outer layer of concrete. Metal reinforcement within that layer is liable to early corrosion, with consequent fracturing of the concrete.
Cavity Wall	Standard modern method of building external walls of houses comprising two leaves of brick or block work separated by a gap ("cavity") of about 50mm (2 inches).
Cavity Wall Insulation	Filling of wall cavities by one of various forms of insulation material: Beads: Polystyrene beads pumped into the cavities. Will easily fall out if the wall is broken open for any reason. Fibreglass: Can lead to problems if becomes damp. Foam: Urea formaldehyde form, mixed on site, and pumped into the cavities where it sets. Can lead to problems of dampness and make investigation/replacement of wall

ties more difficult.

Rockwool: Inert mineral fibre pumped into the cavity.

Cavity Wall Tie	Metal device bedded into the inner and outer leaves of cavity wall. Failure by corrosion can result in the wall becoming unstable - specialist replacement ties are then required.
Cesspool	A simple method of drainage comprising a holding tank which needs frequent emptying. Not to be confused with "Septic Tank".
Chipboard	Also referred to as "Particle Board". Chips of wood compressed and glued into sheet form. Cheap method of decking to flat roofs and (with Formica or melamine surface) furniture, especially kitchen units. Also commonly used on floors. Tends to swell if moisture content increased.
Collar	Horizontal timber member intended to restrain opposing roof slopes. Absence, removal or weakening can lead to roof spread.
Combination Boiler	Modern form of gas boiler which activates on demand. With this form of boiler there is no need for water storage tanks, hot water cylinders, etc. but are complex and more expensive to repair. Water supply rate can be slow.
Coping/Coping Stone	Usually stone or concrete, laid on top of a wall as a decorative finish and to stop rainwater soaking into the wall.
Corbel	Projection of stone, brick, timber or metal jutting out from a wall to support a weight.
Cornice	Ornamental moulded projection around the top of a building or around the wall of a room just below the ceiling.
Coving	Curved junction piece to cover the join between wall and ceiling surfaces.
Dado Rail	Wooden moulding fixed horizontally to a wall, about 1 metre (3ft 4in) above the floor, originally intended to protect the wall against damage by chair backs.
Damp Proof Course	Layer of impervious material (mineral felt, PVC, etc.) incorporated into a wall to prevent dampness around windows, doors, etc. Various proprietary methods are available for damp proofing existing walls including "electro-osmosis" and chemical injection.
Damp Proof Membrane	Usually polythene, incorporated within ground floor slabs to prevent rising dampness.
Death-watch Beetle	Serious insect pest in structural timbers, usually affects old hardwoods with fungal decay already present.
Double Glazing	A method of thermal insulation usually either: Sealed unit: Two panes of glass fixed and hermetically sealed together; or Secondary: In effect a second "window" placed inside the original window.
Dry Rot	A fungus which attacks structural and joinery timbers, often with devastating results. Can flourish in moist, unventilated areas.
Eaves	The overhanging edge of a roof at gutter level.

Efflorescence	Salts crystallised on the surface of a wall as a result of moisture evaporation.
Engineering Brick	Particularly strong and dense type of brick, sometimes used as a damp proof course. Usually blue in colour.
Fan Assisted Flues	Similar to "Balanced Flue" but with fan assistance to move air or gases.
Fibreboard	Cheap, lightweight board material of little strength, used in ceilings or as insulation to attics.
Fillet	Mortar used to seal the junction between two surfaces, ie between a slate roof and a brick chimney stack.
Flashing	Thin sheet material used to prevent leakage at a roof joint. Normally metal (lead, zinc or copper).
Flaunching	Contoured cement around the base of cement pots, to secure the pot and to throw off rain.
Flue	A smoke duct in a chimney, or a proprietary pipe serving a heat producing appliance such as a central heating boiler.
Flue Lining	Metal (usually stainless steel) tube within a flue - essential for high output gas appliances such as boilers. May also be manufactured from clay and built into the flue.
Foundations	Normally concrete, laid underground as a structural base to a wall; in older buildings may be brick or stone.
Frog	A depression imprinted in the upper surface of a brick, to save clay, reduce weight and increase the strength of the wall.
Gable	Upper section of a wall, usually triangular in shape, at either end of a ridged roof.
Ground Heave	Swelling of clay subsoil due to absorption of moisture; can cause an upward movement in foundations.
Gulley	An opening into a drain, normally at ground level, placed to receive water, etc. from downpipes and waste pipes.
Haunching	See "Benching". Also term used to describe the support to an underground drain.
Hip	The external junction between two intersecting roof slopes.
Inspection Chamber	Commonly called "manhole"; provides access to a drain comprising a chamber (of brick, concrete or plastic) with the drainage channel at its base and a removable cover at ground level.
Jamb	Side part of a doorway or window (see also "reveals").
Joist	Horizontal structural timber used in flat roof, ceiling and floor construction. Occasionally also metal.
Landslip	Downhill movement of unstable earth, clay, rock, etc. often following prolonged heavy rain or coastal erosion, but sometimes due entirely to subsoil having little cohesive integrity.
Lath	Thin strip of wood used as a backing to plaster.

Lintel	Horizontal structural beam of timber, stone, steel or concrete placed over window or door openings.
Longhorn Beetle	A serious insect pest mainly confined to the extreme south east of England, which can totally destroy the structural strength of wood.
LPG	Liquid Petroleum Gas (or Propane). Available to serve gas appliances in areas without mains gas. Requires a storage tank.
Mortar	Traditionally a mixture of lime and sand. Modern mortar is a mixture of cement and sand. Used for bonding brickwork, etc.
Mullion	Vertical bar dividing individual lights in a window.
Newel	Stout post supporting a staircase handrail at top and bottom. Also, the central pillar of a winding or spiral staircase.
Oversite	Rough concrete below timber ground floors.
Parapet	Low wall along the edge of a flat roof, balcony, etc.
Pier	A vertical column of brickwork or other material, used to strengthen the wall or to support a weight.
Plasterboard	Stiff "sandwich" of plaster between coarse paper. Now in widespread use for ceilings and walls.
Pointing	Smooth outer edge of mortar joint between bricks, stones, etc.
Powder Post Beetle	A relatively uncommon pest which can, if untreated, cause widespread damage to structural timbers.
Purlin	Horizontal beam in a roof upon which rafters rest.
Quoin	The external angle of a building, or, specifically, bricks or stone blocks forming that angle.
Rafter	A sloping roof beam, usually timber, forming the carcass of a roof.
Random Rubble	Primitive method of stone wall construction with no attempt at bonding or coursing.
Rendering	Vertical covering of a wall either plaster (internally) or cement based (externally), sometimes with pebbledash, stucco or Tyrolean textured finishes.
Reveals	The side faces of a window or door opening (see also "jambes").
Ridge	The apex of a roof.
Riser	The vertical part of a step or stair.
Rising Damp	Moisture soaking up a wall from below ground, by capillary action causing rot in timbers, plaster decay, decoration failure, etc.
Roof Spread	The thrust of a badly restrained roof structure (see "Collar") causing outward bowing of a wall.
Screed	Final, smooth finish of a solid floor; usually mortar, concrete or asphalt.

Septic Tank	Drain installation whereby sewage decomposes through bacteriological action, which can be slowed down or stopped altogether by the use of chemicals such as bleach, biological washing powders, etc.
Settlement	General disturbance in a structure showing as distortion in walls, etc., usually as the result of the initial compacting of the ground due to the loading of the building.
Shakes	Naturally occurring cracks in timber; in building timbers, shakes can appear quite dramatic, but strength is not always impaired.
Shingles	Small rectangular pieces of wood used on roofs instead of tiles, slates, etc.
Soaker	Sheet metal (usually lead, zinc or copper) at the junction of a roof with a vertical surface of a chimney stack, adjoining wall, etc. Associated with flashings which should overlay soakers.
Soffit	The under-surface of eaves, balcony, arch, etc.
Solid Fuel	Heating fuel, normally coal, coke or one of a variety of proprietary fuels.
Spandrel	Space above and to the sides of an arch.
Stud Partition	Lightweight, sometimes non-loadbearing wall construction comprising a framework of timber faced with plaster, plasterboard or other finish.
Subsidence	Ground movement possibly as a result of mining activities, clay shrinkage or drainage problems.
Subsoil	Soil lying immediately below the top soil, upon which foundations usually bear.
Sulphate Attack	Chemical reaction, activated by water, between tricalcium aluminate and soluble sulphates. Can cause deterioration in brick walls, concrete floors and external rendering.
Tie Bar	Heavy metal bar passing through a wall, or walls, to brace a structure suffering from structural instability.
Torching	Mortar applied on the underside of roof tiles or slates to help prevent moisture penetration. Not necessary when a roof is underdrawn with felt.
Transom	Horizontal bar of wood or stone across a window or top of door.
Tread	The horizontal part of a step or stair.
Trussed Rafters	Method of roof construction utilising prefabricated triangular framework of timbers. Now widely used in domestic construction.
Underpinning	Methods of strengthening weak foundations whereby a new, stronger foundation is placed beneath the original.
Valley Gutter	Horizontal or sloping gutter, usually lead or tile lined, at the internal intersection between two roof slopes.
Ventilation	Necessary in all buildings to disperse moisture resulting from bathing, cooking, breathing, etc., and to assist in prevention of condensation.

Floors: Necessary to avoid rot, especially dry rot, achieved by air bricks near to

ground level.

Roofs: Necessary to disperse condensation within roof spaces; achieved either by air bricks in gables or ducts at the eaves.

Verge

The edge of a roof, especially over a gable.

Verge Board

Timber, sometimes decorative, placed at the verge of a roof; also known as a "Barge Board".

Wainscot

Wood panelling or boarding on the lower part of an internal wall.

Wall plate

Timber placed at the eaves of a roof to take the weight of the roof timbers.

Wet Rot

Decay of timber due to damp conditions. Not to be confused with the more serious "Dry Rot".

Woodworm

Colloquial term for beetle infestation; usually intended to mean Common Furniture Beetle, by far the most frequently encountered insect attack in structural and joinery timbers.

3.0 Summary

Property Type:

A two storey semi-detached building currently used as the Village Centre and Library.

Year Built:

The original sections are thought to be circa 1850 with a rear addition built in 1992.

Accommodation:

Ground Floor: Lower hall, kitchenette, WC's, office, library, library annex, store rooms.

First Floor: Two halls, two kitchenettes, WC's, store rooms.

Outbuildings: There is a small undercroft to the rear which is used for storage.

External: The property fronts the pavement and has a rear yard area.

Location: The property is situated in the centre of Farnsfield.

The Site and Surrounding Area:

The property occupies a sloping site from right to left with the boundaries clearly denoted on all sides.

Tenure and Occupation:

The tenure is not known or of relevance in this instance. The building is in use currently.

Furnished or Unfurnished:

The property was furnished at the time of our inspection. Floors were all covered in carpets and floor coverings.

Environmental Matters:

I am not aware of any adverse environmental factors affecting the property.

I am not aware that this area has any surface water flooding problems.

The general area may have been undermined for historic coal abstraction.

3A Legal Matters

Planning and Building Regulations:

The property has had an extension to the rear in 1992 and we assume that all Planning and Building Regulation matters were complied with.

Roads:

We assume that the road approaching the property is made up and adopted by the local authority.

Rights of Way:

There is an alley at the rear of the building and we assume that all legal rights to use this are established.

Drainage:

It is assumed that the property is connected to the mains sewer.

Party Wall Etc. Act 1996:

N/A.

Flying Freeholds:

N/A.

4.0 Survey Report

4.0 Constructional Principals & Structural Risks

The constructional principles consider the way in which a property supports vertical and lateral loads through its fabric. It therefore assesses whether the structural parts of the building i.e. walls, floors and roof, will provide adequate strength and rigidity at all times.

Although dwellings can be built in a number of different shapes and sizes, all must satisfy constructional principles which will ensure that the building does not fail when built or when reasonable loads are placed upon it.

The roof is supported on timber rafters and purlins. This loading is transferred down through loadbearing internal and external walls to foundations at ground level. Lateral restraint to the structure is likely to be provided by fixed wall plates at roof level and braced by internal floors and loadbearing walls. The floors are in turn supported on the loadbearing internal and external walls. We can expect there to be foundations of a reasonable depth given the age of the property.

Trees:

Tree and tree roots can damage a property and drainage systems. There is a small tree to the rear of the property which now requires removal.

Structural Movement:

There is no evidence of significant or ongoing structural movement.

Historically there have been wall ties installed to the front elevations. These were often required as the internal walls were not bonded to the external walls adequately allowing them to bow outwards. There is no evidence of a current problem in this regard.



There is some minor cracking and distortion of the brickwork over the front entrance doors. This possibly occurred during internal alteration works in the foyer area and is a result of

settlement of the brickwork. We recommend that the cracks are “stitched” (repaired) with proprietary stainless steel rods resin bonded into the mortar courses across the crack and the area subsequently re pointed. We refer you to our later comments in the External Walls Section.



Condition Rating: 2

4.1 The Exterior

Our inspection of the roof was undertaken from ground level, via the flat roof to the rear and via the Velux windows.

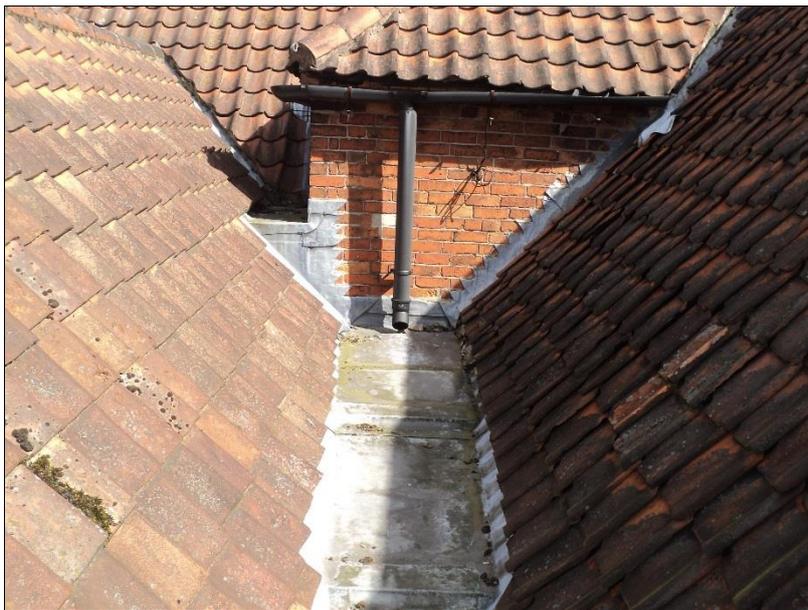
4.1A Chimney Stacks:

There are no chimney stacks at the property.

Condition Rating: n/a

4.1B Roof Coverings:

The roofs are mainly pitched (sloping) timber-framed structures, covered predominantly in old single lap hand made clay pan tiles. The front left side roof slope and rear extension have modern interlocking clay pan tiles. There are lead flashings and lead central valley gutters at the intersection of the roof slopes.



Rear valley gutter

Handmade pan tiles are affixed to the timber battens behind by small cast lugs on the rear of each tile. Handmade clay tiles of this type are inherently uneven and will have gaps to the right side of each tile where it laps the adjacent tile. This gap will allow wind driven rain to penetrate the roof coverings depending on wind direction. This was less of a problem in the 1800's as the lath and plaster ceilings internally could absorb some degree of moisture without failure and general overall expectations of a buildings performance were lower than today.



Handmade clay pantiles.

The roofs have been stripped previously (possibly circa 1970) and re laid over bitumen lining felt beneath the roof coverings to provide a secondary defence against wind driven rain or snow and leakages. This had been largely successful but bitumen felt underlining is vulnerable to ultraviolet light which causes the felt to become brittle and fail. Used under handmade pan tiles, sun light damages the felt via the open joints between the tiles and also at the roof edges where it is exposed above the guttering. We noted areas of loose and damaged felt to the left side roof space requiring attention. It should be noted that in order to undertake a correct repair to the felt, the tiles and battens need to be stripped off first.



Lining felt damage in the roof space



Lining felt damaged at the roof edge.



Attempted felt repair with plastic sheet.

The roofs covered in the handmade tiles are not actually in bad overall condition. It is understood that some repairs were undertaken relatively recently following a report from another firm of Surveyors. Ordinarily on a period building, the advice would be to simply address the areas of damaged felt. However, as you are looking for advice on upgrading the building for the future, the best, but most costly alternative would be to strip all the roofs of tiles and battens and re lay modern factory made clay pantiles over a modern breathable lining membrane. The membrane would be protected and supported at the roof edge by a proprietary eaves protection system. We estimate this would cost circa £85,000. This figure is only our best estimate to be used for your guidance and is not a quotation. You now need to get formal quotations from reputable roofing contractors. We are able to recommend Academe Roofing for a project of this type 0115 950 6444.

The roofs covered in modern interlocking tiles are in good order and repairs are not required. These tiles are uniform in profile as they are machine made and lock closely to the adjacent tile without any gaps. Whilst repair works are not essential, you may like to consider

upgrading the old bitumen lining felt to these roofs as mentioned earlier. This will absolutely ensure that water cannot penetrate the tiles and damage the building. Modern membranes allow water vapour (condensation) to pass through the material to the exterior from the roof spaces.

The ridge and hip tiles appear to be firmly fixed in place. It is not uncommon for ridge tiles to become dislodged by high winds, and occasional refixing of these must be anticipated.



Modern clay pan tiles to front

There are flat felt roofs to the rear. These appear to be in reasonable order with no current obvious defects. There is some localised bubbling to the single storey flat roof indicating that the roof covering is ageing. Replacement of these is not essential currently, but for a more long term solution, Butyl Rubber membranes or Fibreglass are a far better option than felt. Felt has a lifespan of 15-20 years depending on its quality compared with 30 plus years for Butyl and Fibreglass.



Flat roof to single storey roof.



Condition Rating: 2

4.1C Rainwater Pipes and Gutters:

Inadequate disposal of rainwater can cause serious problems in a building including dampness, timber decay and structural movement. Keeping gutters and downpipes clean and in good order is always important.

The gutters and downpipes to this property are constructed from plastic and appear to be generally free from defect or serious leakage. The guttering to the roof either side of the rear fire escape has no stopped ends and this is allowing water to run down the rear of the building. The left side gutter (picture below) is too short to catch the rainwater from the roof. This has the extra burden of dealing with water from the downpipe above.



Left side



Right side

There appears to have been a problem on the front of the property over the main entrance with algae and salt staining noted to the brickwork. This may be related to overspilling blocked gutters. If this has not been previously addressed, a closer inspection should be undertaken of this area and appropriate clearing or repairs undertaken. This is the cause of the dampness noted within the foyer and file storage room below.



Salt staining/leak to front.

Annual clearance of accumulated debris to all gutters should form part of your maintenance program.

The downpipe from the rear gutter onto the flat roof over the first floor kitchen needs to be extended so that it does not discharge onto the tiled roof. An attempt has been made to cover the tiles with plastic but this will not be an effective long term solution.



Tiles covered in plastic.

Condition Rating: 2

4.1D Main Walls:

The external walls to the extension are of traditional cavity brickwork circa 275mm thickness. Cavity construction is two separate masonry walls with a gap between.

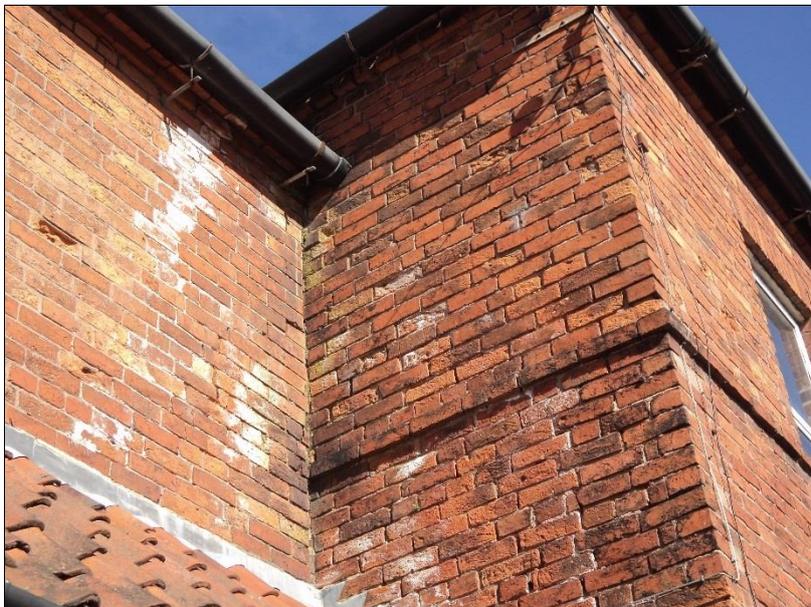
The original external walls to the property are of traditional solid brickwork mainly circa 230mm thickness. Solid walls are structurally robust but can sometimes be more prone to condensation and penetrating dampness than cavity walls.

There are large areas of spalled (frost damaged) brickwork and missing pointing with the worst affected parts being: the left gable end, the rear left side, the front right side at low level and over the entrance. Extensive repairs are now required to cut out and replace the affected bricks and re point in lime mortar to match the existing. The gap at the junction of the two walls over the main doors should be infilled and re pointed.

Lime mortar will allow moisture to easily evaporate from the brickwork. Modern cement mortars retain moisture in the walls leading to frost damage. Ideally reclaimed bricks would be used to match the existing but these are often difficult to obtain. Due to the specialist nature of this type of repair we are unable to provide an estimate of costs. You should now obtain repair quotes from three brickwork contractors.



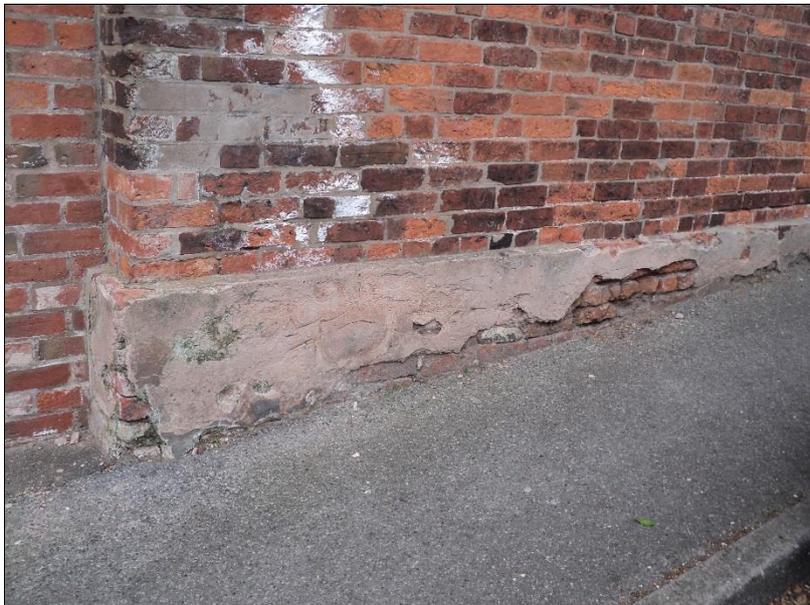
Left side



Front over entrance door



Rear left side



Front plinth at low level.

Elsewhere the walls appeared to be generally satisfactory with no evidence of significant structural movement or other significant defect noted. There is some minor settlement of the brickwork over the top right side and library ground floor window. There appears to be suitable supporting lintels over the openings but minor re pointing is needed.



Right side hall window



Ground floor library window

Walls require a damp-proof course to prevent moisture travelling up through the structure which can lead to internal dampness, perished plaster, spoilt decorations and rot in skirting boards and other timbers. Dampness can penetrate if there is no damp-proof course, or if the damp-proof membrane in the flooring is not properly bonded to the wall damp-proof course at the edges. The extension appears to have a plastic damp proof course at low level to prevent ground water from rising up the walls. There is no visible original damp proof course to the older parts of the property which is not uncommon in properties of this age.

We conclude that the damp proof course is generally functional as there was no evidence of widespread rising dampness inside the property. We refer you to our later comments in section 4.2D.

Condensation can be a problem for some occupiers where a large amount of water vapour is produced. Activities such as cooking without lids on pans, bathing without ventilation and

drying clothes on radiators in the house all contribute. A balance of heating and ventilation should prevent any problems.

Condition Rating: 2

4.1E Windows:

The windows to the property are of mixed plastic, timber and aluminium.

The aluminium windows are considered to be in a generally serviceable condition with no evidence of significant defects noted. There are some misted panes which need to be replaced. Double glazing can be prone to this problem, which is caused by failure of the hermetic seals at the edges of the panes of glass. The seals will deteriorate, eventually causing unsightly condensation between the panes. When this happens, there is no remedy other than to replace the affected double glazed panes. This often occurs on the windows that receive most sunlight. You should budget around £100 per pane.



Misted pane

There are five rotten timber windows to the rear first floor. These will need to be replaced probably in plastic double glazed units. There is some minor developing wet rot to the front ground floor windows but this can be infilled and repaired. The windows to the ground floor on the rear are damaged and will need to be replaced.



Rear extension windows



Rear ground floor windows.

You may wish to consider the replacement of all timber windows with plastic double glazed units if your budget allows. This will alleviate the need for redecoration and provide better thermal and sound insulation.

Condition Rating: 2

4.1F Outside Doors (including patio doors):

The doors to the property are formed in timber. These are in satisfactory condition with no significant defects.

Condition Rating: 1

4.1G Conservatory and Porches:

There is no conservatory or enclosed porch at this property.

Condition Rating: n/a

4.1H Other Joinery and Finishes:

The exterior joinery to the roof edge appears to be in a generally satisfactory condition.

External decoration is considered to be poor to the timber windows and if these are to be retained redecoration is now needed.

Condition Rating: 1

4.1I Energy Efficiency and Insulation:

An Energy Assessor will have visited the property to produce a Display Energy Performance Certificate (EPC).

Some energy saving improvements to consider would be to:

- Upgrade all loft insulation to 300mm depth from the current 100mm. Sloping ceilings/rooms in the roof to have 100mm rigid insulation boards.
- Replace all single glazing in modern double glazed units.
- Consider having two sets of doors forming a small lobby off the main entrance to prevent large heat losses.
- Reinstate all the broken radiator thermostatic valves. All radiators should have these fitted.
- Consult a heating engineer about replacing the older style and electric radiators.
- External walls could be lined internally with insulation backed plasterboard.
- Consider solar panels.

4.2 The Interior

I could not fully inspect the roof spaces because of insulation covering the ceilings.

4.2A Roof Structure:

The roof spaces were accessed via the hatches in the first floor ceilings. We could not access the hatch in the upper hall ceiling as this was beyond our three metre reach.

The roofs are formed with timber rafters supported mid span on sturdy horizontal purlins supported on the external walls and on sturdy trusses.

The structures mainly appear to be coping with the loading. There is a weak and slightly deformed purlin to the far left side of the roof space over the Uniformed Organisations Hall. This should be supported by an additional purlin, coach bolted alongside the existing and bearing into the gable end and onto the main truss. Elsewhere there was no evidence of any significant bowing or distortion to indicate any weakness with the roof timbers.



Weak purlin



General view of roof space showing a truss.

Condition Rating: 2

4.2B Ceilings:

The ceilings to the property are of mixed plasterboard and lath and plaster construction covered with a thin skim coat of plaster.

Before the introduction of plasterboard, lath and plaster ceilings were formed by applying plaster over narrow wooden strips known as laths, fixed to the underside of the ceiling joists. The quality of the plaster was variable, often being reinforced with horse hair. Depending to some extent on the quality of original workmanship, these ceilings are vulnerable to cracking and loosening as they age.

The ceilings are considered to be in a generally satisfactory and serviceable condition with no evidence of significant cracking or loosening of the plaster. There are some small areas that have been slightly damaged by roof leaks and these areas can be addressed when redecoration is next undertaken.

Condition Rating: 1

4.2C Walls and Partitions:

The internal face of the external walls and internal partitions have a plastered finish.

The internal walls are of mixed solid and timber studwork construction. These appear to be in a generally acceptable condition with no evidence of significant structural movement, cracking or other significant defect.

Condition Rating: 1

4.2D Dampness, Rot and Woodworm:

All accessible parts of the property have been inspected for dampness, rot and infestation. However we cannot access every part of a property and we are unable to assess whether defects are present in concealed areas. Some repairs or treatments may be required if these areas are exposed in the future.

Dampness:

We undertook an inspection using a Protimeter electronic damp meter in the areas accessible to us. Walls lined internally with plasterboard and other fittings restricted our investigations.

Rising dampness is caused by the natural effect of moisture from the ground rising up through a structure by means of capillary action. This will occur where there is failure or lack of a damp-proof course. Rising dampness will inevitably lead to spoilt decorations, defective plaster, and rot to timbers, and creates an unhealthy environment in which to live.

We identified low levels of rising dampness affecting the ground floor walls adjacent to and inside the WC's. Additionally there is some dampness affecting the door frame of the office causing wet rot. We recommend that a quotation is now obtained from a damp proofing contractor to chemically inject and re-plaster the affected walls. The door frame to the office will require replacement. We recommend Damp 2 Dry Construction for this type of work 0115 684 7812.

Condensation can be a problem for some occupiers where a large amount of water vapour is produced. Activities such as cooking without lids on pans, bathing without ventilation and drying clothes on radiators in the house all contribute. We did not note any problems of condensation. A balance of heating and ventilation should prevent any problems.

Penetrating dampness is water coming in the property from the outside. Commonly caused by overflowing gutters, leaking roofs and defective chimney stacks. We noted several areas where roof/gutter leaks had previously occurred:

- **Foyer and left side stage area:** Penetrating dampness from the roof/guttering above the entrance doors has damaged the plaster the left side of the stage and within the foyer and caused the black mould within the file storage cupboard. These areas were damp when tested but seem to be drying out. We assume that the cause of the water penetration has been addressed. The walls will struggle to dry out due to the painted finishes preventing evaporation. Ideally the plaster should be removed and the walls allowed to dry out before replastering.



Foyer wall



File storage room



Left side wall of the stage.

- **Kitchen and Music Store:** Old/dry stains were noted to the ceiling of the music store room to the first floor and to the purlin to the ceiling outside the first floor kitchen. It is understood that the recent roofing works addressed these leaks.



Music store ceiling



Old stain to purlin by first floor kitchen.

Timber decay:

Woodworm is a generic description given to the infestation of timber by the wood-eating larvae/grubs of one of many species of beetle found in the UK. Signs of woodworm usually consist of holes in wood, with live infestations showing fresh powder around the holes. Typically the adult beetles lay eggs on, or just under the surface of timber. The resulting grubs then feed on the timber causing damage, before pupating and hatching as beetles which then breed, lay eggs, and repeat the process causing further damage. We did not note any active wood boring insect activity where we could access. Whilst there was no evidence of frass (powdered wood) to indicate ongoing wood-boring beetle activity, roof voids are intrinsically dusty places and it is possible that the evidence may be concealed.

Wet rot affects timbers that are in damp conditions for long periods of time. The rot does not travel further than the timber it is affecting and ceases when the timbers dry out. We noted wet rot to the windows and refer you to our earlier comments.

Dry rot is a fungus which develops in damp timber usually under conditions of dampness and inadequate ventilation. The fungus does not like light and often grows between materials where light is excluded. This characteristic can conceal an outbreak at the development stage. Poorly ventilated, damp sub-floor and roof voids are places at high risk from dry rot attack. This form of rot can travel through a building and is very serious. We did not identify any areas likely to be affected by or at risk from dry rot.

Condition Rating: 2

4.2F Flooring:

The ground floors to the property are of solid construction. The floors appear to be generally firm and level underfoot.

The upper floors are of suspended timber and are generally firm and level and should be capable of coping with normal loadings.

Condition Rating: 1

4.2G Cellar:

There is no cellar at this property.

Condition Rating: N/A

4.2H Fireplaces, Chimney Breasts and Flues:

There are no fireplaces or chimney breasts within this property.

Condition Rating: N/A

4.2I Built-in Fittings (kitchen and other fittings; not including appliances):

The kitchens are to a reasonable standard and quality for the property with no significant defects noted.

Condition Rating: 1

4.2J Woodwork (for example; staircase and joinery)

Internal joinery to the property is typical of this type and age and appears to be in generally serviceable condition with no evidence of any significant defect noted.

It is understood that some intumescent strips to the internal fire doors have been painted over and these strips should be replaced.

Condition Rating: 2

4.2K Bathroom Fittings:

The bathroom and sanitary fittings appear to be to a reasonable quality with no obvious defects noted. A hand basin to the ground floor gents WC is currently propped on a piece of timber probably indicating leakage.

Condition Rating: 1

4.2L Other:

N/A

Condition Rating: N/A

4.3 Services

Surveyors are not qualified to undertake tests of the services and we have undertaken a visual inspection only. Where necessary we have recommended that the appropriate specialist contractors inspect the property and undertake their own tests. We are obliged to give these items a precautionary Category 3 rating as we cannot fully assess these areas ourselves.

4.3A Electricity:

The property is connected to mains electricity.

The consumer units (fuse boards) are modern trip switch devices. The meter is located in the library annexe cupboard. The cabling where visible around the building appears to be in plastic covered cable. We did not note any significant defects to the electrical system, however it must be accepted that it is not possible to ascertain the condition of the system by a visual inspection only. As a precaution only you may wish to instruct an electrician to test the system unless this has been undertaken recently.

Condition Rating: 1

4.3B Gas/Oil:

The property is connected to the mains gas and the meter is located in the library annex. There is no special reason to anticipate a problem but you may wish to arrange a precautionary test of the system by a Gas Safe approved contractor unless this has been undertaken within the last twelve months.

Condition Rating: 1

4.3C Water:

Mains water connects internally to copper plumbing where visible.

The internal stop tap is located in the hall cupboard with a water meter. The incoming main appears to be in modern plastic where visible.

Older properties sometimes still have some lead pipes forming the original incoming water main. We understand from the water supply company that there is no hazard to health in this region from lead pipes. Further advice can be obtained from Severn Trent Water.

The sanitary fittings to the property appear to be generally serviceable. There was an adequate pressure to the taps when tried.

Condition Rating: 1

4.3D Heating

Central heating and domestic hot water are provided by the modern gas fired boilers located in the lower hall boiler room and library annexe. They are connected to hot water radiators around the property. There are no signs of visible defects to the system or leakage and no particular reason to think that the heating system is not effective.

It should be noted that central heating systems require an annual service and unless this has been undertaken within the last 12 months then the boilers and central heating system should be tested and serviced.

The missing thermostatic valves should be reinstated to the affected radiators mainly in the Upper Hall. You should have these valves on all radiators.

Condition Rating: 2

4.3E Water Heating:

The boilers heat the domestic hot water. There was adequate hot water to the taps when these were run.

Condition Rating: 1

4.3F Drainage:

We are only able to comment on areas accessible to us at the time of inspection. The hidden nature of drainage systems means that their true serviceability cannot be fully confirmed without a test being carried out. Nevertheless, our opinion is based on a visual inspection of the accessible areas and the Surveyors experience in systems of this type and age.

We could not locate any inspection chambers on site. We cannot therefore comment on the drainage system.

Condition Rating: 1

4.3G Common Services:

Not applicable.

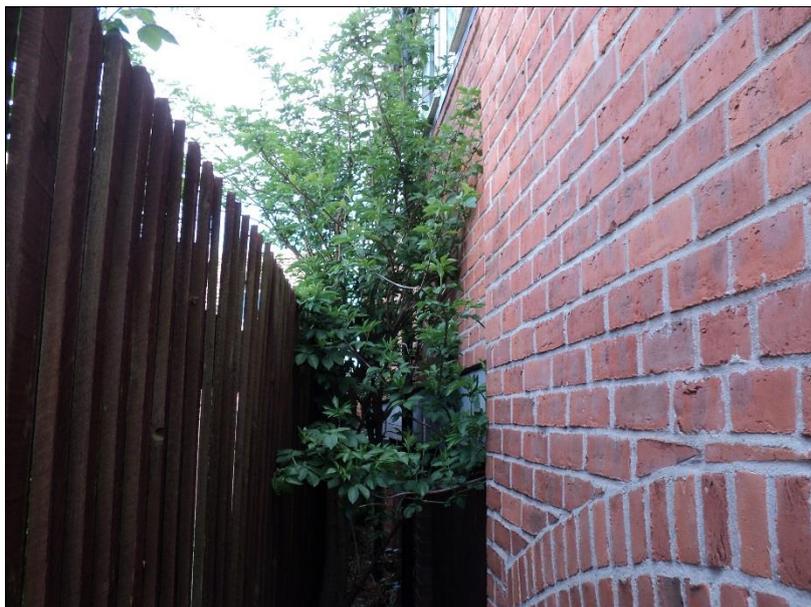
Condition Rating: Not applicable

4.4 Grounds

4.4 Garage, grounds and boundaries:

We found no significant defects with the boundaries. It is always sensible, when purchasing any property, to be sure about the ownership of individual boundaries and responsibility for their maintenance.

The tree to the rear should be removed as it is too close to the building.



Condition Rating: 2

4.5 Signature

A handwritten signature in black ink, appearing to read 'R Green'.

Signed:

Surveyor: Robert Green BSc MRICS

Address: Proenergis Ltd
59 Lenton Boulevard
Nottingham
NG7 2FQ

Telephone: 0115 882 3867

E-mail: surveys@proenergis.com

Date: 25th April 2017.

5.0 Appendices

APPENDIX 1 *GENERAL ADVICE*

GENERAL ADVICE

MAIN ROOF

Pitched Roofs

- A pitched roof is the name given to any roof with an angle of pitch greater than 10 degrees. Such roofs can be covered with a wide choice of material but, with residential property, tile, slate or thatch are the principle ones.
- The actual angle of the roof slope has to be right for the chosen roof material whilst the roof construction (i.e. the timberwork) must be designed to bear not only the weight of the covering but also the extra weight of rain, snow and wind, etc. If the design of the timberwork is wrong the roof timbers may deflect and water penetration is likely to occur.
- Where the edges of a roof butt up against brickwork or a chimney, etc. it is necessary to insert seals known as soakers or flashings. These are ideally formed in lead but in older properties cement mortar or concrete is often used as a cheaper alternative. These eventually crack and leak.
- Where two roof slopes join (often at right angles), a valley junction is created. These valleys can be formed with tiles or they can be lined in materials such as lead, zinc or glass fibre. The only way valley gutters can work effectively is to have them cleaned out on a regular basis even although access is often difficult. If you do not clean out valley gutters, leaks are very likely.

OTHER ROOFS

Flat Roofs

- It is impossible to predict accurately the life of a flat roof. Even if the external materials appear sound, a minor puncture in the covering material can cause problems beneath (often out of sight). Reports that predict the likely life of a flat roof should be viewed with caution, although we often attempt to give a general guide to be helpful.
- Flat roofs have always been considered a part of residential house design. Traditionally they were used on small or secondary areas. From the 1960's onward, large flat-roofed areas were brought into use but these days we try to minimise flat roof areas and create pitch roofs where possible since most flat roofs are troublesome to some extent or other.
- A flat roof is defined as a roof as having a slope less than 10 degrees. To enable the rainwater to run off its surface, the flat roof must be laid with some slope and if this is too shallow water will collect in puddles on the surface. Such puddles or "ponding" can cause the roof to deteriorate. Damage can also be caused to the substructure under the covering.
- Most flat roofs are not designed for walking on and chippings pressed underfoot can cause punctures in the roofing material. Walkway tiles can, however, be purchased and bedded down when a walkway route is needed.
- Many problems with flat roofs occur on the edges of the roof or in the junctions with walls or nearby roof slopes. Any vertical edging or flashing often indicates a better than average attention to detail. Felt up stands and edge kerbs are very often torn and need careful and regular attention and checking.
- The best designed flat roofs will incorporate modern levels of insulation and will also contain sufficient ventilation to reduce the risk of rot in concealed structural timbers. Being realistic the majority of flat roofs are not built this way and are therefore prone to problems developing out of sight.
- Although felt in one form or another is the most common material found on modern flat roofs, there are others including lead, copper, zinc, fibreglass and asphalt.

COVERINGS

Thatched Coverings

- Thatch is one of the oldest techniques still used in building construction today. There are two main materials used – water reed and wheat straw. Water reed is more durable, lasting up to 80 years approximately. Wheat straw comes as either long straw (lasting up to 25 years approximately) or combed wheat reed (which can last up to 40 years).
- The speed at which a thatch roof deteriorates is difficult to judge. Generally, the further west a property is, the faster its thatch deteriorates due to the wetter climate. The quality of the thatching material and the slope of the roof also affect the life of a thatch.
- The steeper the roof slope, the longer the thatch is likely to last. Thatched roofs should never be less than 45° and sometimes can be steeper. It is common for thatched roofs to need patching or replacement of the ridge which is likely to be needed every 10-15 years.
- Fire is a well-known risk with thatch. Electrical wiring needs to be checked regularly and ideally a spark arrestor should be fitted to the top of the chimney to prevent sparks and materials falling onto the thatch. It is always good practice to have the chimney lined. Smoke detectors and fire extinguishers are essential additions within the property.

Slate Coverings

- Slate can last anything up to 100 years or more depending on quality, source, thickness, and the skill with which it was cut.
- Natural slates are formed by very thin layers of rock being bonded together. Poorer quality slates may contain impurities which react with water and force the layers apart. This “delaminating” is common on the underside of the slates.
- Slates are held by nails fixed via holes drilled either close to one end or at the centre. It is quite common for slates to split when being fixed but then be left in place, only to slip later. Nails inevitably corrode in time and slates start to slip. This is known as “nail sickness”. Take note of this if it is listed in Section 3 Roof, as it will mean that you face on-going maintenance. You can identify where slates have already been re-set as they are usually held in place by lead or copper clips, known as tingles. Old slates often shingle to a degree whereby their effectiveness is very limited.
- Problems with slate roofs have led some owners to apply a coating over the whole of the covering. This should never be considered an appropriate repair. It can make the roof watertight for a few years. It will certainly mean that complete renewal of the roof will be necessary, as good slates when over-coated cannot be reused. It is also likely to cause condensation problems as the roof stops breathing.
- Traditionally, slate roofs were not under-felted and, this allows the slates to breathe. This practice still has its supporters, but generally, under-felting is considered as important with a slate roof as with a tiled roof. The under-felt provides a secondary protection against leaks if the slates are breached.
- There are various proprietary coatings available which are applied to the underside of old slate roofs. Whilst these do undoubtedly provide a short term repair, the medium or long term merits of such a system are untested and a lot of surveyors believe these under spraying systems to have a limited life.

Clay Tiles

- Clay tiles come in all shapes and sizes ranging from flat (plain) tiles to those which overlap at the edges and form vertical rolls on the roof slope. Clay Tiles have been used widely for many years, although since the post-second world war period, concrete tiles have tended to have been used as an alternative.
- By nature a clay tile is not impervious to moisture and, as it ages, some water enters into the tile. This can lead to damage of the tile surface (lamination) when the moisture freezes and breaks off the face of the tile itself, both internally and externally. Where this is visible, beware – on-going maintenance is needed.
- Tiles are either nailed onto roofing battens or hung onto the battens by means of nibs which are formed in their upper edge. Most manufacturers recommend that even tiles with nibs are nailed at regular intervals to prevent them being lifted by the wind. Corrosion of nail fixings is commonplace (known as nail sickness) and will mean on-going maintenance. Due to the method of manufacture, tiles are often not flat, which allows water to be blown or drawn up between them and can cause dampness inside, especially if the roof is an unlined one. In time the nibs can shingle away.
- Occasionally old wood pegs or aged random nails are found on very elderly roofs.
- If you are considering recovering a roof, do take advice before changing the covering material.
- There are various proprietary coatings available which are applied to the underside of old clay tiled roofs. Whilst these do undoubtedly provide a short term repair, the medium or long term merits of such a system are untested and most surveyors believe these under spraying systems to have a limited life.

Concrete Tiles

- Concrete tiles are reckoned to last at least 50 years. The general performance of concrete tiles is impressive, though they can be prone to lose surface colour which shows up replacement tiles.
- Sometimes a powdery “efflorescence” can be seen under the tiles. This is simply salts contained in some earlier concrete tiles emerging due to heat and dampness over a period of years. Eventually the tiles’ nibs can be eroded away, though this is likely to take many years.
- Certain tile shapes (especially pantiles) have an open void in them which needs sealing at gutter/base level mainly to prevent birds nesting under tiling and causing damage. It is often difficult to tell from ground level whether these seals are in place and it is always sensible to carry out a check whenever a property is being maintained or painted. Modern patent eaves level seals also allow important ventilation.
- In the course of time concrete tiles can become brittle.

RAINWATER GOODS

- Inadequate disposal of rainwater can cause serious problems in a building including damp, timber decay and structural movement. Keeping gutters and downpipes (and the drains to which they connect) clean and in good condition is always important.
- Gutters and downpipes are traditionally made in cast iron but with modern property, plastic is generally used. In addition, however, we frequently survey properties with asbestos, lead, tin or aluminium as alternatives. All gutters need to be laid to a slope in order to enable rainwater to run to a downpipe outlet. Guttering should always be fixed so that it catches as much water flow as possible from the roof above. Guttering systems frequently run on an inter-neighbour basis with semi-detached or terraced homes.

- Metal fittings are particularly prone to corrode and joints often fail. They need regular checks and maintenance if they are to be preserved.
- Traditionally downpipes discharge over open gulleys but today many downpipes are taken directly into the underground drainage system without an access gully. This can cause problems for cleaning.

CHIMNEYS

- Chimney stacks can be built in a variety of shapes heights and sizes, often elaborate for architectural purposes. However, the flues within the stacks are formed in one of two ways. Older houses have flues with a rendered internal face that can often fail and erode, causing smoke and fumes to escape and also causing general inefficiency. More modern properties have continuous liners that are effective for solid fuel and other fuels. Some old properties have flues which are just not adequate for modern use.
- Flue soundness and efficiency in older homes must never be assumed. Proper smoke tests are normally required to check flue soundness. If necessary old flues can be lined in order to bring them up to modern standards.

EXTERNAL WALLS

Stone Walls

- Stone is described according to the manner in which it is prepared and laid. The two main categories are known as ashlar and rubble. When stones are squared to a regular size and have smooth faces, they are known as ashlar. Rubble comprises stones of differing sizes which are either laid at random (a crazy paving appearance) or they can be laid roughly in courses.
- Many of our stone buildings are made of stone which is very aged and may have been re-cycled from previous buildings. Some types of stone are harder and more durable than others
- Frost is a major problem with some stones softening as water penetrates the surface and freezes, causing the surface to break off and at the same time allowing more water to penetrate into the core of the wall causing more damage.
- Poor repairs to stone work and the pointing between the stones can cause on-going problems and it is always sensible to take the advice of a stone mason to ensure that repairs are appropriate.
- Because stone walls are generally thick, there is a popular conception that they are solid from inside to out. This is not always the case and the core of the wall is often filled with rubble and general debris.

Solid Brickwork

- Until the mid-1930's most domestic property in this country was built in solid construction. This means that the bricks are laid in such a way that they run through the depth of the wall from inside to out and as a consequence this can permit damp to travel through the wall onto the internal surfaces. Generally a wall which is exposed to heavy driving rain will be more susceptible to damage than one which is sheltered.
- Areas under window sills tend to be more susceptible to water damage than other wall areas.
- In order to minimise the risk of damp penetration, the outside pointing and brickwork should be kept in as good a state as possible. Modern coatings are available to apply to solid brickwork to help weatherproof them but these do not always look attractive. They can cause problems if damp breaks through the coating and gets behind the weatherproofing.
- Heat loss tends to be greater through solid wall construction than it is through a cavity wall. A solid wall with a rendered finish can perform well if the render is maintained in a sound state.
- It tends to be inevitable that houses with solid wall detail suffer on occasions from condensation problems.
- Many older and inter-war built houses have projecting bays as a feature of the wall design. Often the upper storey bay wall is not built in brick at all but in timber – generally without any insulation.

Cavity Walls

- This is the normal form of construction found on houses from the mid-1930's to the present day, although many older houses have a variation of the same form of wall detail.
- As the name implies, cavity walls are constructed with two leaves of brick or block work – with a cavity between. The benefits of the cavity are that the wall cannot let water through its depth whilst the air in the cavity offers improved insulation standards.
- The outer and inner leaves of a cavity wall are usually stabilised with ties made of galvanised steel or plastic.
- In some cases, the ties which hold the outer and inner leaves together begin to rust. At first, they expand causing the outer leaf to bow and eventually may collapse. Cavity wall tie failure is more common in older houses (prior to 1980) and is often known to be a problem in particular areas. We will alert you to potential maintenance regarding cavity wall ties if there are visible signs of problems or if we are aware of previous problems in nearby properties.
- Even though cavity construction is effective, water can sometimes penetrate the outer skin of the wall. Cavity trays should be inserted over window and door openings to catch this water. There should be drainage channels left through the mortar joints from these trays although they are frequently omitted.

- Brick is the most common form of outside finish on a cavity wall. Frost often attacks older bricks causing the surface to break off. This is known as “spalling”. Repair work is possible but costly if the job is to be done properly and the best approach is to cut out the failed bricks and replace them.
- It is common to see salty stains, particularly on new brickwork. They are of no structural significance and can be brushed off or left to be dispersed by weather action over a period of time.
- A rendered finish or some form of cladding applied to the outside of a modern cavity wall often indicates that both leaves of the wall are of block without any brick content.

Rendering

- Modern cement render can be inappropriate for old buildings because it is incompatible with the construction of most old buildings and can cause or accelerate serious decay. Modern buildings generally depend on an impervious outer layer and cavities to keep out moisture. By contrast, old buildings tend to rely on their porous nature ('breathability') to allow water absorbed by the fabric to evaporate back out
- The use of an impervious Portland cement render in place of a traditional lime-based covering restricts evaporation. Hairline cracks form due to the mortar being more rigid than the wall. These then draw in water that becomes trapped in the fabric. Timber-framed and earth constructed buildings in particular can suffer major structural damage if moisture builds up behind a cement rendering.
- It is generally a mistake not to replace render. There is a good chance that the building was rendered originally. Even if it was not, the rendering may have been applied at a later date as necessary protection against the weather.
- When a cement render has been removed, re-rendering should be delayed for a short period to allow drying out if the underlying fabric is saturated. Additionally, any areas of decayed backing must be made sound before the new render is applied to prevent its early failure.

WINDOWS, DOORS AND EXTERNAL JOINERY

Windows

- Traditionally windows were constructed in wood and generally old timber tends to be better than new timber and hardwood is more long lived than softwood.
- Increasingly wooden windows are being replaced with man made materials. During the 1970's and early 1980's aluminium units set in hardwood frames were very popular. Many of these windows, however, have become temperamental in the way they open and close. These days uPVC is the most commonly used material for replacement units and if looked after and if of a good standard these windows perform well.
- With PVC windows it is important to keep the material as clean and dry as possible and to maintain the mastic seals around the frames in a good state to help prevent any damp penetration. Regular maintenance of the window mechanisms tends to be necessary. Failure of the rubber seals and bushes tends to occur. It is vital to check whether any current guarantees are in force.
- With increased importance being paid within the building industry to insulation standards the quality of glazing has improved over the years, but many houses still have comparatively “ordinary” single glazed windows whilst some high quality triple glazed units are sometimes found.
- Unfortunately many double glazed windows suffer from failure causing the glass to mist over and the only solution is to replace the glazing. This type of failure can occur without warning. There are some indications that the average life of a sealed double glazing unit is some ten years only.
- Some houses built between 1920 and 1960 had steel framed windows. These are prone to rusting and as the metal corrodes and expands, the windows can become twisted or buckled and panes crack or break. This type of material also creates a cold surface which can lead to a high level of condensation.
- Lead light windows may look pretty, but they are troublesome to clean and do weaken with age.

Doors

- External softwood doors are the cheapest to fit, but the least durable. Unless very regularly decorated they will decay. Hardwood doors are better. Aluminium or uPVC replacement units are claimed to be the most efficient of all.
- The raised sill sections used with uPVC doors are vulnerable to foot damage.

DAMP PROOF COURSES

- A damp-proof course (DPC) is a waterproof layer built into, or formed within, the walls to prevent ground dampness from rising.
- Virtually every urban property built in the last 120 years or so will have some sort of damp proof course in its wall. Many materials are in use, some being better and longer lived than others. The majority of the houses built in the last 60 years or so has a felt or pick based damp proof course along with blue brickwork. Before then slate or bitumen were frequently used. Many older houses have no built-in anti-damp protection.

- In order that a DPC can perform properly its line ought always to be at least two clear courses of brick above paths or garden surfaces. Whenever a lesser distance exists, the DPC can become ineffective and internal dampness can occur.
- Many older buildings suffer dampness due to inadequate damp proofing measures. The installation of a modern injection system (often identified by a series of drill holes in the brickwork) together with associated internal re-plastering can remedy such dampness. All damp proofing work ought to be dealt with by a competent and recognized specialist firm who can issue a valid guarantee. Internal re-plastering is an essential part of most damp proofing schemes.

INTERNAL WALLS AND PARTITIONS

- Traditional, internal walls have always been built in solid materials (brick or block), or timber. Contrary to popular belief, timber walls can be load bearing.
- Modern houses often have lightweight non-load bearing thin partition walls especially at first floor level.
- All these different wall types give differing standards of noise and thermal insulation.
- Many wooden or partition walls are difficult to use to support heavy fixings or pictures. Special fixings are generally available for most wall types.
- Many modern homes have a dry lined (plasterboard type) finish to walls which may not easily accept heavy fixtures, but the system is effective and plaster shrinkage problems are minimised.
- In older properties, the walls are often lined with board to disguise or overcome problems of poor plaster, damp and insulation. This can be effective but long term problems can still arise.

FLOORS

Solid Floors

- Solid floors are normally made up with a concrete slab laid on a hard-core base. The hard-core helps spread the load evenly over the soil beneath and protects the concrete from chemicals in the soil. To achieve a floor that does not settle, hard-core needs to be well compacted. If the floors should subside, repair work is possible but can be costly.
- Concrete slabs are typically around 150mm thick and have a thin top layer (screed) which gives a level base for the floor finish (tile, carpet etc.). Sometimes the slab is just smoothed off to provide a finishing surface without a screed.
- Solid floors should include a damp proof membrane (dpm). This is usually either a liquid bitumen coat or a layer of polythene or bitumen sheet. The dpm reduces moisture coming up through the floor by capillary action, though it does not resist direct water pressure. Poor workmanship on site often means that a dpm is torn or laid with gaps or laid with gaps which become damp spots later.
- In older properties original floors tend not to have a dpm and often suffer from dampness. These floors are often an important feature of the property and if the level of dampness is felt not sufficient to warrant lifting and re-laying the floor surface to include a dpm, these floors tend to be left and the damp lived with. However these floors should not be surfaced with any impermeable covering such as vinyl or rubber-backed carpet (and ideally should be left exposed).

Timber Floors

- Suspended timber floors have been used for many years without great design changes. Most problems result from under-sizing of the joists or poor conditions at the end support (bearing), or poor sub-ground ventilation.
- Joists bearing into solid walls (usually pre-World War II) can rot, particularly if the wall is exposed to prevailing winds and rain soaks through the brick or stonework.
- Very often, joists are cut or notched, to allow pipes and wiring to run under floorboards. There are clear regulations which now restrict what can be done, but all too often mistakes are made, sometimes resulting in the floor becoming springy. If the surveyor suspects this fault we will suggest further investigation is made.
- To prevent joists twisting, strutting is inserted usually some halfway along its length. Strutting is usually made with pieces of timber which are nailed between two joists at right angles to their length. When they are omitted the floor can become uneven or springy.
- When surveying a building it is rarely possible to carry out a full level of sub-floor checks and the surveyor will base their view on such inspection as is readily possible.
- More recent properties often have sheet chipboard/man made board flooring in place of more traditional floorboards. Because these materials can be laid in large panels, removal to access services can result in a very squeaky floor developing since the sheets are rarely properly re-fixed. The material tends to disintegrate on prolonged exposure to moisture and problems often occur near showers or washing machines in particular.

CEILINGS

Lath and Plaster Ceilings

- Most modern ceilings are made of plasterboard, but up to World War II a plaster mix was applied onto thin strips of wood called laths. (In very old properties reeds or straw were often used to strengthen the material). The strength of this type of ceiling depends on how well the plaster keys into the laths. When the plaster starts to pull loose from the laths, it often becomes widespread and repair of a small crack can soon become a large repair. Vibration and noise can often be a cause of a lath and plaster ceiling to fail. The installation of central heating can also cause old plaster to simply dry out so much that it cracks and fails.
- It is not uncommon for old lathed ceilings to be covered over with a variety of materials and finishes. Over boarding in modern plasterboard is a common solution to a troublesome ceiling.
- Lathed ceilings are heavy and can fall unexpectedly if damaged!

Plasterboard Ceilings

- For nearly 50 years now plasterboard has replaced the use of lath and plaster in most ceiling construction. Boards come in a variety of thickness and in general are relatively maintenance free.
- Joints between boards are most commonly covered by tape. Hairline cracking along the joints, however, is not uncommon though relatively simple to fill and redecorate or lining paper can be applied prior to a decorative finish.
- Dampness is a problem for plasterboard which is made up of a plaster centre covered by heavy paper on both sides. When moist, the paper covering deteriorates and the plaster content generally swells and crumbles. Replacement is then normally necessary.
- Artex or similar textured finishes are popular but these are not easy to repair to a good standard.

DAMPNESS

Damp & Timber Treatment – Guarantees

- Very often in older properties we find that previous damp and timber treatments have been carried out and are subject to guarantees.
- Particular care needs to be exercised in respect of wood-rot, woodworm/beetle and damp guarantees.
- A guarantee will normally only cover those areas specifically treated, and this is normally identified in the original report, specification and plan.
- It is important that such documents are made available to you and your Legal Adviser.
- Insurance protection is sometimes available for un-treated areas.

TIMBER DEFECTS

Timber Defects

- As a general word of caution, in older properties of this type, it is our experience that there are likely to be timbers within the structure which have deteriorated over the years due to possible wood-worm/beetle infestation, damp or other reasons, and may be decayed and a cause of potential problems in the future.

GAS

- As with electricity, defects can be life-threatening and are even harder to detect. We can form some impression of the attention given to the gas installation by the appearance of the fittings and will note concerns in Section 4. That apart it is essential that every property which is provided with gas has a test and service every year. If a test is overdue, arrange one immediately. Make sure that the contractor you instruct on any gas matters has a current registration with Gas Safe. If the surveyor considers that further investigations are needed he will say so.
- All gas appliances and flues must be subject to an annual check and test.
- Surface run gas pipes both inside and out must be treated with care to avoid damage.

WATER SUPPLY AND PLUMBING

Pipework & Tanks

- Most pipework in a building is concealed within the structure and fabric and we can only form an opinion based on the exposed parts of the installation.
- Copper tube is the most popular material used but in many new installations plastic is becoming increasingly popular as a cost effective alternative.
- In many older houses we still find old lead or galvanised piping, especially on the underground supply pipe. Some homeowners consider lead pipes to be a health risk. Old underground pipes can leak for many years undetected or suddenly burst unexpectedly. Replacing underground/floor pipes can be costly and disruptive.
- Water tanks come in a variety of shapes and sizes but plastic is the preferred modern material. In older properties we find older galvanised steel or cement asbestos tanks and ideally these should now be replaced.

HOT WATER INSTALLATION, BOILERS, CONTROL EQUIPMENT, SPACE HEATING, ETC.

- The ability of any central heating system to sufficiently heat all areas required depends on the efficiency of the boiler and the size and efficiency of the pipe runs and radiators. In order to tell accurately whether a central heating system is adequate, Heating Engineers have to carry out a series of calculations involving size of radiators, room and window sizes, capacity of the boiler etc. For this degree of assessment, a Heating Engineers' involvement is essential.
- Modern combination boilers are increasingly popular, but they may produce limited amounts of hot water for bathing with poor levels of pressure.

FOUL AND SURFACE WATER

Drains

- Foul drains are those taking waste from inside the building – WC, bath, kitchen, etc.
- Below ground drainage systems must fulfil two functions in order to avoid problems:
 1. they must discharge waste efficiently into the main sewer
 2. they must avoid foul smells escaping near to the property
- A correct slope (fall) is required to all drainage runs. Where gradients are too shallow, matter can build up and drains will need to be rodded on a regular basis. It is for this reason that the building regulations insist that an inspection chamber is provided where ever drains change direction or gradient. In some cases, small access gullies known as rodding eyes are provided.
- One of the most common causes of problems in drains is damage caused by tree roots which get into drains in search of water. We will advise you if there are likely problems in this regard, though it is important not to plant shrubs or trees close to drainage runs.
- Many houses of all ages have drain runs which are not as watertight as they should be. This can only be determined by the carrying out of a formal test which is not part of a Building Survey inspection.
- It is a good practice to regularly flush through drains with hot soapy water.

APPENDIX 2
GENERAL MAINTENANCE
NOTES

GENERAL MAINTENANCE NOTES

These notes are provided as a guide to enable you to inspect your property on a regular basis, to help keep it in good order. They must not be considered to be definitive or fully comprehensive. Regular maintenance inspections and prompt repair of any defects noticed will help keep your repair costs to a minimum. If neglected they may lead to more expensive repairs.

You should look at:

The Roofs

1. Check that all the tiles and slates are in good order and replace any that are cracked, slipped or damaged. Ensure that the mortar pointing at the roof edges is kept in good condition.

Flat Roofs

2. Make sure that the chippings remain evenly laid. If cracked or bubbled areas are noticed, have these repaired immediately.

Lead and Mortar Flashings

3. Lead flashing should lay properly; mortar fillets should be free from cracks. Mortar fillets are not fully satisfactory and are best replaced with lead.

Guttering

4. Should run to the downpipe heads at an even slope and be free from splits and cracks. Replace or repair missing or defective sections immediately to protect the property. Clean out the gutters regularly to remove weeds, leaves and granite chippings. Gutter joints do deteriorate with age and the need for resealing must be anticipated from time to time.

Downpipes

5. Check that the junctions of the gutters to the downpipes are in good order and also the joints between the downpipes and the underground piping at ground level. If any downpipes discharge over gully grids, clear and maintain brick surrounds to stop debris blocking the gulleys.
6. Replace or repair missing or defective sections immediately.

Chimneys

7. Keep chimney pots in good order and ensure they are securely joined to the top of the chimney. Keep the brickwork mortar joints in good condition. If you notice any cracking of the brickwork have it repaired at once.
8. If television aerials have been fixed to the chimney ensure that they are properly secured.

External Joinery (incl. Gutter and Barge Boards, Verge Cappings and Snow Boards)

9. Keep in good repair and well decorated.

Outside Walls

10. Keep the brickwork, mortar joints in good order. Poor maintenance of brick pointing leads to damp penetration and damage to the brick surface.
11. Make sure the mortar joint protecting the damp proof course is keep in good condition.
12. Keep the joints between the window and door frames and the brickwork in good watertight condition with pliable mastic sealant.
13. Make sure that the mortar around the waste pipes is in good condition.
14. Keep soil and paths at least 150mm below the level of the floors inside to prevent penetrating dampness.
15. If there are air bricks, make sure they are in good order and free from blockage.
16. If the walls are mortar rendered, make sure it is not cracked or loose. Water will get behind poor rendering leading to dampness. All cracked or loose areas should be repaired or replaced.
17. Regularly redecorate any painted walls or timber boarded areas.

Windows and Doors

18. Periodically inspect the frames and repair any timbers affected by wet rot. Regular painting helps avoid timber going rotten.
19. Replace cracked and broken panes of glass and renew loose or missing putties before redecoration to avoid wet rot in the frames.
20. Replace broken sash cords and window catches.

Inside the Loft

21. Make a regular inspection to check for signs of leaks which can lead to wet or dry rot taking hold. Carry out any necessary repairs immediately.
22. Check the chimney brickwork for heat cracks.
23. Make sure the roof timbers are not broken, split or affected by rot.
24. Clean out water tanks, maintain ball valves and keep tanks and pipes properly insulated and covered.
25. Insulate the loft if this has not been done. Do not insulate right up to the eaves or below the water tanks. Make sure the electrical cables are not covered by the insulation.
26. Look for wood-boring beetle flight holes and if in any doubt have a specialist firm make an inspection.
27. Check ceilings under flat roofs for any signs of leaks and repair affected areas immediately.

Plumbing, Heating and Electrics

28. Ensure that the external and internal stopcocks are readily available in an emergency.
29. Keep the plumbing pipework in good condition and periodically clean out the traps to baths, sinks and wash basins.
30. Have the central heating appliances annually serviced by a Gas Safe registered contractor.
31. Do not make any alterations to the electrical wiring without qualified advice. Amateur repairs and additions can lead to failure of the circuits, fire and risk of electric shock.

32. It is advised that the electrical installation is checked by the Electricity Board at least every five years as cables and fittings deteriorate with age.

Decorations

33. Internally, keep the ceilings, walls and woodwork in good decorative condition.
34. External paintwork should not be left more than four years without redecoration.

Drainage

35. Periodically lift the manhole covers and have the drains cleaned out if necessary. Keep manhole covers and surrounding mortar in good condition.
36. If you have a septic tank; have it pumped out at least once a year.

In the Garden

37. Keep the hedges, walls, fences, gates, paths and driveways in good order.
38. Keep soil, shrubs and trees away from outside walls. Shrubs and trees can break drainage pipes and potentially cause subsidence.
39. Cut back wall creepers regularly as they can destroy the mortar joints between brickwork, stonework, etc. encourage dampness and insects and block gutters.

Outbuildings/Garages

40. Check the roofs, gutters, downpipes and walls as suggested for the house.
41. Regularly redecorate timber surfaces.
42. Keep door hinges and locks well oiled. Regularly clean out sliding door channels.

APPENDIX 3
ESSENTIAL GUIDANCE

ESSENTIAL GUIDANCE FOR YOUR SURVEY REPORT

- If you have any questions about this report please contact me.
- It is important that you discuss the contents of this report with your conveyancer.
- To make sure you are properly covered tell your conveyancer to check existing guarantees and maintenance contracts e.g. central heating, damp and timber treatments, double glazing etc. Remember I have not tested any services.
- If I have mentioned such things as planning permissions, building regulations, listed building consents, freeholder consents, title restrictions, road and sewer bonds etc. tell your conveyancer to advise you further.
- If I have mentioned contaminated land tell your conveyancer to check what steps have been taken to deal with any possible contamination.
- If you are going to extend, alter or improve the property you should get advice from the Local Authority.
- Defects or issues may have been highlighted and you should now get your own independent advice. You may require reports and estimates and I suggest you use a contractor with an insurance backed guarantee and who is preferably a member of a trade organisation.
- When investigating the full extent of any defects I have reported, your contractor may go beyond the scope of the standard inspection e.g. by lifting carpets or floorboards and this may reveal more serious problems. Repairs or maintenance to the upper parts of the building may involve the use of expensive scaffolding.
- Central heating systems and heating appliances should be tested before you buy the property and then on a regular basis.
- Information and testing of electrical systems can be obtained from a qualified member of N.I.C.E.I.C on 020 7564 2323 or the ECA on 020 7313 4800.
- Testing of gas appliances can only be carried out by a Gas Safe registered specialist. For further advice and names telephone 01256 372200.
- Advice on asbestos can be obtained from the Environmental Health Department at your Local Authority. You should be aware public perception of the possible health risks of asbestos may affect the value and future saleability of the property.
- For your own safety, smoke alarms, carbon monoxide detectors etc. should be fitted and regularly tested.
- Advice on radon can be obtained from the National Radiological Protection Board (NRPB) telephone 0800 614529. Advice on high voltage electrical supply apparatus or telecommunication masts can be obtained from NRPB on 01235 831600.
- If I have mentioned flooding, advice can be obtained on 0845 9881188 (England, Wales & Scotland) and 02890 253430 (Northern Ireland).
- No responsibility whatsoever is accepted by Proenergis Chartered Surveyors to any third party and this report should not be relied upon for any commercial purposes or any other use without Proenergis Chartered Surveyors written authority.
- It is important to accept that whilst we make every effort to inspect a property thoroughly, there are always some parts of a property that simply cannot be inspected without damage being caused or clearing the property completely of carpets and furniture etc.
- A copy of this report can be made available in large print, Braille or audio.

APPENDIX 4
TERMS AND CONDITIONS OF
ENGAGEMENT

Building Survey Terms and Conditions of Engagement

General Terms

1. Introduction

- 1.1. This document sets out the contractual terms upon which the Surveyor will advise the Client by means of a written report as to his or her opinion of the visible condition and state of repair of the Property. These will have been sent to you and agreed before the survey.
- 1.2. The individual carrying out the inspection and providing advice will be a Chartered Surveyor.
- 1.3. The Surveyor will use all of the care and skill to be reasonably expected of an appropriately experienced chartered surveyor.

2. Content of the Report

In accordance with these terms the Surveyor will report upon:

- 2.1. the main aspects of the Property including assessing the site/location, the design, structural framework, fabric and services;
- 2.2. the grounds, boundaries and environmental aspects considered to affect the Property;
- 2.3. any requirements for further investigation arising from the inspection.

3. Delivery of the Report

- 3.1. The Report is to be delivered by the date agreed or at such later date as is reasonable in the circumstances.
- 3.2. The Surveyor will send the Report to the Client's address (or other agreed address) by first class post for the sole use of the Client. The Client agrees to keep the Report confidential disclosing its contents only to the Client's professional Advisers. In particular (but without limit) the Client must not disclose the whole or any part of the Report to any person (other than a professional Adviser) who may intend to rely upon it for the purpose of any transaction.

4. Payment of Fees

The Client will pay the Agreed Fee, any Additional Fees, any VAT and any agreed disbursements prior to the issue of the report.

5. Assumptions

Unless otherwise expressly agreed the Surveyor while preparing the Report will assume that:

- 5.1. the property (if for sale) is offered with vacant possession;
- 5.2. the Property is connected to mains services with appropriate rights on a basis that is known and acceptable to the Client; and
- 5.3. access to the Property is as of right upon terms known and acceptable to the Client.

Scope of the inspection

5.4. Generally

- 5.4.1. The Surveyor will consider his or her advice carefully but is not required to advise on any matter the significance of which in relation to the Property is not apparent at the time of inspection from

the inspection itself.

5.4.2. The Surveyor will inspect diligently but is not required to undertake any action which would risk damage to the Property or injury to him- or herself.

5.4.3. The Surveyor will not undertake any structural or other calculations.

5.5. Accessibility

5.5.1. The Surveyor will inspect as much of the internal and external surface area of the building as is practicable but will not inspect those areas which are covered, unexposed or not reasonably accessible from within the site, or adjacent public areas.

5.5.2. The Surveyor is not required to move any obstruction to inspection including, but not limited to, furniture and floor coverings.

5.6. Floors

5.6.1. The Surveyor will lift accessible sample loose floorboards and trap doors, if any, which are not covered by heavy furniture, ply or hardboard, fitted carpets or other fixed floor coverings. The Surveyor will not attempt to cut or lift fixed floorboards without express permission of the owner.

5.7. Fixed covers or housings

5.7.1. The surveyor will not attempt to remove securely fixed covers or housings without the express permission of the owner.

5.8. Roofs

5.8.1. The Surveyor will inspect the roof spaces if there are available hatches which are not more than three metres above the adjacent floor or ground. Where no reasonable access is available, the roof spaces will not be inspected. Similarly, outer surfaces of the roof or adjacent areas will be inspected using binoculars, but will be excluded if they cannot be seen.

5.9. Boundaries, grounds and outbuildings

5.9.1. The inspection will include boundaries, grounds and permanent outbuildings but will not include constructions or equipment with a specific leisure purpose including, without limit, swimming pools or tennis courts.

5.10. Services

5.10.1. The Surveyor will carry out a visual inspection of the service installations where accessible. Drainage inspection covers will be lifted where they are accessible and it is safe and practicable to do so. No tests of the service installations will be carried out unless previously agreed, although general overall comments will be made where possible and practicable. The Surveyor will report if it is considered that tests are advisable.

5.11. Areas not inspected

5.11.1. The Surveyor will identify any areas which would normally be inspected but which he or she was unable to inspect.

5.12. Flats or maisonettes

5.12.1. Unless otherwise agreed, the Surveyor will inspect only the subject flat and garage (if any), the related internal and external common parts and the structure of the building or particular block in which the subject flat is situated. Other flats will not be inspected. The Surveyor will state in

the Report the limits of access and/or visibility in relation to the common parts and structure. The Surveyor will state whether he or she has seen a copy of the lease and, if not, the assumptions as to repairing obligations on which he or she is working.

5.13. Environmental and other issues

- 5.13.1. Particular noise and disturbance affecting the Property will only be noted if it is significant at the time of the inspection or if specific investigation has been agreed between the Surveyor and the Client and confirmed in writing.
- 5.13.2. The Surveyor will report on any obvious health and safety hazards to the extent that they are apparent from elements of the Property considered as part of the inspection.

6. Hazardous Materials

- 6.1. Unless otherwise expressly stated in the Report, the Surveyor will assume that no deleterious or hazardous materials or techniques have been used in the construction of the Property. However, the Surveyor will advise in the Report if, in his or her view, there is likelihood that deleterious material has been used in the construction and specific enquiries should be made or tests should be carried out by a specialist.
- 6.2. Subject to clause 6.2 the Surveyor, based upon a limited visual inspection, will note and advise upon the presence of lead water supply pipes.
- 6.3. The Surveyor will advise in the Report if the Property is in an area where, based on information published by the National Radiological Protection Board, there is a risk of radon. In such cases the Surveyor will advise that tests should be carried out to establish the radon level.
- 6.4. The Surveyor will advise if there are transformer stations or overhead power lines which might give rise to an electro-magnetic field, either over the subject Property or visible immediately adjacent to the Property. The Surveyor is not required to assess any possible effect on health or to report on any underground cables.
- 6.5. Asbestos was commonly used in building materials up to the end of the 20th century, by which time it became a banned substance. Asbestos is not usually harmful unless the fibres can be released into the air by it becoming damaged or showing signs of wear. It is not possible to identify whether asbestos fibres are contained in a building material without a specialist test. Because asbestos was used in such a wide diversity of materials it is impossible to identify all the materials that may contain asbestos and it is beyond the scope of this report to test for asbestos. If you are concerned then you should commission a test for asbestos, which can be arranged on your behalf.
- 6.6. This report will **not** identify moulds that could be harmful to health. If mould is present at the time of inspection then it will be recorded and you will need to arrange your own test.

7. Ground Conditions

- 7.1. The Surveyor will not be required to comment upon the possible existence of noxious substances, landfill or mineral extraction, or other forms of contamination.

8. Consents, approvals and searches

- 8.1. The Surveyor will be entitled to assume that the Property is not subject to any unusual or onerous restrictions, obligations or covenants which apply to the Property or affect the reasonable enjoyment of the Property.
- 8.2. The Surveyor will be entitled to assume that all planning, Building Regulations and other consents required in relation to the Property have been obtained. The Surveyor will not verify whether such consents have been obtained. Any enquiries should be made by the Client or the Client's Legal Advisers. Drawings and

specifications will not be inspected by the Surveyor unless otherwise previously agreed.

- 8.3. The Surveyor will be entitled to assume that the Property is unaffected by any matters which would be revealed by a Local Search and replies to the usual enquiries, or by a Statutory Notice, and that neither the Property, nor its condition, its use or its intended use, is or will be unlawful.

9. Insurance rebuilding cost assessment

- 9.1. The Surveyor will provide an insurance rebuilding cost assessment only if this is agreed at the time of taking instructions. Building insurance cost assessments will be calculated using the current edition of the *BCIS Guide to House Rebuilding Costs*.

10. Additional Services

- 10.1. The Surveyor will provide, for an additional fee, such additional services as may be specified in the Specific Terms or are agreed between the Surveyor and the Client and confirmed by the Surveyor in writing.

11. Miscellaneous

- 11.1. In the event of a conflict between these General Terms and the Specific Terms, the Specific Terms prevail.
- 11.2. Unless expressly provided, no term in the agreement between the Surveyor and the Client is enforceable under the Contracts (Rights of Third Parties) Act 1999 by any person other than the Surveyor or the Client.
- 11.3. Where the Client has instructed the Surveyor to make investigations which cause damage to the Property on the basis that the Client has obtained the owner's consent, the Client will indemnify the Surveyor against any loss or cost arising.
- 11.4. Dispute Resolution In the event that the Client has a complaint regarding the standard of service he or she has received, a formal complaints handling procedure will be followed. A copy of the Surveyor's complaints handling procedure is available upon request. Using the Surveyor's complaints handling procedure will not affect the Client's legal rights.
- 11.5. The Client may only rely upon the Surveyor's advice and Report for purposes described in the Particulars or communicated to the Surveyor in writing prior to the agreement of the Fee and if the client wishes to rely upon such advice and Report for any other purpose he or she may only do so with the written consent of the Surveyor.