

Expression of Interest

for

The Construction of a Sports and Community Pavilion
together with associated infrastructure, external works,
drainage and services

at

Cringleford, Norwich

for

Cringleford Parish Council

22 September 2022 Rev 1.0

REAL Consulting LLP

Pembroke House
36 Unthank Road
Norwich
Norfolk
NR2 2RB



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Project Summary

Ref	Item	Description
1.0	Client	Cringleford Parish Council
2.0	Description of the Project	<p>The Construction of a Sports and Community Pavilion together with associated infrastructure, external works, drainage and services at Cringleford, Norwich for Cringleford Parish Council.</p> <p>The project is located on the site of St Giles Park housing development, it will be known as the Jubilee Centre, and will serve as the development's community space, sports hall and nursery.</p>
3.0	Location / Site	The site is located off Newmarket Road within St Giles Park Housing Development.
4.0	Construction Budget	Circa £2.5m
5.0	Form of Contract	JCT 2016 Standard Building Contract Without Quantities with single stage competitive tender procurement. There will be minor Employer amendments.
6.0	Programme	<p>Return of Expression of Interest – 17 Feb 2023 Agreed tender shortlist – 24 Feb 2023 Tender issue - 27 Feb 23 Tender return - 24 April 23 Contractor Appointment - 15 May 2023</p> <p>Start on Site - June 2023 Completion - TBC</p> <p>*Completion date subject to confirmation of accepted construction programme upon main contractor appointment</p>
7.0	Project Team	<p>Parish Council Advisor - Big Sky Developments Project Manager / Contract Administrator - REAL Consulting Architect - Ingleton Wood Civil and Structural Engineer - Rossi Long Consulting Employers Agent / Quantity Surveyor - REAL Consulting Mechanical & Electrical Engineer - Clear Consulting Design Principal Designer for CDM Regulations - Ingleton Wood</p>
8.0	Drawing Information	Refer to Appendix A
9.0	Short List	The tender documents will be issued to a selected short list of Main Contractors.

10.0	Clarifications	Request for clarifications should be directed to REAL Consulting, via the contract finder portal
11.0	Expression of interest Return Date	<p>Please return the completed Expression of Interest via the contract finder portal no later than 12 noon on 17 Feb 23.</p> <hr/>

Questionnaire

The Contractor is to provide a response to all of the questions set out in this section. The award criteria and selection of the short list of tenderers will purely be based on the information provided.

The Expression of Interest responses to this questionnaire will be evaluated by, PM, CA / QS and Professional Team.

Q1	<p>Please provide details of company experience of at least three similar projects completed in the past three years, in terms of size and nature? (10 marks)</p> <p>It would be helpful to have client references if available.</p> <p><u>Contractor Response</u></p>
Q2	<p>Please provide CV's proposed personnel for the project? Provide CV's for Contracts Manager, Quantity Surveyor and Site Agents as a minimum (10 marks)</p> <p><u>Contractor Response</u></p>
Q3	<p>Please provide a high-level programme for a scheme of this size and nature? (10 marks)</p> <p><u>Contractor Response</u></p>
Q4	<p>Please confirm you will be able to provide a Performance Bond for 10% of the Contract Sum? Pass / Fail</p> <p><u>Contractor Response</u></p>
Q5	<p>Please provide financial accounts for the last 3 years? Pass / Fail</p> <p><u>Contractor Response</u></p>

Q6	<p>Please confirm that you hold the required levels of insurance cover as noted below Pass / Fail</p> <p>10.1 - Public Liability £10m 10.2 - Contractors 'All Risks' £10m 10.3 - Professional Indemnity £5m</p> <p><u>Contractor Response</u></p>
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Scoring Criteria

Score Criteria	Points
Very poor - the response only provides very limited or incomplete information on the subject areas	0
Poor - the response provides limited information on the subject areas	2.5
Fair - the response provides sufficient information on the subject areas	5
Good - the response provides detailed information and clearly indicates a full understanding of the subject areas	7.5
Excellent - the response exceeds the requirements of all the subject areas	10

Appendix A – Drawings

Please note that current drawings are attached / appended for general information purposes noting that ongoing detailed design may result in changes being implemented prior to tender issue.

Drawings prepared by Ingleton Wood

305036 Sports Hall, Cringleford DAS 19-07-2022
 305036-IW-SP-DR-A-1005-P1-Site Plan
 305036-IW-SP-SA-DR-A-1006-P1-Landscaping Plan
 305036-IW-SP-XX-DR-A-0951-P5-Sports Pavilion & Nursery - Visualisation 1
 305036-IW-SP-XX-DR-A-0952-P5-Sports Pavilion & Nursery - Visualisation 2
 305036-IW-SP-XX-DR-A-0953-P6-Sports Pavilion & Nursery - Visualisation 3
 305036-IW-SP-XX-DR-A-0954-P4-Sports Pavilion & Nursery - Visualisation 4
 305036-IW-SP-XX-DR-A-0955-P4-Sports Pavilion & Nursery - Visualisation 5
 305036-IW-SP-XX-DR-A-0956-P5-Sports Pavilion & Nursery - Visualisation 6
 305036-IW-SP-XX-DR-A-0957-P4-Sports Pavilion & Nursery - Visualisation 7
 305036-IW-SP-XX-DR-A-0958-P3-Sports Pavilion & Nursery - Visualisation 8
 305036-IW-SP-XX-DR-A-0959-P3-Sports Pavilion & Nursery - Visualisation 9
 305036-IW-SP-XX-DR-A-1000-P1-Site Location Plan
 305036-IW-SP-XX-DR-A-1010-P1-GA Plans - Ground & Half Landing
 305036-IW-SP-XX-DR-A-1011-P1-GA Plans - Roof & Soffit
 305036-IW-SP-XX-DR-A-1020-P1-GA Elevations
 305036-IW-SP-XX-DR-A-1025-P1-GA Sections
 305036-IW-SP-XX-DR-A-1050-P1-Bin Store Plan & Elevations
 305036-IW-SP-XX-DR-A-1055-P1-Groundsmans Store
 305036-IW-SP-XX-DR-A-1098-P1-Materials Schedule
 305036-IW-SP-XX-DR-A-1099-P1-Materials Schedule

The Jubilee Centre

Big Sky Developments Ltd and Cringleford Parish Council

Planning, Design and Access Statement

Ingleton
Wood

architecture
building surveying
building services
planning
interior design
sustainability
civil and structural
quantity surveying
project management
CDM and H&S services

The Jubilee Centre

Big Sky Developments Ltd and Cringleford Parish Council

Job no. 305036

Planning, Design and Access Statement

Author: Alec Hunter RIBA, Senior Associate Architect and Lucy Smith RTPI, Planner

Checked by: Rachel Greenfield, PA/Business Development

Date: July 2022

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1.0 Introduction

Groundsmans Store
Refer to drawing:
305036-IW-SP-XX-DR-A-1055

Bin Store
Refer to drawing:
305036-IW-SP-XX-DR-A-1050

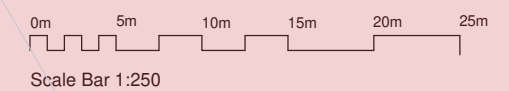
Proposed location for
substation, if required
(TBC)

Sports Pavilion & Nursery Carpark

Sports Pavilion & Nursery

Nursery External Play Area

Plan



P1 Planning
Rev Comm
Project No:
305036

Ing
Vision
Project:
Sports
St Gil
Crinkl
Norwi
Client:
Big S

Title:
Site P
Drawing No:
305036
Status:
S2

Introduction

This Planning, Design and Access Statement has been prepared by Ingleton Wood LLP on behalf of Big Sky Developments Ltd and Cringleford Parish Council, as joint applicants, in support of a full planning application for the erection of a community sport’s hall with integrated nursery, a groundsman’s store, and associated car parking. The principle for a community sports hall was agreed under the outline application of the overall site (ref. 2017/0196), and is secured by the Section 106.

This Statement sets out the detail of the proposed development and establishes the relevant planning policy framework against which the application is to be determined, and assesses the acceptability of the proposals in the context of that framework and other material considerations.

Supporting Information

The statement should be read in conjunction with the submitted plans, which are as follows:

- 305036-IW-SP-XX-DR-A-1000-P1-Site Location Plan
- 305036-IW-SP-SA-DR-A-1005-P1-Site Plan
- 305036-IW-SP-SA-DR-A-1006-P1-Landscaping Plan
- 304597-IW-SP-00-DR-A-0910-P7-Sports Pavilion & Nursery - Proposed Floor Plan
- 305036-IW-SP-XX-DR-A-0951-P5-Sports Pavilion & Nursery - Visualisation 1
- 305036-IW-SP-XX-DR-A-0952-P5-Sports Pavilion & Nursery - Visualisation 2
- 305036-IW-SP-XX-DR-A-0953-P6-Sports Pavilion & Nursery - Visualisation 3
- 305036-IW-SP-XX-DR-A-0954-P4-Sports Pavilion & Nursery - Visualisation 4
- 305036-IW-SP-XX-DR-A-0955-P4-Sports Pavilion & Nursery - Visualisation 5
- 305036-IW-SP-XX-DR-A-0956-P5-Sports Pavilion & Nursery - Visualisation 6
- 305036-IW-SP-XX-DR-A-0957-P4-Sports Pavilion & Nursery - Visualisation 7
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- 305036-IW-SP-XX-DR-A-1055-P1-Groundsmans Store
- 305036-IW-SP-XX-DR-A-1050-P1-Bin Store Plan & Elevations
- 305036-IW-SP-XX-DR-A-1025-P1-GA Sections
- 305036-IW-SP-XX-DR-A-1020-P1-GA Elevations
- 305036-IW-SP-XX-DR-A-1011-P1-GA Plans - Roof & Soffit
- 305036-IW-SP-XX-DR-A-1010-P1-GA Plans - Ground & Half Landing
- 305036-IW-SP-XX-DR-A-1099-P1-Materials Schedule
- 305036-IW-SP-XX-DR-A-1098-P1-Materials Schedule

- Arboricultural: Residential and commercial areas tree strategy B108079 Dwg no. 108W by The Landscape Partnership
- Ecology: Ecological Appraisal, prepared by The Landscape Partnership
- Landscaping: Recreation and open space masterplan B18079 Dwg no. 142 by The Landscape Partnership
- Drainage: Site Wide Foul and Surface Water Drainage Strategy, prepared by Rossi Long Consulting
- Contamination: Site Investigation Report, prepared by Harrison Geotechnical Engineering

2.0 Site and Context



Site and Context

The site, which measures approximately 0.6 hectares, comprises part of St Giles Park, a predominantly residential development with commercial, which is in the process of being constructed. The proposal site is east of the Norwich Southern Bypass, south of the A11, with residential development (phase 18) to the east. An indicative boundary of the site is outlined in red in the image opposite.

The site is to the south west of the overall settlement of Cringleford, where there is good connectivity to the city centre and other parts of the district via the A11 and the Southern Bypass. The area is well served by public transport with existing bus services on Cantley Lane and the existing adjacent residential areas, as well as Thickthorn Park and Ride to the west.

A Landscape Protection Zone is formed from a 145m deep corridor at the edge of the carriageway of the Southern bypass, as required by policies of the Local Plan.

The site falls adjacent to area designated for the A47/A11 Thickthorn interchange improvement works. A Development Consent Order (DCO) has been submitted by Highways England for this this Nationally Significant Infrastructure Project which is currently under Examination.

The site falls outside of the designated Conservation area, with no designated heritage assets within the site boundary or immediately adjacent.

The site falls within Flood Zone 1, where there is a low probability of flooding, with land having less than 1 in 1,000 annual probability of river flooding.

The immediate context of the application comprises the external sports pitches to the north-west and south-east, with new residential development of primarily two storey houses to the north and east. To the west is a large zone of landscaping with the A47 beyond a significant tree belt. Immediately to the north of the site is an existing boundary hedge with occasional trees.

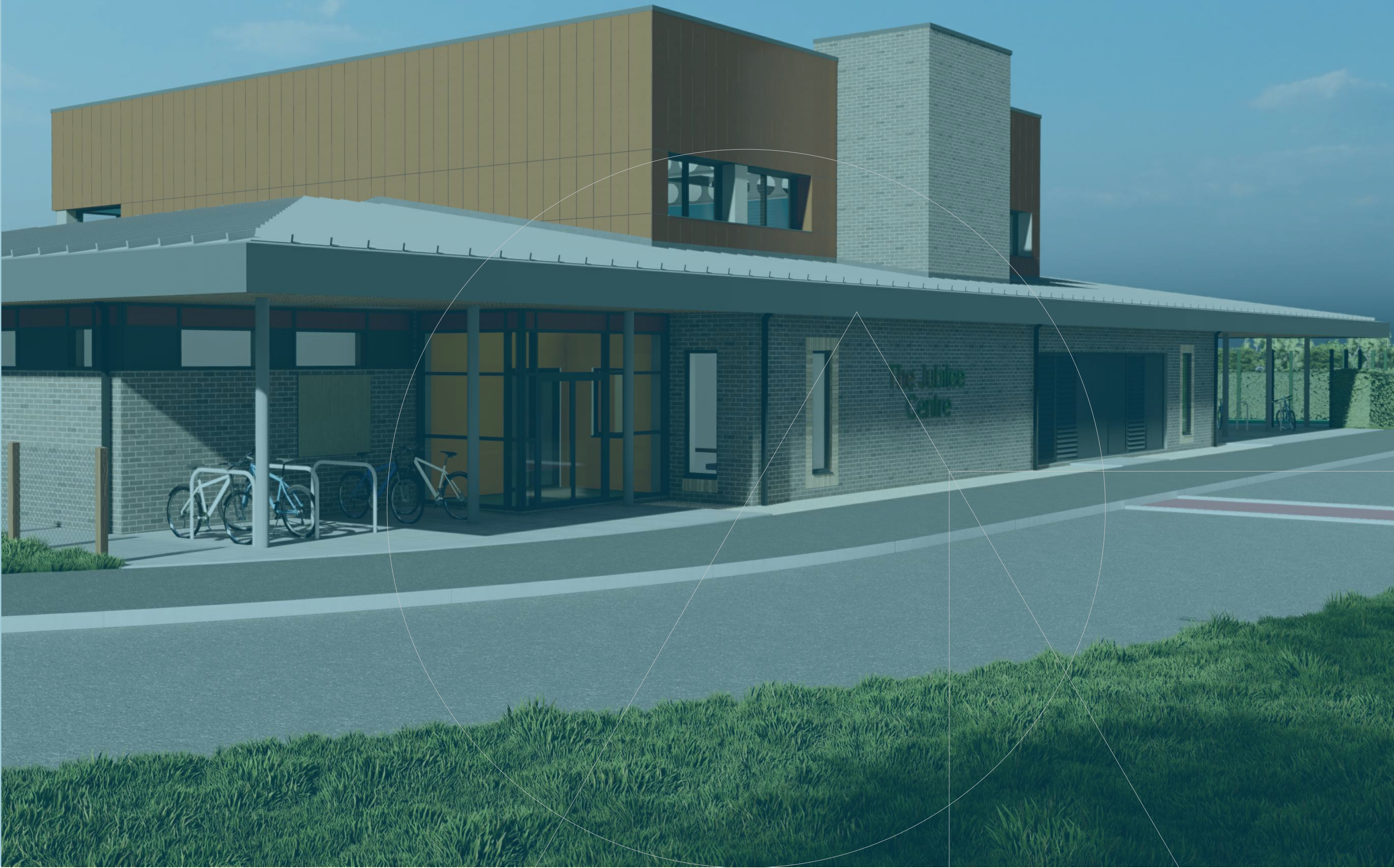
The new residential development is traditional in form, but with distinct and modern characteristics. The dwellings are constructed of several different types of brick, with some accent detailing around windows and expressing gables. The roofs are traditional tiles in terracotta and charcoal.

While the closest dwellings to the site are two-storey houses, interspersed with two-and-a-half storey houses, a little further away in the vicinity of the development site entrance are a number of three storey flat blocks.



Indicative Site Location Aerial Plan

3.0 Planning History



Planning History

Outline planning application reference 2017/0196 granted consent for the creation for up to 650 residential dwellings (Use Class C3), up to 2,500 sq mtrs of Use Class A1, A2, A3, A4, A5 and D1 floorspace, together with highways works, landscaping, public realm, car parking and other associated works. A subsequent S.73 application varied this consent to facilitate the development coming forward on a phased basis.

The consent and associated Section 106 agreement refer to 'Site A' and 'Site B'. Although the area covered by this consent covers both of these sites, the development plan submitted with the application indicates Site A as being the area to the north of the A11 and west of Round House Way, with Site B covering the area to the south of the A11 and east of Norwich Southern Bypass.

Various reserved matters applications have been submitted pursuant to the outline permission for Site B. Application reference 2018/2791 granted approval for the details of the peripheral landscaping and open space otherwise known as 'RMAPP9'. A Section 73 application to amend this consent has been submitted under reference 2021/2779, but not yet determined, following the details of Highway England's proposals.

Section 106

The Section 106, signed on 6th July 2015, and as amended by a deed of variation signed on the 10 January 2018 and 6th August 2021, includes provision for a Sports Pavilion and Sports pitches. These are specified on the proposed sports pitches plan as included in Appendix A. This includes:

1 no. Sports Pavilion - 8m x 6m to accommodate:

- Changing area
- Store room
- First Aid
- Office
- Function space

The sports pitches plan also requires a number on different sized pitches. These do not form part of this application, however are detailed as part of reserved matters application 2018/2791 and the subsequent 2021/29779. A Deed of Variation of the S106 will be agreed to amend the Sport/Formal Recreation Provision Site in relation to lost sports pitches due to Highways England improvement works.

4.0 The Proposal



The Proposal

The building is to contain three independent but linked facilities - football changing rooms and associated facilities, a sports / recreation hall and a nursery.

The intention is that the sports facilities will serve local junior teams, with the sports hall used for community functions on a hire basis as well as sports. The changing rooms will be used for the adjacent pitches as well as for the main hall on occasion.

The proposed size and intended use of the building has expanded since the Section 106 and subsequent deeds of variation noted above were signed, with the Parish Council identifying a need for two badminton courts, additional changing spaces, and new nursery spaces to meet the demands of the increased number of residents.

The site will be accessed via the roundabout and main spine road. 38 parking spaces would be provided, including 8 with EV charging points, four allocated for children and parents and two accessible spaces.

Relevant security measures have been designed into the proposal, including entrance bollards. The bin stores are accessible from the access road.

In terms of trees and landscaping, the proposal retains the tree rows and hedging to the north of the pavilion and the west of the proposed car park. There are no trees removed as a result of this application. The Residential and Commercial Areas Tree Strategy B18079 108W, as submitted with application reference 2021 /2779 indicates the retained trees. Proposed plan 305036-IW-SP-SA-DR-A-1006-P1-Landscaping Plan indicates new trees proposed around the site, as well as landscaping for the nursery garden.

The proposal corresponds to the approved Design Code for the wider site. Particular attention is paid to the legibility through access via key pedestrian routes throughout the site; and clear demarcation of blocks and defensible spaces.



Illustrative view from the north east

5.0 Design and Access Statement

Proposal, Use and Amount

Design Development

Layout

Scale, Massing and Appearance

Landscape and Biodiversity

Energy and Sustainability

Access



Proposal, Use and Amount

The proposed development provides a new sports hall, associated changing facilities which also serve the existing external sports pitches, and a separate nursery facility with spaces for up to 30 children. The total Gross Internal Area (GIA) of the facility is 770.7m². A separate groundsmans building of 60m² is also included, along with 38 car parking and 16 cycle parking spaces.

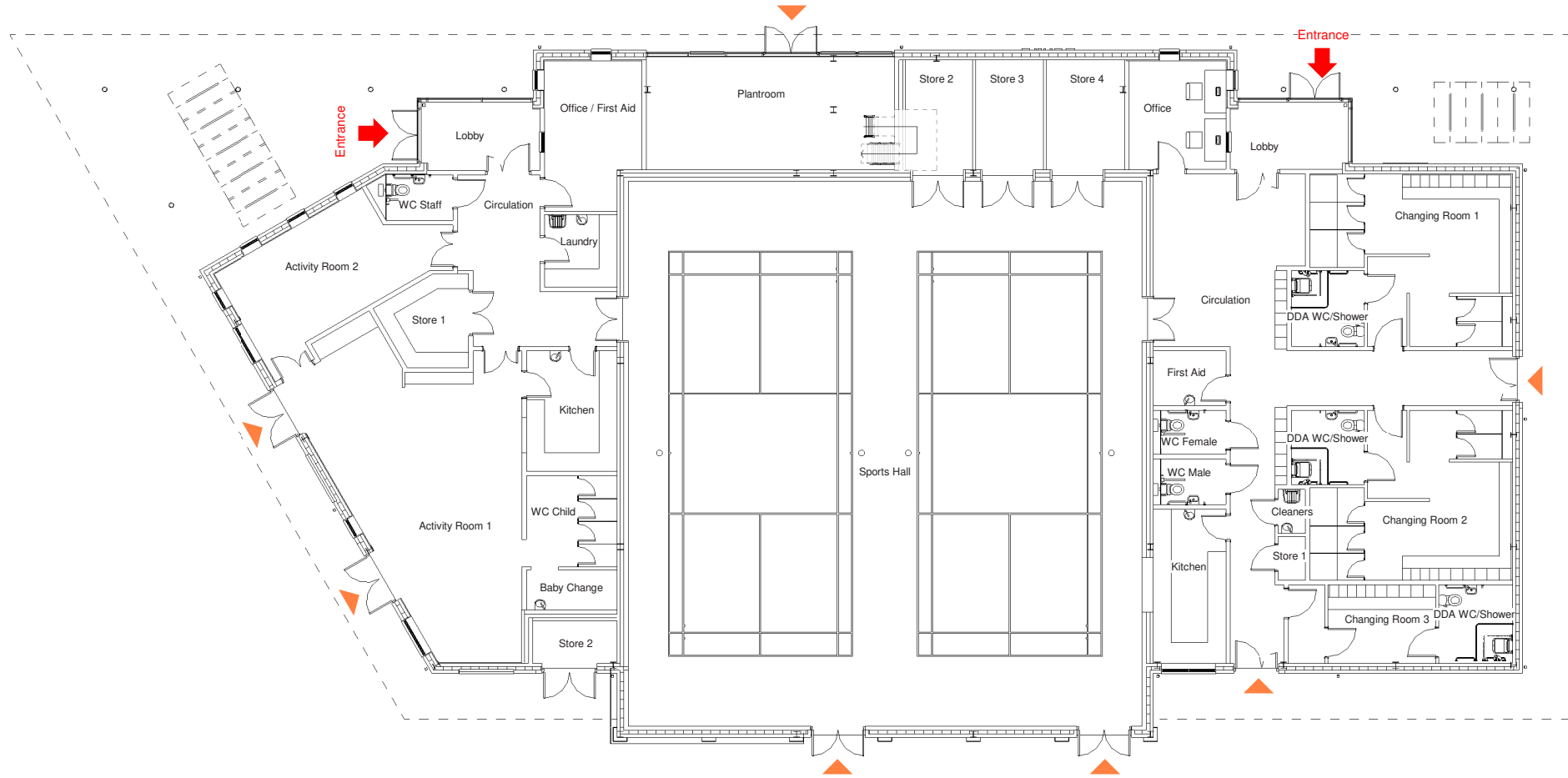
Design Development

As discussed above, the original concept for the pavilion was a small building serving the external pitches. The current proposal is significantly larger with additional uses included, and a new design approach is required to tie the more substantial building into the context of the new St Giles Park residential development.

Discussions with Cringleford Parish Council, and a pre-application meeting with South Norfolk Council have been held, allowing the design to be adapted to suit the needs of the Client as well as to give all parties an input into the appearance of the building.

Key considerations arising from these discussions, and our analysis of the development site, have influenced the evolution of the design and include the following:

- Building location and layout, and external works and landscaping, to be sensitive to existing and proposed dwellings within the wider St Giles Park;
- Relationship with the adjacent hedge and trees to the north of the site;
- Appropriate separation of the sports/events use and the nursery use of the facility;
- Treatment of the central volume of the building forming the main hall;
- Aesthetic linking of the proposal into the distinct character of the new St Giles Park residential development;
- Pedestrian and cycle access to and around the building, with particular reference to the use of the external sports pitches; and
- Long-term sustainability.



Ground floor plan

Layout

The proposed building is located within the green space to the western edge of the wider St Giles Park development. It is accessed by a short road linking to the new road network serving the residential development, and to the south of the existing hedge boundary which screens the building in views from the north.

The building comprises a central main hall containing two badminton courts, with changing facilities and other ancillary spaces to one side, and a nursery facility to the other side. On a third side the main hall is contained by office, storage and plant spaces.

The building is oriented to the existing hedge and access road, and picks up the geometry of the parking area to the west.

While there is an internal link between the nursery facility and the main hall, in operation the nursery will typically be kept entirely separate from the rest of the building, with only infrequent access to the main hall required.

The nursery is accessed via a glazed entrance lobby sheltered below a large

canopy formed by the over-sailing roof. This sheltered space covers cycle storage and provides an external waiting area safe from inclement weather. The roof over-sail continues around into the secure nursery garden, with a reduced projection, where it shelters the external doors leading into the activity spaces. Access from the secure garden to the external pitches to the south is also provided.

The nursery entrance leads to a short internal corridor from which the activity spaces, office, kitchen, and ancillary spaces are accessed. The children's WCs and baby change space are accessed via the main activity room. The internal layout is carefully designed to allow the facility to be run efficiently and safely, with security and observation being of the utmost importance.

At the other end of the building the main entrance to the changing facilities and the main hall shows a similar arrangement to the nursery entrance, though the more regular building geometry means that the sheltered space is not so large. The roof continuation of the over-sail in this instance shelters the secondary entrances to the changing rooms on the east and south elevations.



Aerial view of the proposed development

The main entrance leads to a large circulation space containing lockers, and allowing space for users of the changing rooms and the main hall to wait and congregate. This circulation space gives access to the main hall, office, kitchen, changing rooms, and ancillary spaces. The two larger changing rooms (for male and female use, or home and away use) are located along a secondary corridor served by a secondary external door. This 'dirty' corridor allows people using the external pitches to access the changing rooms directly, without muddy boots compromising the remainder of the building,

and especially the main hall. Similarly, the smaller changing room for officials has an independent external access.

The car parking area lies beyond the building, removed from the nearby residential areas, and largely concealed by the existing hedge and trees and the proposed building itself. The nursery is located close to the car park to make the distance from parked car to nursery as short as possible; important given the age of those many of those covering it.

Beyond the car park, and screened by the existing hedge, the small groundsman's building is located to give ready access to the pitches to the north.

Scale, Massing and Appearance

The central volume of the building is the main hall, with dimensions stipulated by Sports England guidance for the sizing of badminton courts. This large mass is the dominant feature in more distance views; however, at pavement level, closer to the building, the lower roof of the building is the more prominent, thereby reducing the perceived scale of the overall building.

The lower roof is cut back on the southern elevation, so that in views from the south the main volume of the building is seen reaching down to ground level, with the lower part of the building set back to either side.

While the building is taller than the majority of the dwellings in the wider development, it is comparable in scale to the three-storey flats located close to the site entrance. Therefore although the main hall does not have a pitched roof – which would look most incongruous – the massing is in keeping with its wider context.

The monolithic mass of the main hall is interrupted by the inclusion of a brick protrusion on the north elevation. This houses the roof access stair and is marginally taller than the main volume, and includes a feature clock, visible from the external pitches to the north, a nod to traditional pavilion buildings.

The lower levels of the building are finished in a grey brick with light mortar, matching on of the facing bricks used within the adjacent residential development. The use of a buff accent brick around door and window openings is another visual tie into the wider development where these accents are prevalent.

The structural steel columns supporting the wide-spanning roof of the main hall are visible externally – this is necessary to ensure that the internal space is not interrupted by column boxings. These are instead provided with external cladding at the lower level, and this boxing is also replicated to conceal the rain-water pipes draining the upper roof. These boxings become vertical features setting out the rhythm of the façade, and visually support the fully clad façade at the upper level.

The upper part of the main hall is visually distinct from the remainder of the building. It forms an elevated volume clad in mineral fibre panels, with high level windows punctuating on three sides to allow light into the space, and cladding joints subtly set out to continue the line of the columns below.

The cladding panels are textured to ensure that the upper level façade is not a monochrome, flat surface, and the minor nuances in angle of the cladding panels when installed will assist in this effect. Therefore while the upper part of the main hall is not a direct response to the immediate built context, it sits comfortably within the wider development site.

The colour of the upper level façade is picked up in the clerestory windows around the changing facilities, while the irregular window openings punctuating the nursery facades continue the colour theme with painted internal reveals of varying colour, a typical yet effective nursery feature.



Illustrative view of the nursery entrance area



Illustrative view of the south elevation



Illustrative view from the south east



Illustrative aerial view from the north east

The lower roof extends to cover the entrance areas, and the underside is a prominent feature in closer views of the building. The soffit will be clad in timber-effect planks, with a dark grey fascia concealing the gutters, and light grey coated steel columns set back supporting the deeper over-hangs.

The elevations and materials schedules accompanying this application show the nature and placement of the proposed materials, while the visualisations give a more accurate picture of the overall appearance of the design.

Landscaping and Biodiversity

The proposed building occupies a key space within the landscaped zone running between the residential development of St Giles Park and the landscaped area alongside the A47. It sits to the south of the existing hedge which partially screens the building in views from the north, while new planting is proposed to the east and west. The planting to the east screens the building from the residential development, while the planting to the west sits within the car park and softens this area.

The external garden to the nursery is enclosed by secure fencing, with a tall native species hedge adjacent. The garden itself is partially laid to grass, with a small area of soft-play surfacing allowing children safe use of the outside area when the grass is wet.

To the south of the building, the grass of the external pitches runs up to meet the paving surrounding the building, while to the north, between the access road and the existing hedge, the landscape strip will comprise grass supplemented by low planting.

It is anticipated that the detailed design of the landscaping, and the maintenance thereof, will be subject to a planning condition.



Extract of Landscaping Plan

Energy and Sustainability

A key briefing requirement for the project is the need to enhance the energy efficiency of the design and make use of technologies to minimise energy use during the lifetime of the building. Therefore the building is designed to achieve a high sustainability standard. The thermal envelope represents an improvement on the new requirements of the UK Building Regulations, while the over-sailing roofs shade the windows and reduce the risk of over-heating in the summer months.

Two Air Source Heat Pumps are located on the roof of the main hall, providing both space heating and hot water to the building. Whilst the ASHP units have an electrical demand, this is considerable less than conventional heating sources, and an array of photo-voltaic solar panels providing electricity to the building will generate a proportion of this demand.

The building will be constructed to minimise the leakage of warm internal air, with the changing spaces and the nursery both ventilated by MVHR (mechanical ventilation / heat recovery) units. These retain the warmth of the stale air being exhausted to the outside of the building and transfer it to the incoming fresh air, reducing the heating demand of the building. As with the ASHP units, the electrical demand of these units will be met in part by the photo-voltaic solar panels.

The main hall is to be ventilated naturally via louvred rooftop cowls with occupant control to ensure that the ventilation rates are applicable for the occupancy of the space.

Water consumption will be limited through the use of efficient cisterns, showers and taps.

The main hall is designed to accommodate badminton courts, but will also be used for many other purposes and is of a scale which will allow a wide variety of uses moving forward into the future. The changing spaces and ancillary accommodation is associated with both the main hall and the external pitches, and it is envisaged that they will be used for their intended purposes for the foreseeable future. For this reason, and because a high degree of robustness is required in such spaces, the internal walls are constructed in blockwork.

The nursery accommodation is a bespoke arrangement of spaces, and in the event that a nursery use is not sustained into the future, it could be difficult for another use to occupy the building as currently configured. However, to ensure that the space is designed to be as flexible as possible in the long term, the internal walls are designed as light-weight timber or metal stud partition. While they are not moveable partitions, allowing spaces to be adjusted on a day-by-day basis, the walls can be relatively easily adjusted as part of a wider refurbishment project as they are not holding up the roof above. This gives the opportunity to make changes to the internal layout in the future with minimum disruption.



Illustrative view of the concealed roof-mounted plant

Though the building is designed with longevity in mind, it is intended that the detailed construction stage design will anticipate the eventual demolition of the building, and ease of deconstruction and re-use, and recycling, of building elements will be considered.

Access

Access to the proposed building is via the new network of roads within the new St Giles Park development, which link to the A11 roundabout and Cantley Lane. This provides good links to Cringleford and the surrounding area. Cycle and pedestrian access is also possible via the open spaces within the St Giles Park development, with the proposed building well integrated into the wider site.

Vehicular access to the proposed building and car park is controlled by a manual lockable barrier. When opened, vehicles are able to drive past the building to the formal parking area. This is set out in the form of a loop so that people dropping off children to use the pitches, or collecting people from an event held in the main hall, are not obliged to manoeuvre, thereby limiting congestion at busy times.

It is not anticipated that coaches will access the building, so no formal coach parking or bay is included, but the layout of the car park allows smaller minibuses and similar vehicles to pull up and allow visitors to embark and disembark, then proceed around and out of the car park without reversing or manoeuvring.

The car park is provided with 38 parking spaces, of which two are accessible spaces, and four are for parent and child parking. Four electric vehicle charging pillars with two ports each are provided, though these are located to reach vehicles in 16 spaces within the car park. Under Approved Document S of the UK Building Regulations, a proportion of the remaining spaces will be capable of accommodating further charging points in the future.

Six cycle spaces are provided to the entrance of the main hall and changing area, with a further ten spaces at the entrance of the nursery, closer to the car park.

A further over-flow parking area is provided to the north of the site. It is envisaged that this will be used infrequently, and it is not included within the present planning application.

The groundsmans store is located to the north of the car park, and includes doors to allow the easy passage of mowing machinery.

Refuse and recycling storage is provided externally to the north of the access road. Collection of waste will be contracted out to a commercial company.

Level access into the building is provided, and accessible WCs and changing spaces are provided throughout.

Access to the roof-mounted equipment is provided via a fixed companion ladder within the plant room, and the parapet of the roof is sufficiently high to afford continuous edge protection, alleviating any risk of falling.



6.0 Planning Policy Review



Planning Policy Review

This Section identifies the planning framework within which the proposed development is to be assessed, and further identifies other material considerations relevant to the proposal. In identifying the planning framework, consideration has to be given to Section 38 (6) of the Planning and Compulsory Purchase Act 2004, which states that:

‘If regard is to be had to the Development Plan for the purpose of any determination to be made under the Planning Act, the determination must be made in accordance with the Plan, unless material considerations indicate otherwise.’

The Adopted Development Plan

In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004 consideration is given below to the adopted Development Plan for the site which comprises:

- South Norfolk Local Plan, Development Management Policies Document, October 2015
- Joint Core Strategy for Broadland, Norwich and South Norfolk, March 2011, amendments adopted January 2014
- Cringleford Neighbourhood Development Plan 2013-2026, adopted February 2014

South Norfolk Local Plan Development Management Policies Document

Policy DM 1.1: Ensuring Development Management Contributes to Achieving Sustainable in South Norfolk, states that Council will take a positive approach that reflects the presumption in favour of sustainable development, together with a responsibility to meet objectively assessed needs identified in the Local Plan and other unforeseen development needs and opportunities emerging that are generally consistent with the Council’s Vision and Objectives for the area.

The Council should work proactively where possible with applicants to find solutions so that development proposals can be approved to secure development that jointly and simultaneously improves the economic, social and environmental conditions in the area. Furthermore, the policy sets out that development proposals which accord with the policies of the Local Plan (and in this case, with policies of the adopted Local Plan) should be approved wherever possible, unless material considerations indicate otherwise.

Policy DM 1.2: Requirement for infrastructure through planning obligations sets out the requirement of planning obligations to secure the infrastructure to make proposals acceptable.

Policy DM 1.3: The sustainable location of new development, directs that all new development should be located so that it positively contributes to the sustainable development of South Norfolk as a whole.

Policy DM 1.4: Environmental quality and local distinctiveness, seeks to promote and achieve high quality and positive environmental standards from all development. All development proposals must demonstrate an understanding and evaluation of the important environmental assets including locally distinctive characteristics, and justify the design approach.

Policy DM 3.8: Design Principles stipulates the Council’s approach to this matter for new developments. The Council will work with applicants to achieve high quality design and positive improvement from all development, protect and enhance the environment and existing locally distinctive character and encourage innovation; the Council will refuse development that fails to take the opportunities for improving the character and quality of an area and the way the area functions.

Policy DM 3.10: Promotion of sustainable transport, promotes the use and design of buildings and land should facilitate sustainable development and travel, and prioritise sustainable modes of travel such as walking, cycling and public transport.

Policy DM 3.11: Road safety and the free flow of traffic, requires all developments to not endanger highway safety or the satisfactory functioning of the highway network.

Policy DM 3.12: Provision of vehicle parking, sets out that planning permission will only be granted where appropriate parking provision is provided by the developer to serve the needs of the proposed development.

The appropriate parking provision for a development will be determined using the parking standards adopted by the Council as a ‘starting point’ which may be varied to reflect local conditions such as the availability of public parking, sustainable travel modes, Travel Plan provisions, and design and conservation objectives.

Policy DM 3.13: Amenity, noise and quality of life, sets out:

- That development should ensure a reasonable standard of amenity reflecting the character of the local area. In all cases particular regard will be paid to avoiding overlooking and loss of private residential amenity space; loss of day light, overshadowing and overbearing impact; and introduction of incompatible neighbouring uses in terms of noise, odour, vibration, air, dusts, insects, artificial light pollution and other such nuisances.
- In considering applications which may result in an increase in noise exposure, account will be taken of the operational needs of the proposed and neighbouring businesses, the character and function of the area including background noise levels at different times of day and night and the need to protect areas of rural tranquillity.
- Development will not be permitted where the proposed development would generate noise or artificial light which would be significantly detrimental to the amenity of nearby residents or the occupants of other noise sensitive uses.

Policy DM 3.15: Outdoor play facilities and recreational space, require that new housing development provide for outdoor play facilities and recreational open space based on the Council’s adopted standards set out in supplementary guidance.

DM 3.16: Improving the level of local community facilities states that new or replacement community facilities and services will be permitted within development boundaries. Proposals located in the Countryside must demonstrate evidence of: the need for new facilities, good accessibility to the community to be served, and that no alternative sites are available within settlements with a development boundary.

Policy DM 4.2: Sustainable drainage and water management sets out:

Sustainable drainage measures must be fully integrated within design to manage any surface water arising from development proposals, and to minimise the risk of flooding on the development site and in the surrounding area, unless it can be demonstrated that ground conditions are unsuitable for such measures or there are other exceptional circumstances.

Policy DM 4.3: Facilities for the collection of recycling and waste, requires all new development to ensure that sufficient facilities are available for each property to simply store and dispose of their recycling and waste and is well integrated into the design of the development.

Policy DM 4.5: Landscape Character and River Valleys, this policy ensures all development respects, conserves and where possible, enhances the landscape character of its immediate and wider environment. Development proposals that would cause a significant adverse impact on the distinctive landscape characteristics of an area will be refused.

6.19 Proposals are expected to demonstrate how they have taken the following elements into account:

- The key characteristics, assets, sensitivities and vulnerabilities
- The landscape strategy; and
- Development considerations

Particular regard will be had to protecting the distinctive characteristics, special qualities and geographical extents of the identified Rural River Valleys and Valley Urban Fringe landscape character types.

Policy DM 4.6: Landscape Setting of Norwich, directs that development proposals should not harm, and where possible should enhance, the landscape setting of Norwich. This includes the Norwich Southern Bypass Landscape Protection Zone (NSBLPZ), where all proposals should have regard to protecting the openness of the zone and where possible, enhance the landscape setting of the southern bypass, including the practice of wild flower planting and management regimes.

Policy DM 4.8: Protection of Trees and Hedgerows, promotes the retention and conservation of significant trees, woodlands and traditional orchards and will serve Tree Preservation Orders where necessary.

Policy DM 4.9: Incorporating landscape into design, requires detailed development proposals to demonstrate a high quality of landscape design, implementation and management as an integral part of the new development.

Policy DM4.10: Heritage Assets, requires all proposals to have regard to the historic environment and take account of the contribution which heritage assets make to the significance of an area and its sense of place, as defined by reference to national and local evidence base relating to heritage.

Joint Core Strategy for Broadland, Norwich and South Norfolk

Policy 1: Addressing Climate Change and Protecting Environmental Assets. The policy advises that all development will be located and designed to use resources efficiently, minimise greenhouse gas emissions and be adapted to a changing climate and more extreme weather. The policy advises that this will be achieved by, amongst other things, making the most efficient appropriate use of land, with the density of development reflecting the characteristics of an area with the highest densities in centres with good access to public transport routes.

Policy 2: Promoting Good Design. The policy states that all development will be designed to the highest possible standards, creating a strong sense of place and respecting local distinctiveness. The policy advises that this will be achieved by, amongst other things, evaluating all proposals in excess of 10 units against the Building for Life criteria and achieving a silver standard (14 points).

Policy 3: Energy and Water requires that development in the area will, where possible, aim to minimise reliance on non-renewable high-carbon energy sources and maximise the use of decentralised and renewable or low carbon energy sources and sustainable construction technologies.

Policy 6: Access and Transportation, requires that the transportation system is upgraded to develop the role of Norwich as a regional transport mode, whilst also improving access to rural areas. The Policy advises that this will be achieved by, amongst other things, concentrating development close to essential services and facilities to encourage walking and cycling as the primary means of travel, with public transport for wider access.

Policy 7: Supporting Community, states that development will be expected to maintain or enhance the quality of life and the wellbeing of communities, whilst promoting equality and diversity, and protecting and strengthening community cohesion.

Cringleford Neighbourhood Plan 2013-2026, 2014

Relevant General Policies of the Neighbourhood Plan include GEN2 and GEN3 which relate to the protection, conservation and enhancement of heritage assets. Policy GEN4 refers to Cringleford Infrastructure Plan Programme, which details the infrastructure to come forward with associated development of new sites through Community Infrastructure Levy (CIL) and Section 106 agreements.

Environmental policy ENV1 identifies a ‘Landscape Protection Zone’ formed form a green corridor of 145m depth from the edge of the carriageway of the A47. The policy requires this to be protected and retained due to its contribution as an existing wildlife corridor, to mitigate traffic noise and retain a key strategic gap at the edge of the settlement. The visual impact of new development form approaching main roads and countryside should be minimised by the use of site-appropriate landscape bunding, screening and mature tree planting.

Policy ENV2 directs that developers will be required to landscape a 30-35m tree belt on the A11 approach to Norwich from the Thickthorn roundabout. The width will need to secure adequate screening to the road and village.

Policy ENV3 relates to the retention of hedgerows, including a number along Cantley Lane and within the proposal site. Policy ENV5 ensures sustainable drainage schemes are used where possible.

Policies for Society, Community and Culture include SCC3, which encourages the provision of new walking and cycling routes, and a natural surveillance of public spaces, safe footpaths and cycle ways and lighting. Policy SCC4 directs that the construction methods and furnishing of community buildings must minimise energy and water use, and promote the use of alternative energy sources.

Policy SCC5 states that developers should provide for a 3.8 hectare playing field to accommodate a cricket pitch, football pitches and Pavilion to include changing rooms, which relates specifically to the proposal site, as directed in the s.106 agreement.

Transport policy TRA1 states that development proposals should show how they integrate with other roads and the existing community. The sites should be laid out to provide adequate car parking to prevent obstruction of the main routes through development. New link roads providing access to the main development sites west of Round House Way and Cantley Lane should be provided in rough accordance with the proposals map.

Policy TRA2 requires developers to make an appropriate and proportional contribution or deliver improvement to the Thickthorn Interchange. Applications must demonstrate that they do not prejudice the delivery of the options for improvement under consideration by the local authorities, and if so, they must provide acceptable alternative junction improvement which is deliverable and achievable.

Material Considerations

In addition to the adopted Development Plan, there are Material Considerations that are relevant to the proposed development and, therefore, form part of the planning framework within which the development is to be assessed.

National Planning Policy Framework (NPPF), 2021

The NPPF sets out the Government’s planning policies for England and how these are expected to be applied. The document is a material consideration

that is afforded considerable weight in determining planning applications.

At the heart of the document is a presumption in favour of sustainable development as outlined in paragraph 10. Paragraph 11 advises that plans and decisions should apply a presumption in favour of sustainable development. Plans should positively seek opportunities to meet the development needs of their area and be sufficiently flexible to adapt to rapid change.

In determining planning applications, Local Planning Authorities need to approve development which accords with an up-to date development plan without delay. Where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date (This includes, for applications involving the provision of housing, situations where the local planning authority cannot demonstrate a five year supply of deliverable housing sites (with the appropriate buffer, as set out in paragraph 73); or where the Housing Delivery Test indicates that the delivery of housing was substantially below (less than 75% of) the housing requirement over the previous three years, permission should be granted unless:

- The application of policies in this Framework that protect areas or assets of particular importance provide a clear reason for refusing the development proposed; or
- Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken.

Section 8 promotes healthy and safe communities. It states that decisions should aim to achieve healthy, inclusive and safe places, which promote social interaction, are safe and accessible and enable and support healthy lifestyles. Planning decisions should plan positively for the provision and use of shared spaces, community facilities (such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship) and other local services to enhance the sustainability of communities and residential environments.

Paragraph 98 states that access to a network of high quality open spaces and opportunities for sport and physical activity is important for the health and well-being of communities, and can deliver wider benefits for nature and support efforts to address climate change.

Section 9 promotes sustainable transport. In assessing sites that may be allocated for development in plans, or specific applications for development, it should be ensured that:

- a. appropriate opportunities to promote sustainable transport modes can be – or have been – taken up, given the type of development and its location;
- b. safe and suitable access to the site can be achieved for all users;
- c. the design of streets, parking areas, other transport elements and the content of associated standards reflects current national guidance, including the National Design Guide and the National Model Design

- Code 46; and
- d. any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree.

Section 12 sets out requirements for achieving well-designed places. Paragraph 124 states that the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Paragraph 126 states that to provide maximum clarity about design expectations at an early stage, plans or supplementary planning documents should use visual tools such as design guides and codes. These provide a framework for creating distinctive places, with a consistent and high-quality standard of design. More specifically, paragraph 127 sets out that planning policies and decisions should aim to ensure that developments:

- Will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- Are visually attractive as a result of good architecture and appropriate landscaping;
- Are sympathetic to local character and history, including the surrounding built environment and landscape setting, whilst not preventing or discouraging appropriate innovation or change (such as increased densities);
- Establish or maintain a strong sense of place, using the arrangements of streets, spaces building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- Optimise the potential of the site to accommodate and sustain, an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- Create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users, and where crime and disorder, and the fear of crime, do not undermine quality of life or community cohesion and resilience.

Paragraph 128 encourages design quality to be considered during the evolution and assessment of individual proposals, evolving to clarify expectations and working closely with local communities.

Paragraph 130 states that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. Conversely, where the design of a development accords with clear expectations in plan policies, design

should not be used by the decision-maker as a valid reason to object to development.

Section 14 deals with meeting the challenge of climate change, flooding and coastal change. In determining planning applications, local planning authorities should expect new development to comply with any development plan policies on local requirements for decentralised energy supply, unless it can be demonstrated by the applicant, having regard to the type of development involved and its design, that this is not feasible or viable; and take account of landform, layout, building orientation, massing and landscaping to minimise energy consumption.

Paragraph 155 states that inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk (whether existing or future). Where development is necessary in such areas, the development should be made safe for its lifetime without increasing flood risk elsewhere.

Section 15 sets out the role of the planning system in relation to conserving and enhancing the natural environment. Of particular relevance, is the need to minimise impacts on and provide net gains for biodiversity including by establishing coherent ecological networks that are more resilient to current and future pressures; and to prevent both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability. In addition, valued landscapes sites of biodiversity or geological value and soils (in a manner commensurate with their statutory status or identified quality in the development plan) should be protected and enhanced.

Paragraph 170 also recognises the intrinsic character and beauty of the countryside, and the wider economic benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland.

Section 16 deals with conserving and enhancing the historic environment and includes a requirement for applicants to describe the significance of any heritage assets affected by a particular proposal, including any contribution made by their setting. Local Planning Authorities should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. They should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset’s conservation and any aspect of the proposal.

Parking Standards for New Development, revised July 2022

The following table sets out the recommended parking standards for residential properties:

Land Use	Cycle parking	Car parking
Places of Assembly and Leisure - Other Sports Facilities		
	Individual merit	Individual Merit
		Accessible parking - 200 vehicle bays or less = 3 bays or 6% of total capacity, whichever is greater
Education - Creches and Nursery Schools		
	1 space per full time equivalent staff + 1 space per classroom	1 space per 5 staff plus 1 space per 30 child places
	Plus drop off/pick up facilities for clients	Accessible parking - Dependent on individual merit, although expected to be significantly higher than business or recreational requirement

South Norfolk Place Making Guide Supplementary Planning Document (SPD), 2012

The South Norfolk Place-Making Guide has been created to promote and secure good quality design in new development within the district. The Guide expands upon policies of the adopted Local Plan.

The purpose of this guidance is to influence and raise the quality of design and layout of new development in South Norfolk, by providing practical advice to all those involved in the design and planning process on what the Council as the Local Planning Authority considers to be sustainable and sensitive design solutions.

The document describes Cringleford as being made up of three distinct sections: farmland, the valleys and the built-up areas. The abundance of trees and hedges are not confined to these valleys and contribute significantly to the ‘green’ spacious character of the village itself. The historic core, a Conservation Area, is largely confined to a section of Newmarket Road.

The key design principles are detailed as follows:

- Respect landscape significance of river valleys where development should be avoided.
- Ensure that trees, hedges and natural landscape features have a dominant role in the design of new development.
- Improve pedestrian/cycle permeability and linkages to existing networks.
- Ensure that new development responds to the scale, form and proportions of existing vernacular buildings in the locality.

7.0 Planning Analysis



Planning Analysis

Principle of Development

The principle of development has already been established by the granting of the outline planning consent and associated Section 106. The detailed design of the proposal was co-ordinated with Cringleford Parish Council and South Norfolk Council to meet the community's needs.

Whilst forming a standalone application, this proposal is consistent with the approved documents of the outline planning application and subsequent reserved matters approvals.

Design Considerations

The proposals incorporate high quality and considered design measures, which are set out in full detail in the Design and Access section of this Statement.

The proposal will sit comfortably within the development and will respect the character and appearance of the settlement and surrounding landscape character. As such the proposal complies with policy DM3.8 of the Development Management Policies Document, JCS Policy 2, Cringleford Neighbourhood Plan and South Norfolk Place Making Guide SPD.

Access Considerations

The principle of the primary site access to the site from the roundabout to the north has already been assessed and deemed acceptable under the outline consent. Although there are a number of interconnected routes around the site, it is anticipated that the main spine road will be utilised, as indicated by the submitted site location plan.

Overall, the scheme is not considered to cause any significant adverse impact on highway safety, and as such, is considered to comply with policies DM3.10 and DM3.11 of the Development Management Policies Document, TRA1 of Cringleford Neighbourhood Plan and the requirements of the National Planning Policy Framework.

Parking

Norfolk County Council's new parking standards have been utilised in the calculation of proposed spaces. However it is acknowledged that that there is not a category specifically for the community centre aspect of the development.

For the nursery, it is anticipated 6 spaces will be required (4 for staff, with an additional 1 space required per classroom). Two cycling spaces would be required.

It is considered that the sports element would fall under 'other sports facilities' given that they are for junior sports team use. This states proposals should be based on individual merit. Given the likelihood of parent drop of and lift sharing, it is considered 30 spaces should be sufficient for game days. It is also acknowledged that the nursery, community and sports uses are not always likely to occur at the same time.

In terms of accessible parking the standards require 3 spaces for the sports use, and individual merit for the nursery. 6 accessible spaces are provided within the overall 38 spaces. As such, the proposal is broadly in accordance with the standards.

Residential Amenity

The proposals seek to ensure the amenity of existing and future occupiers of the site and its surroundings, in order to ensure satisfactory living conditions.

Furthermore, the proposals would not generate long term disturbance from noise, odour or vibration, air pollution, or artificial light pollution.

Based on the foregoing, the design and layout of the proposals have been developed to protect the amenity of both the existing adjacent properties in the surrounding area, and the amenity of future occupiers of the development site. The proposals are therefore considered to be compliant with Policy DM3.13 of the adopted Development Plan.

Nutrient Neutrality

It is acknowledged that the site falls within the Broads SAC Nutrient Neutrality catchment area. The proposal would not involve any overnight stay and therefore this advice should not be applicable to the development. The sports pitches are to be used by junior teams only, where it is likely there would be local children only, so limited attraction of people from outside of the catchment area.

7.0 Conclusion



Conclusion

Big Sky Developments Ltd and Cringleford Parish Council are seeking approval for the erection of a sports hall with children’s nursery, a groundsman’s hut and car parking, west of the St Giles Park residential development.

The development proposed as part of this application forms part of a planning obligation for Site B of the outline consent (ref. 2017/0196).The proposal is in full accordance with the parameters established by this consent and the associated S106.

Due consideration has been given to the design of this proposal to ensure that the overall scheme is to a high quality and respects the local context with regard to scale, density and layout, whilst protecting residential amenity and providing sufficient parking.The proposal has been developed in cooperation with Cringleford Parish Council and South Norfolk Council to ensure it meets the needs of the local community.

Overall the proposal is considered to provide benefit to the wider area by providing well-designed and sustainable development.Accordingly, the proposed development is considered to be acceptable when assessed against the key policies of the adopted Development Plan. On this basis, it is respectfully requested that the application is approved.



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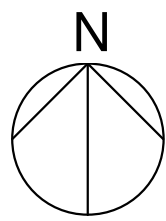
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Site Plan
1 : 250

P1	Planning Submission	26.05.22	BR	A
Rev	Comment	Date	CHK	App
Project No:	305036	Scale @ A1:	1 : 250	Drawn By:
				BMR

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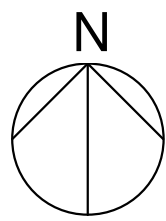
Vision, form and function

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

Client:
Big Sky Developments

Title:
Site Plan

Drawing Number:	305036-IW-SP-SA-DR-A-1005
Status:	P1
Purpose of Issue:	Planning



Refer to The Landscape Partnership drawing 106E for further information

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- MAT 1 - Adoptable Highway (Asphalt)
- MAT 2 - Black Asphalt footpath with Chippings and concrete edging kerb
- MAT 3 - Unadopted Parking Bays (Permeable Setts)
- MAT 5 - Adoptable Highway (Impermeable Setts to NCC standards)
- MAT 6 - Transition Strip (Granite Setts)
- MAT 7 - Edging Gravel
- MAT 8 - Unadopted Drive (Gravel in Geo Grid)
- Adoptable Highway Crossing Point (Asphalt Coloured)
- Paths & Patio (Paving Slabs)
- Communal Open Space - Grassed / Planted
- Communal Sports Area - Grassed
- Nursery Private Open Space - Grassed
- Nursery Private Open Space - Soft Play Surface
- Existing Trees - Refer to Arboricultural drawings
- New Trees
- PWF1.2m 1.2m high Timber Post and Wire Fence
- PWF1.5m 1.2m high Timber Post and Rail Fence
- MSF1.8m 2.5m high Metal Security Fence (Mat 45-6)
- H1.8m 1.8m high Native Hedge
- Vehicle twin charging point
- Secondary charging bay locations
- Charge cables to designated bays

P1	Planning Submission	26.05.22	BR	A
Rev	Comment	Date	CHK	App
Project No:	305036	Scale @ A1:	1 : 250	Drawn By: BMR

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Vision, form and function

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

Client:
Big Sky Developments

Title:
Landscaping Plan

Drawing Number:
305036-IW-SP-SA-DR-A-1006

Status:	Purpose of Issue:	Revision:
S2	Planning	P1



Visualisation 1 - Front (Sports Hall Entrance)

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	P5	Planning Submission		26.05.22	BR	AH	Sports Pavilion & Nursery St Giles Park Cringelford Norwich				Sports Pavilion & Nursery - Visualisation 1			
	P4	Sports Hall appearance updated		09.03.22	BR	AH								
	P3	Updated to incorporate comments		11.02.22	BR	AH								
	P2	Updated Design		22.11.21	BR	CS								
	P1	First Issue		29.10.21	BR	AH								
	Rev	Comment		Date	Chk	Apr	Client:				Status:	Purpose of Issue:		Revision:
All dimensions are to be checked and verified on-site by the Main Contractor prior to commencement; any discrepancies are to be reported to the Contract Administrator.							Big Sky Developments				S2	Planning		P5
	Project No: 305036		Scale @ A3:		Drawn By: BMR									
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Visualisation 2 - Rear / West

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	P5	Planning Submission		26.05.22	BR	AH	Sports Pavilion & Nursery St Giles Park Cringleford Norwich				Sports Pavilion & Nursery - Visualisation 2				
	P4	Sports Hall appearance updated		09.03.22	BR	AH									
	P3	Updated to incorporate comments		11.02.22	BR	AH									
	P2	Updated Design		22.11.21	BR	CS									
	P1	First Issue		29.10.21	BR	AH									
	Rev		Comment		Date	Chk	Apr	Client:				Status:	Purpose of Issue:		Revision:
		Project No: 305036		Scale @ A3:		Drawn By: BMR		Big Sky Developments				S2	Planning		P5

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Visualisation 3 - Birdseye

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P6	Planning Submission	26.05.22	BR	AH
P5	Sports Hall appearance updated	09.03.22	BR	AH
P4	Updated nursery layout	17.02.22	BR	AH
P3	Updated to incorporate comments	11.02.22	BR	AH
P2	Updated Design	22.11.21	BR	CS
P1	First Issue	29.10.21	BR	AH
Rev	Comment	Date	Chk	Apr
Project No: 305036		Scale @ A3:		Drawn By: BMR

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

Client:
Big Sky Developments

Title: Sports Pavilion & Nursery - Visualisation 3		
Drawing Number: 305036-IW-SP-XX-DR-A-0953		
Status: S2	Purpose of Issue: Planning	Revision: P6

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Vision, form and function



Visualisation 4 - Front (Nursery Entrance)

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							Drawing Number: 305036-IW-SP-XX-DR-A-0954				
	P4	Planning Submission	26.05.22	BR	AH		Client: Big Sky Developments	Status:	Purpose of Issue:	Revision:	
	P3	Sports Hall appearance updated	09.03.22	BR	AH			S2	Planning	P4	
	P2	Updated to incorporate comments	11.02.22	BR	AH						
	P1	Updated Design	22.11.21	BR	CS						
	Rev	Comment	Date	Chk	Apr						
Project No: 305036		Scale @ A3:		Drawn By: BMR							
Do Not Scale						© Ingleton Wood LLP					
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Visualisation 5 - Rear (Sports Fields)

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			P4	Planning Submission	26.05.22	BR	AH				
			P3	Sports Hall appearance updated	09.03.22	BR	AH				
			P2	Updated to incorporate comments	11.02.22	BR	AH				
			P1	Updated Design	22.11.21	BR	CS				
			Rev	Comment	Date	Chk	Apr				
Project No: 305036		Scale @ A3:		Drawn By: BMR					Status:	Purpose of Issue:	Revision:
									S2	Planning	P4

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Vision, form and function



Visualisation 6 - Birdseye (From West)

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P5	Planning Submission	26.05.22	BR	AH
P4	Sports Hall appearance updated	09.03.22	BR	AH
P3	Updated nursery layout	17.02.22	BR	AH
P2	Updated to incorporate comments	11.02.22	BR	AH
P1	Updated Design	22.11.21	BR	CS
Rev	Comment	Date	Chk	Apr
Project No: 305036		Scale @ A3:	Drawn By: BMR	

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

Client:
Big Sky Developments

Title: Sports Pavilion & Nursery - Visualisation 6		
Drawing Number: 305036-IW-SP-XX-DR-A-0956		
Status: S2	Purpose of Issue: Planning	Revision: P5

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Vision, form and function



Visualisation 7 - East Side (View from Street)

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				P4	Planning Submission	26.05.22	BR	AH					
				P3	Sports Hall appearance updated	09.03.22	BR	AH					
				P2	Updated to incorporate comments	11.02.22	BR	AH					
P1	Updated Design	22.11.21	BR	CS						<p>Drawing Number:</p> <p>305036-IW-SP-XX-DR-A-0957</p>			
Rev	Comment	Date	Chk	Apr						Client:	Status:	Purpose of Issue:	Revision:
Project No: 305036		Scale @ A3:		Drawn By: BMR		Big Sky Developments			S2	Planning		P4	

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Vision, form and function

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Visualisation 8 - Front (Sports Hall Entrance)

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P3	Planning Submission	26.05.22	BR	AH	
P2	Sports Hall appearance updated	09.03.22	BR	AH	
P1	Updated to incorporate comments	11.02.22	BR	AH	
Rev	Comment	Date	Chk	Apr	
Project No: 305036		Scale @ A3:		Drawn By: BMR	

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

Client:
Big Sky Developments

Title: Sports Pavilion & Nursery - Visualisation 8		
Drawing Number: 305036-IW-SP-XX-DR-A-0958		
Status: S2	Purpose of Issue: Planning	Revision: P3

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Vision, form and function



Visualisation 9 - Front (Sports Hall Entrance)

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							Drawing Number: 305036-IW-SP-XX-DR-A-0959			
	P3	Planning Submission		26.05.22	BR			AH		
	P2	Sports Hall appearance updated		09.03.22	BR			AH		
	P1	First Issue		17.02.22	BR			AH		
All dimensions are to be checked and verified on-site by the Main Contractor prior to commencement; any discrepancies are to be reported to the Contract Administrator.	Rev	Comment		Date	Chk	Apr	Client: Big Sky Developments	Status:	Purpose of Issue:	Revision:
This drawing is to be read in conjunction with all other relevant drawings and specifications.	Project No: 305036		Scale @ A3:		Drawn By: Author			S2	Planning	P3
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Vision, form and function

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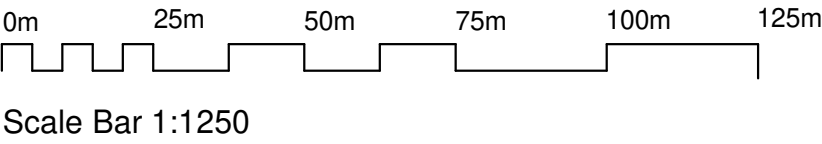
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Site Location Plan
1 : 1250

Red line area = 0.626ha



P1	Planning Submission	26.05.22	BR	A
Rev	Comment	Date	Chk	App
Project No:	305036	Scale @ A1:	1 : 1250	Drawn By:
				BMR

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Vision, form and function

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

Client:
Big Sky Developments

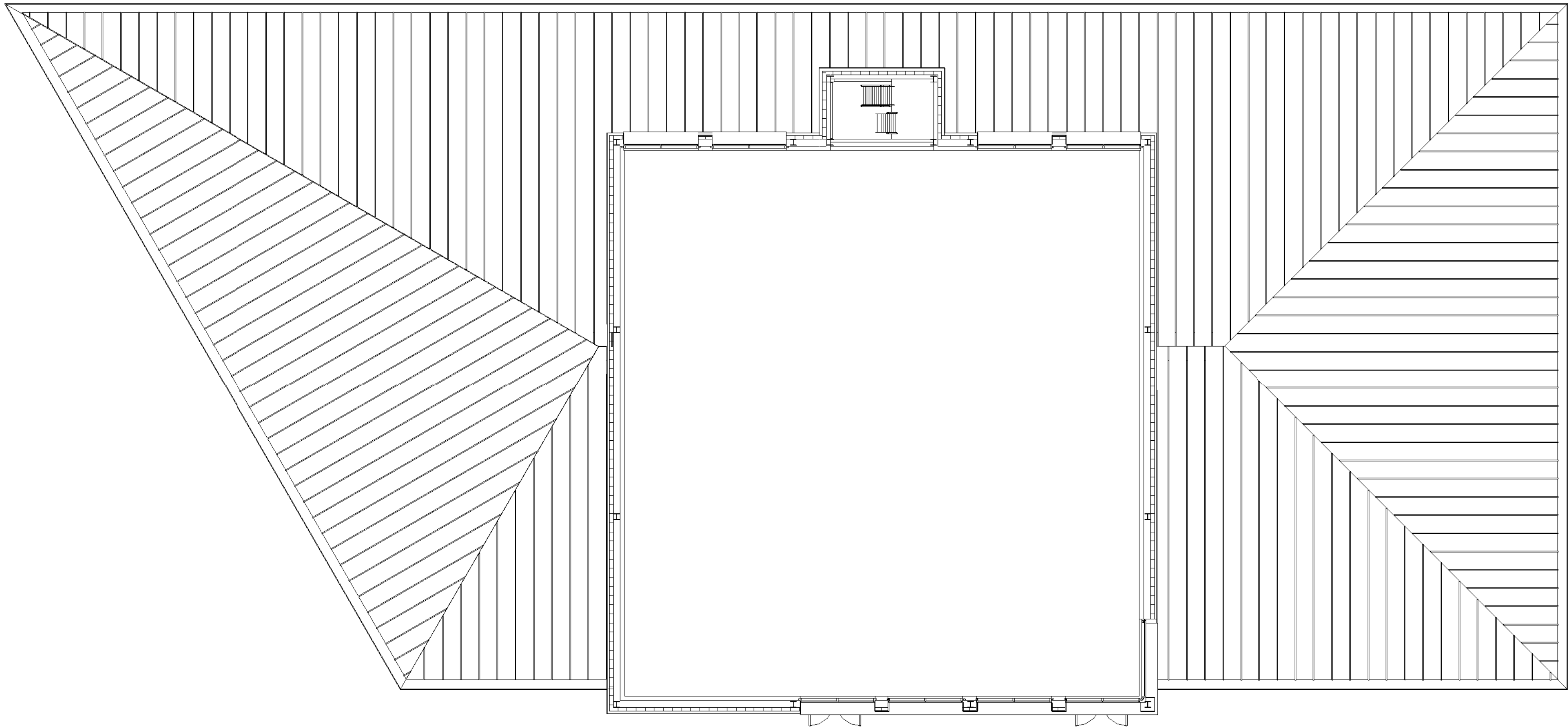
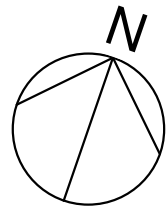
Title:
Site Location Plan

Drawing Number:
305036-IW-SP-XX-DR-A-1000

Sheet:
S2

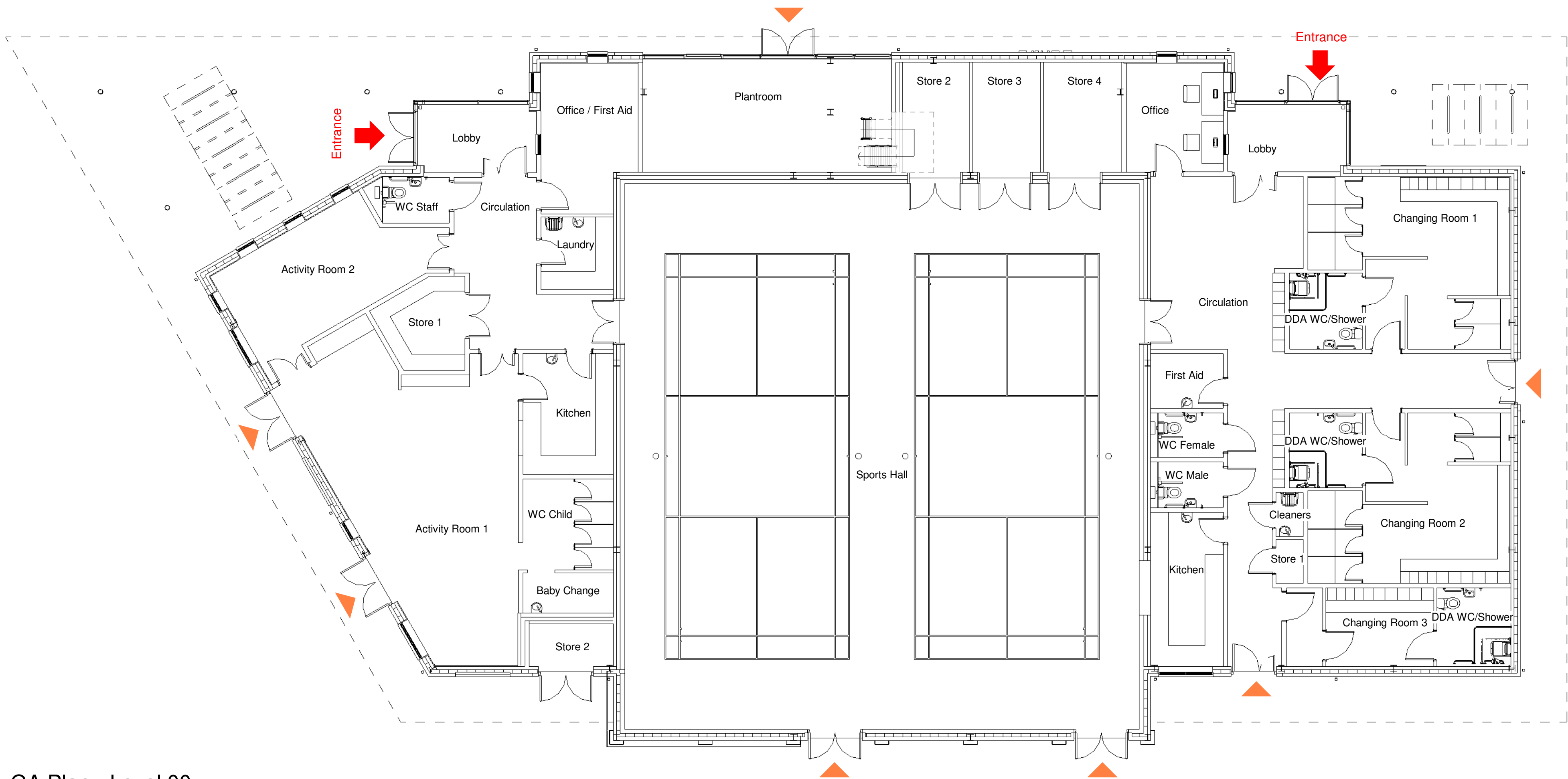
Purpose of Issue:
Planning

Revision:
P1



GA Plan - Half Landing

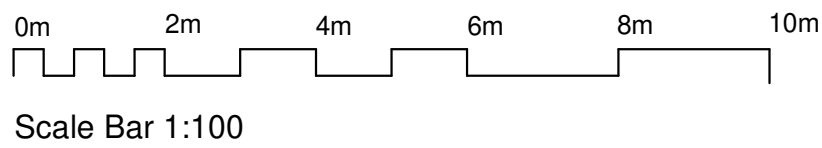
1 : 100



GA Plan - Level 00

1 : 100

Total Building GIA = 770.7m²



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P1	Planning Submission	26.05.22	BR	AH
Rev	Comment	Date	Chk	App
Project No:	305036	Scale @ A1:	1 : 100	Drawn By: BMR



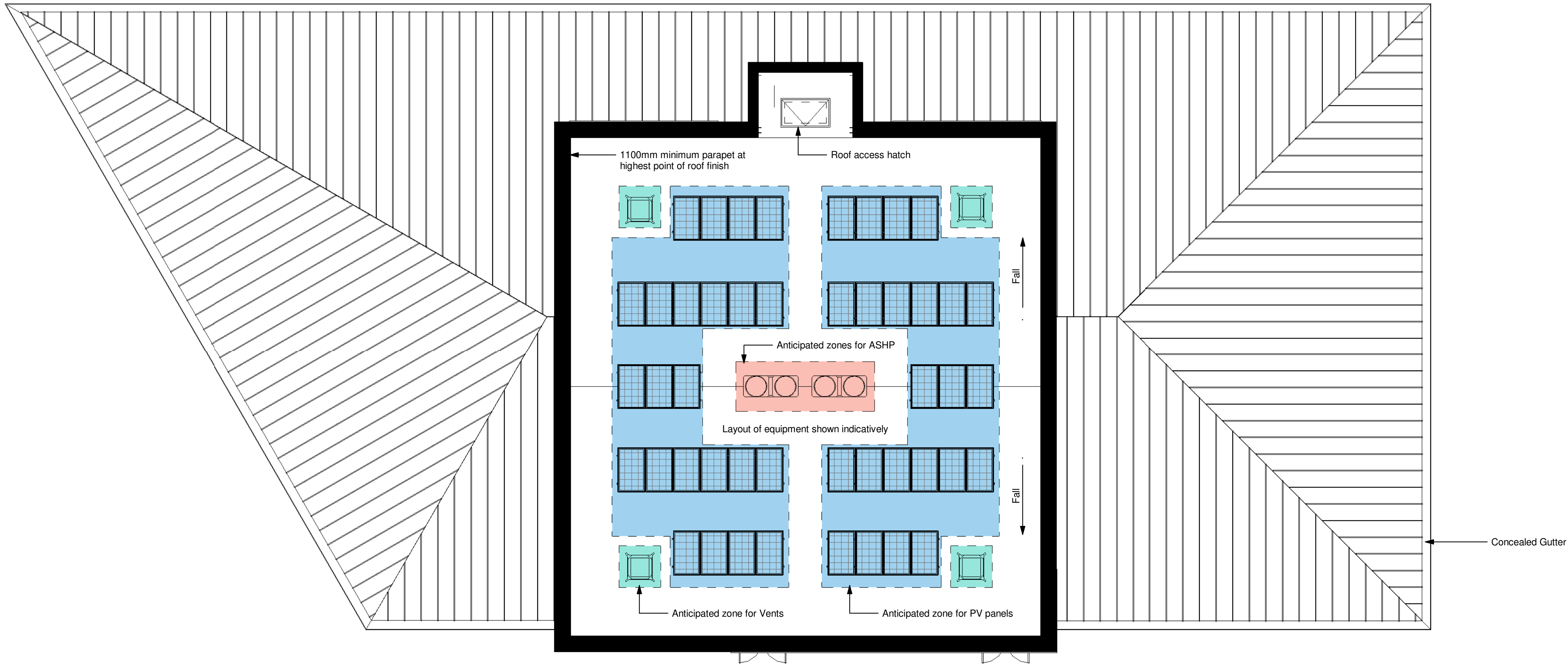
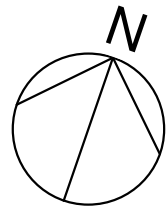
Vision, form and function

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

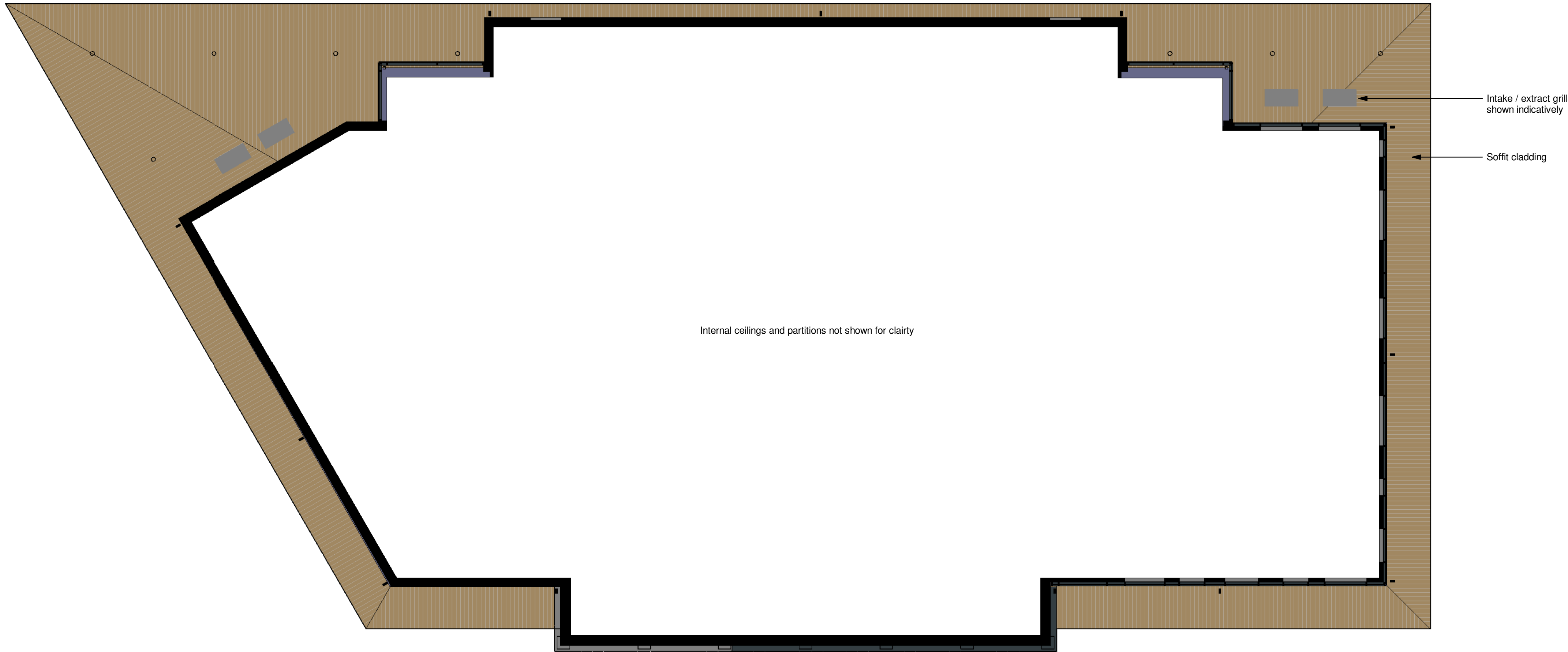
Client:
Big Sky Developments

Title:
GA Plans - Ground & Half Landing

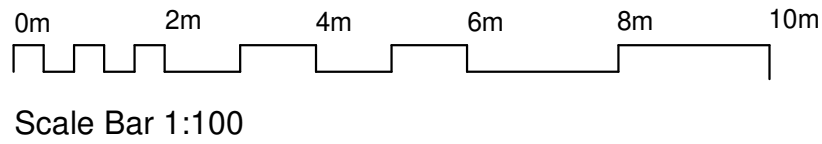
Drawing Number:	305036-IW-SP-XX-DR-A-1010
Status:	S2
Purpose of Issue:	Planning
Revision:	P1



GA Plan - Roof
1 : 100



Soffit Plan
1 : 100



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P1	Planning Submission	26.05.22	BR	AH
Rev	Comment	Date	CHK	App
Project No:	305036	Scale @ A1:	1 : 100	Drawn By: BMR

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Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

Client:
Big Sky Developments

Title:
GA Plans - Roof & Soffit

Drawing Number: 305036-IW-SP-XX-DR-A-1011	
Status: S2	Purpose of Issue: Planning
Revision: P1	



Elevation 2 - a

1 : 100



Elevation 1 - a

1 : 100



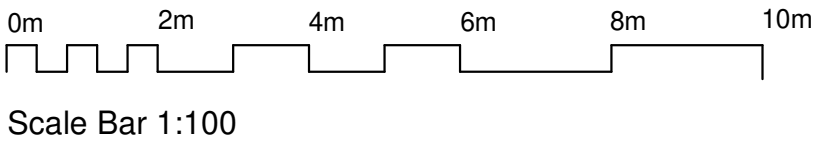
Elevation 3 - a

1 : 100



Elevation 4 - a

1 : 100



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Materials Schedule

Mat 1	Asphalt
Mat 2	Asphalt with Chippings
Mat 3	Tegular Permeable Paving - Colour 1
Mat 5	Tegular Permeable Paving - Colour 5
Mat 6	Granite Setts
Mat 7	Gravel
Mat 8	Gravel with Cellular Containment
Mat 11	Facing Bricks - Grey Brick Type 1
Mat 13	Brick detail - Buff Brick Type 1
Mat 20	Rainwater goods - Black UPVC
Mat 30	Composite cladding - Colour 1
Mat 31	Composite cladding - Colour 2
Mat 32	Profiled metal roof - Grey
Mat 33	Facias - Anthracite Grey RAL7016
Mat 34	Parapet capping Anthracite Grey RAL7016
Mat 35	Exposed columns - Grey RAL7034
Mat 36	Window frames Anthracite Grey RAL7016
Mat 37	Window blanks Anthracite Grey RAL7016
Mat 38	Window blanks - Cladding Colour 1
Mat 39	External solid doors Anthracite Grey RAL7016
Mat 40	External louvres Anthracite Grey RAL7016
Mat 41	External solid panels Anthracite Grey RAL7016
Mat 42	Curtain glazing frames Anthracite Grey RAL7016
Mat 43	External glazed doors Anthracite Grey RAL7016
Mat 44	Soffit Composite Panel - Timber Finish
Mat 45	Security Fence - Metal Palisade Green
Mat 46	Security Gate - Metal Palisade Green
Mat 96	Cycle stands
Mat 97	Notice board
Mat 98	Signage or feature to be agreed
Mat 99	External signage zone

P1	Planning Submission	26.05.22	BR	AH
Rev	Comment	Date	Cnk	Apr
Project No:	305036	Scale @ A1:	1 : 100	Drawn By:
				BMR



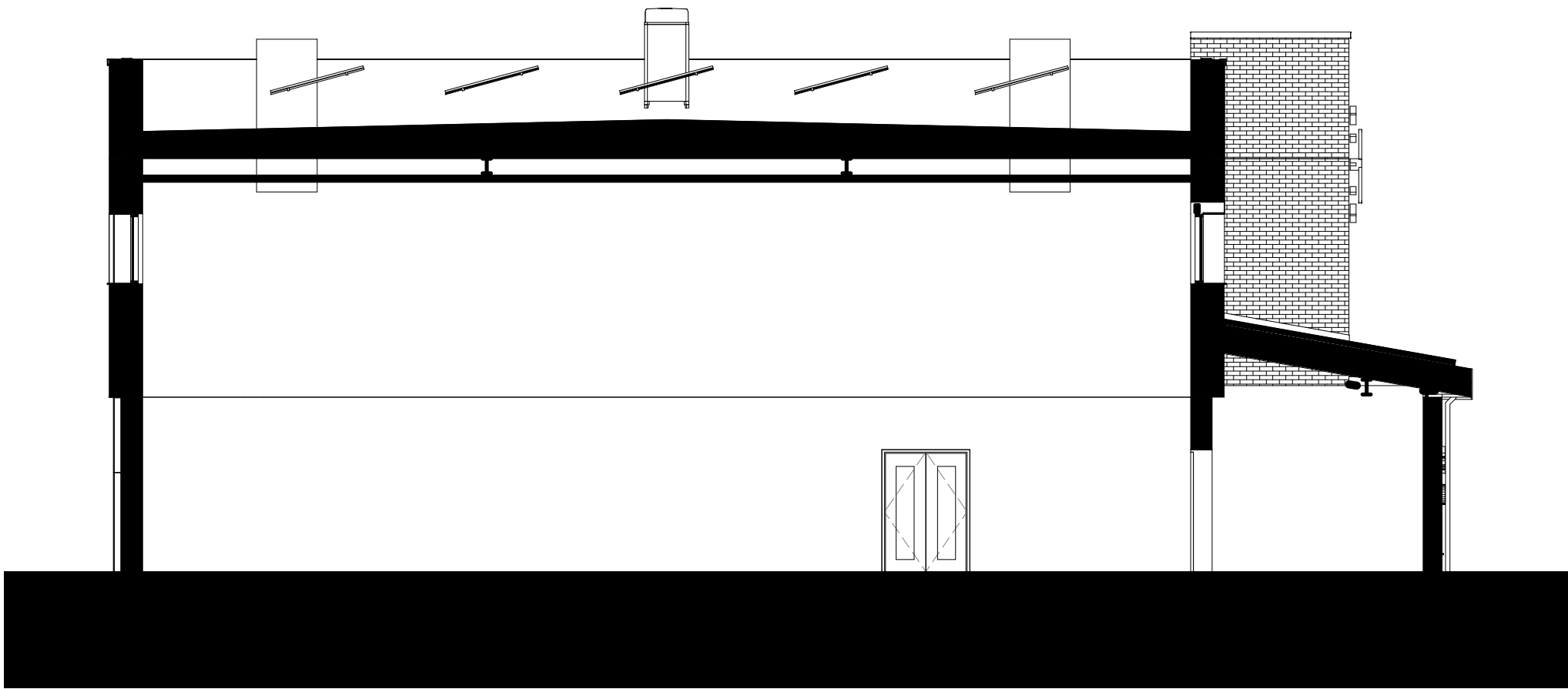
Vision, form and function

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

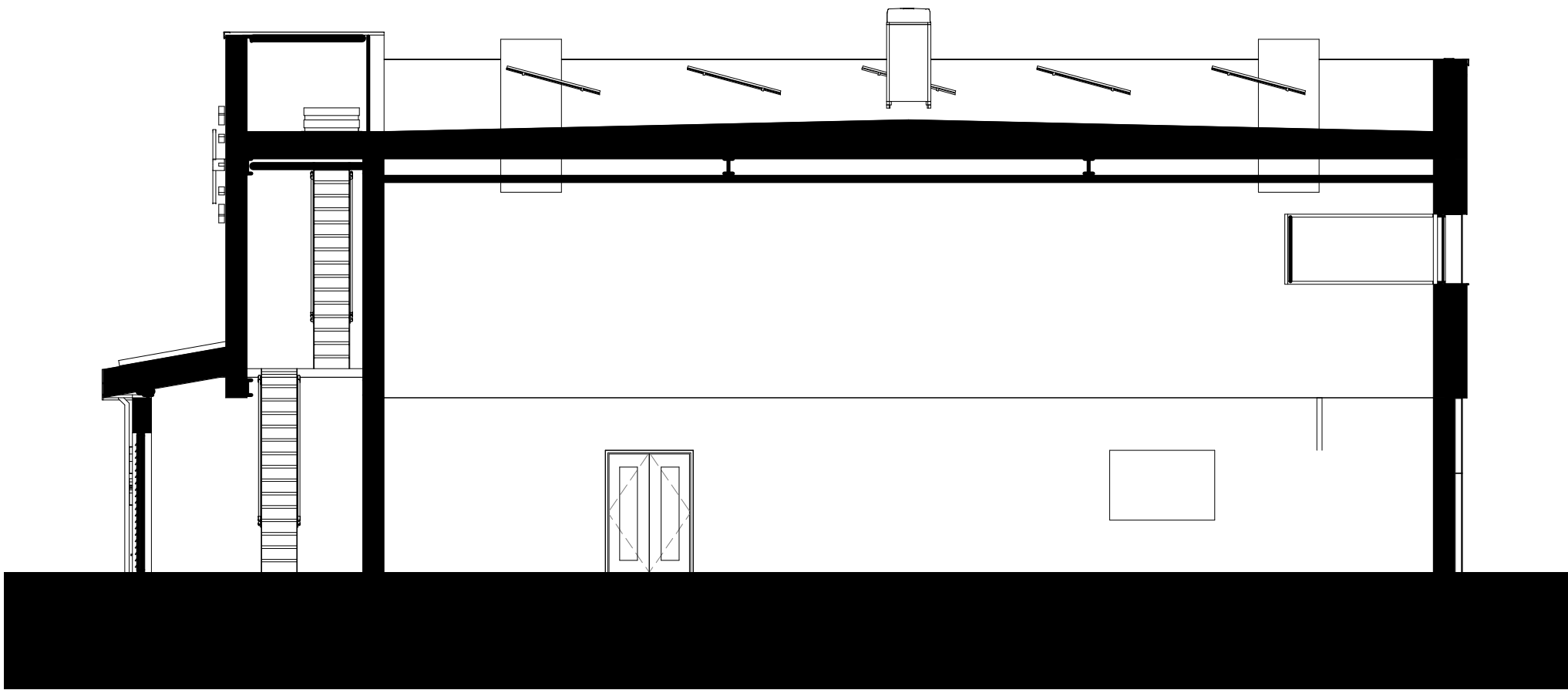
Client:
Big Sky Developments

Title:
GA Elevations

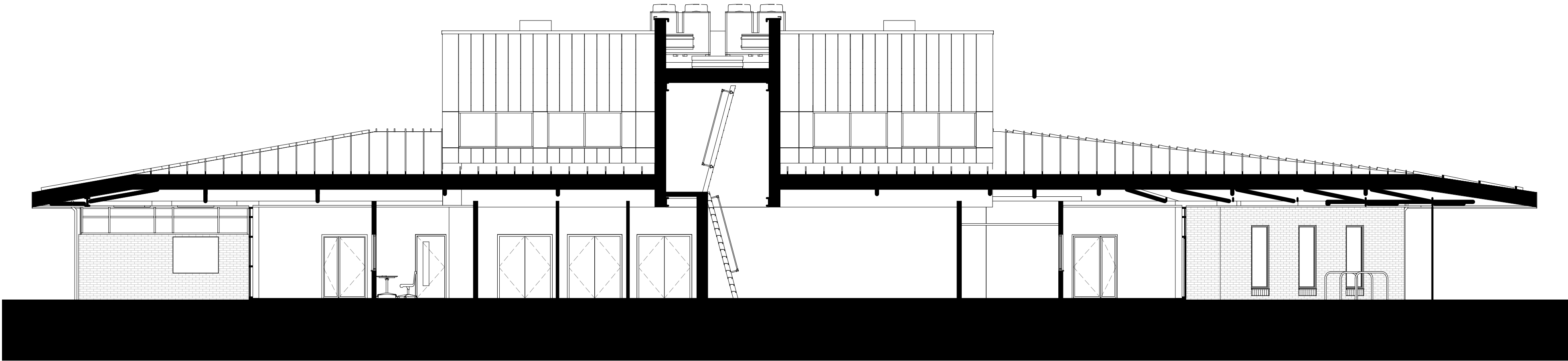
Drawing Number:		
305036-IW-SP-XX-DR-A-1020		
Status:	Purpose of Issue:	Revision:
S2	Planning	P1



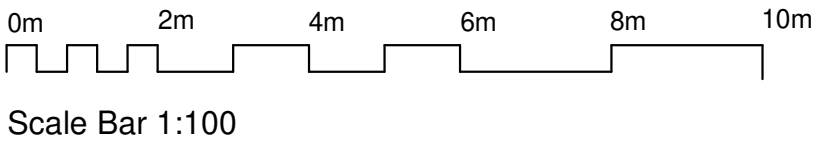
Typical Section - Sports Hall
1 : 100



Typical Section - Plant Stairs
1 : 100



Typical Section - Plantroom & Lobbies
1 : 100



P1	Planning Submission	26.05.22	BR	AH
Rev	Comment	Date	CHK	App
Project No:	305036	Scale @ A1:	1 : 100	Drawn By:
				BMR

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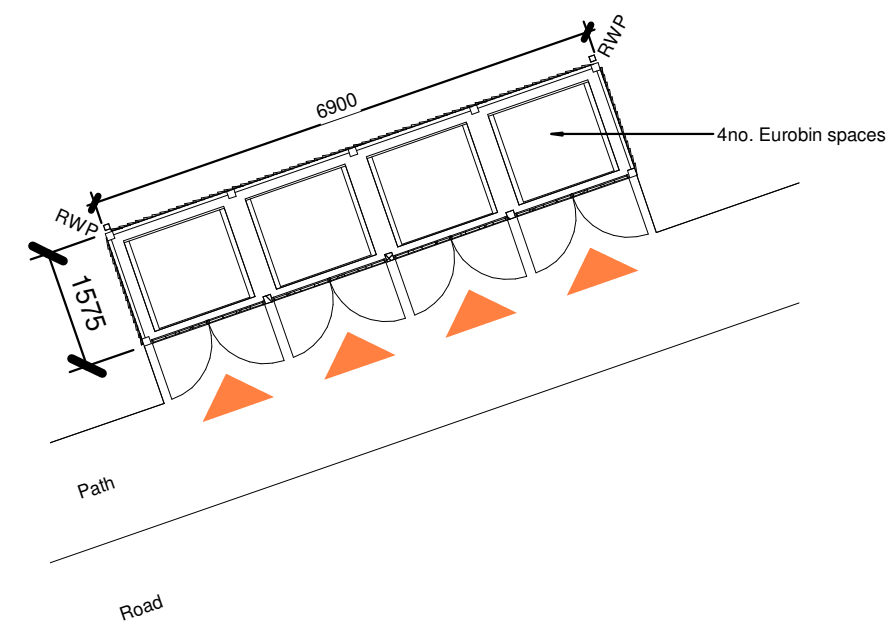
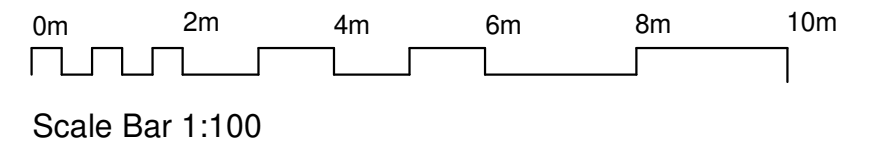
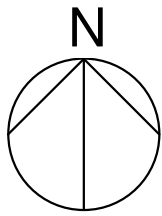
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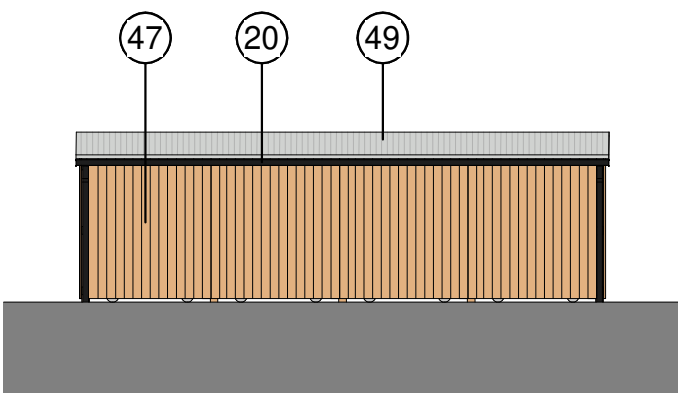
Vision, form and function		
Project:		
Sports Pavilion & Nursery		
St Giles Park		
Cringleford		
Norwich		
Client:		
Big Sky Developments		
Title:		
GA Sections		
Drawing Number:		
305036-IW-SP-XX-DR-A-1025		
Status:	Purpose of Issue:	Revision:
S2	Planning	P1



GA Plan - Bin Store

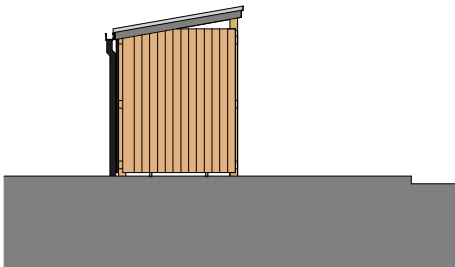
1 : 100

- Mat 20 Rainwater goods - Black UPVC
- Mat 47 Timber Clad Enclosure
- Mat 48 Timber Double Access Gates
- Mat 49 Corrugated sheet roof



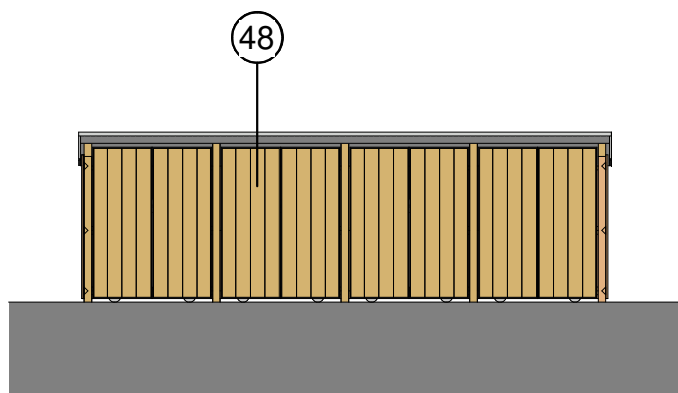
Elevation - North

1 : 100



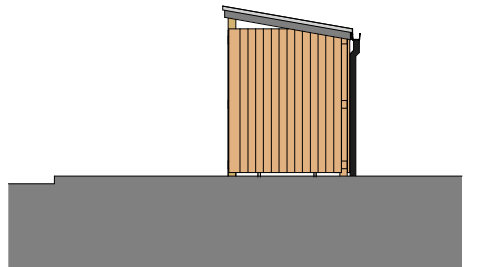
Elevation - West

1 : 100



Elevation - South

1 : 100



Elevation - East

1 : 100

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P1	Planning Submission	26.05.22	BR	A	
Rev	Comment	Date	Chk	Apr	
Project No: 305036		Scale @ A3: 1 : 100		Drawn By: BMR	

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

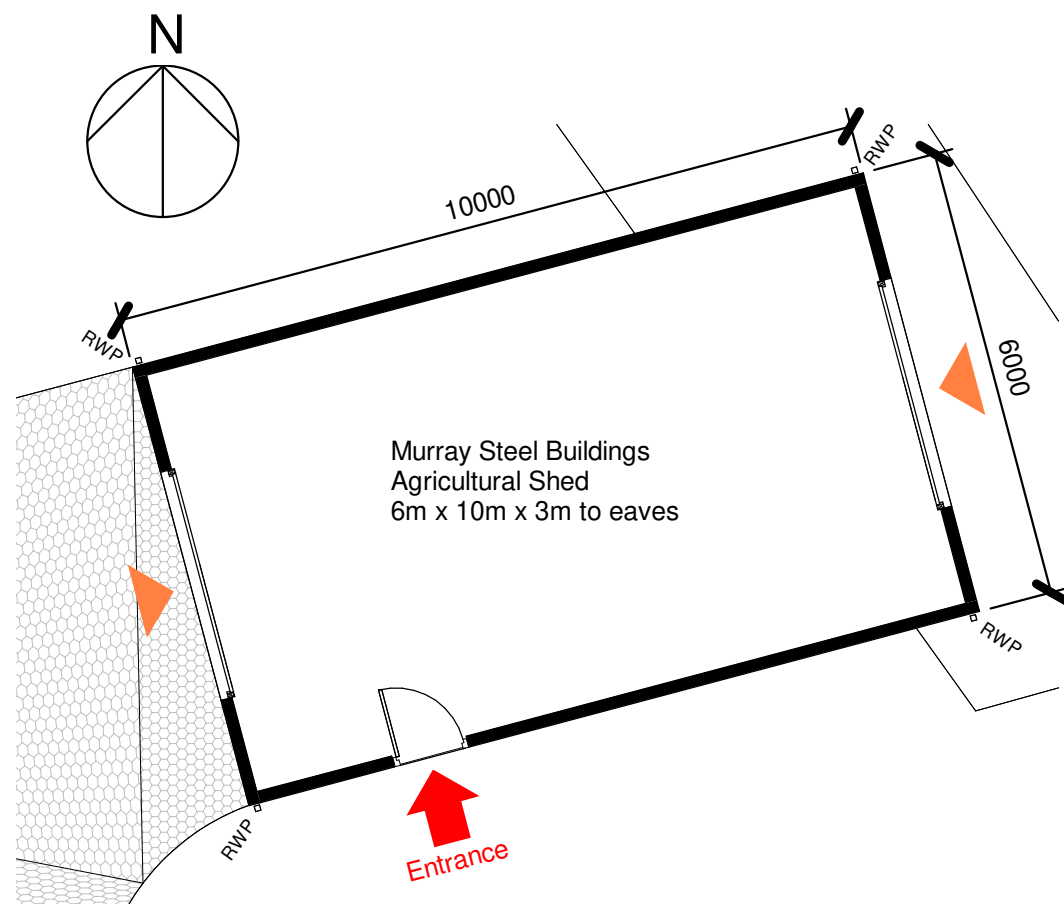
Client:
Big Sky Developments

Title: Bin Store Plan & Elevations		
Drawing Number: 305036-IW-SP-XX-DR-A-1050		
Status: S2	Purpose of Issue: Planning	Revision: P1



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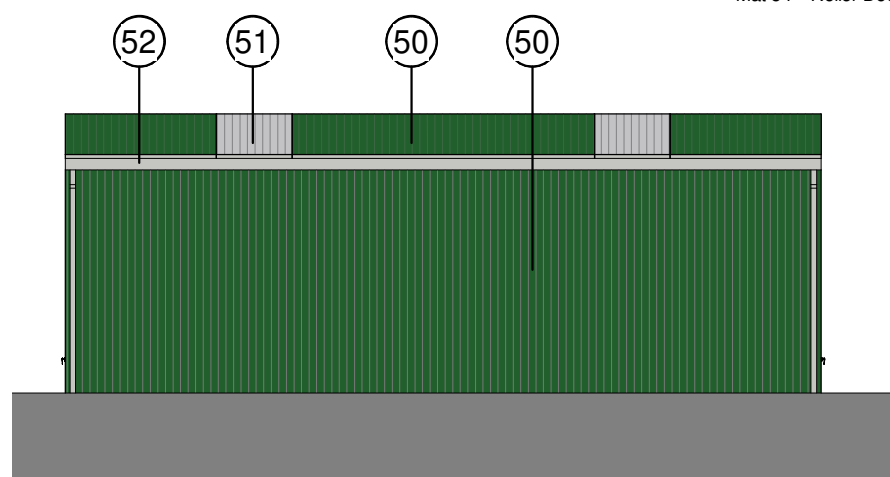
Vision, form and function



GA Plan - Groundsmans Store

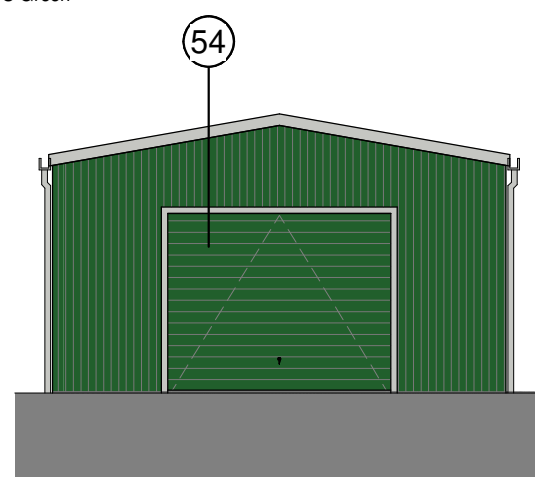
1 : 100

- Mat 50 Profiled Metal Cladding - PPC Green
- Mat 51 Profiled Plastic Cladding - Opaque Skylight
- Mat 52 Rain Water Goods - PPC
- Mat 53 Pass Door - PPC Grey
- Mat 54 Roller Door - PPC Green



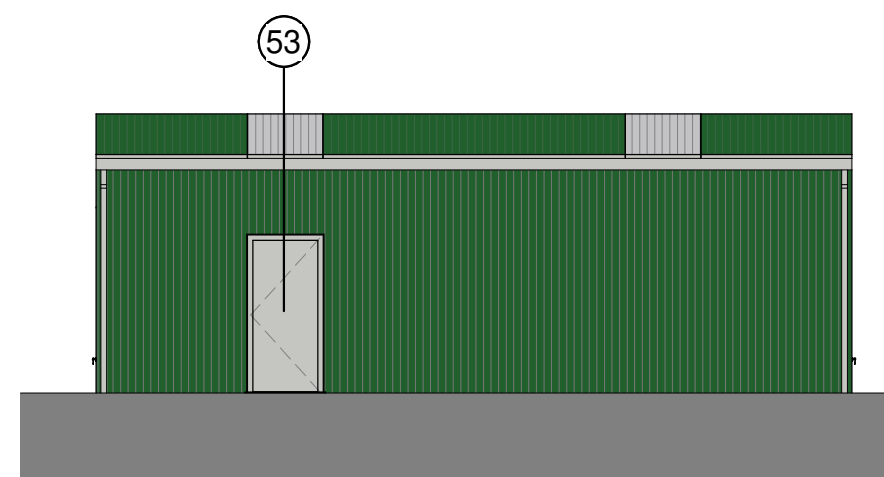
Elevation - North

1 : 100



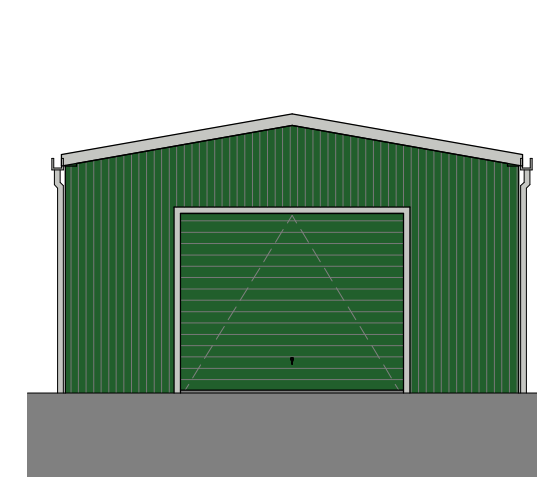
Elevation - West

1 : 100



Elevation - South

1 : 100



Elevation - East

1 : 100

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Rev	Comment	Date	Chk	Apr
P1	Planning Submission	26.05.22	BR	A
Rev	Comment	Date	Chk	Apr
Project No:	305036	Scale @ A3:	1 : 100	Drawn By: BMR

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

Client:
Big Sky Developments

Title:
Groundsmans Store

Drawing Number:
305036-IW-SP-XX-DR-A-1055

Status: S2 Purpose of Issue: Planning

Revision: P1

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Vision, form and function



1. Asphalt
Road adoptable standard



2. Asphalt with Chippings
Footpaths



3. Tegular Permeable Paving
Tobermore - Hydropave Cedar 60mm
Parking bays



5. Tegular Permeable Paving
Tobermore - Hydropave Slate 60mm
Parking bays



6. Granite Setts
Silver Grey
Road transition strips



7. Gravel
Permeable surround to building



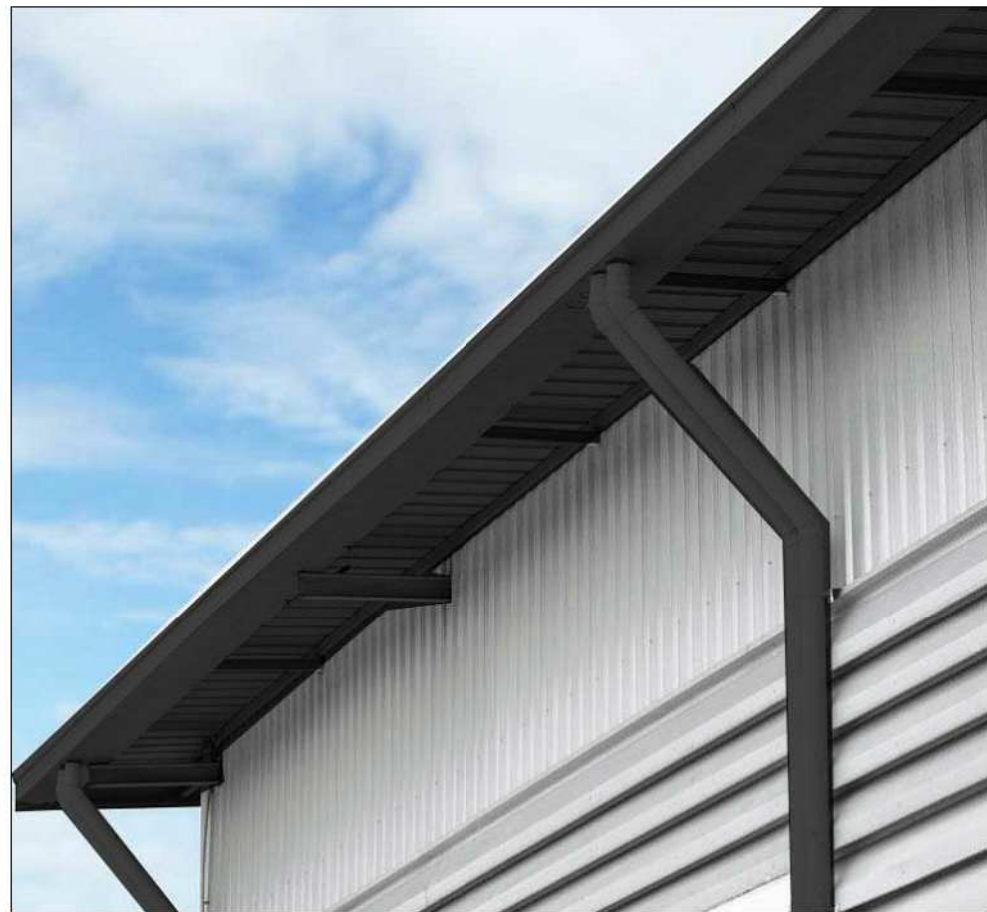
8. Gravel with Cellular Confinement
Groundsmans store access



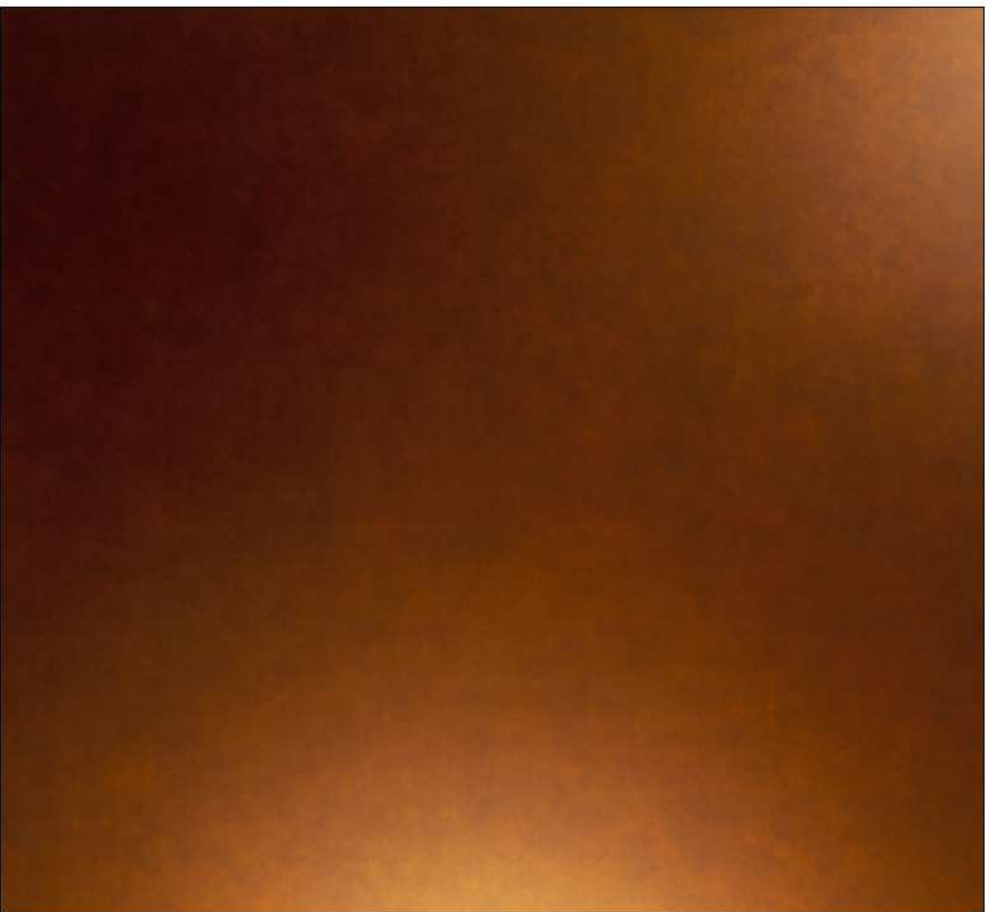
11. Facing Bricks - Grey Brick Type 1
Wienerberger - Pagus grey/black
with dark coloured mortar



13. Brick Detail - Buff Brick Type 1
Camtech - weather cream handmade
with dark coloured mortar



20. Rainwater Goods (Downpipes & fixings)
Black UPVC
(Does not include concealed gutters)



30. Composite Cladding - Colour 1
Rockpanel - Metals Dark Copper
(or similar approved)



31. Composite Cladding - Colour 2
Equitone - Tectiva Linen
(or similar approved)



32. Profiled Metal Roof - Grey
TBC



33. Facias
Composite Panel - Anthracite Grey RAL7016



34. Parapet Capping
Profiled Edge Trim - Anthracite Grey RAL7016

Materials Schedule

Mat 1	Asphalt
Mat 2	Asphalt with Chippings
Mat 3	Tegular Permeable Paving - Colour 1
Mat 5	Tegular Permeable Paving - Colour 5
Mat 6	Granite Setts
Mat 7	Gravel
Mat 8	Gravel with Cellular Containment
Mat 11	Facing Bricks - Grey Brick Type 1
Mat 13	Brick detail - Buff Brick Type 1
Mat 20	Rainwater goods - Black UPVC
Mat 30	Composite cladding - Colour 1
Mat 31	Composite cladding - Colour 2
Mat 32	Profiled metal roof - Grey
Mat 33	Facias - Anthracite Grey RAL7016
Mat 34	Parapet capping Anthracite Grey RAL7016
Mat 35	Exposed columns - Grey RAL7034
Mat 36	Window frames Anthracite Grey RAL7016
Mat 37	Window blanks Anthracite Grey RAL7016
Mat 38	Window blanks - Cladding Colour 1
Mat 39	External solid doors Anthracite Grey RAL7016
Mat 40	External louvres Anthracite Grey RAL7016
Mat 41	External solid panels Anthracite Grey RAL7016
Mat 42	Curtain glazing frames Anthracite Grey RAL7016
Mat 43	External glazed doors Anthracite Grey RAL7016
Mat 44	Soffit Composite Panel - Timber Finish
Mat 45	Security Fence - Metal Palisade Green
Mat 46	Security Gate - Metal Palisade Green
Mat 96	Cycle stands
Mat 97	Notice board
Mat 98	Signage or feature to be agreed
Mat 99	External signage zone

P1	Planning Submission	26.05.22	BR	AH
Rev	Comment	Date	CHK	App
Project No:	305036	Scale @ A1:	As indicated	Drawn By: BMR

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35. Exposed Columns
CHS - PPC coated - Grey RAL7034



36. Window Frames
PPC coated frame - Anthracite Grey RAL7016



37. Window Blanks
Glass faced solid panel - Anthracite Grey RAL 7016



38. Window Blanks
Glass faced solid panel - Cladding Colour 1 (Mat 30)



39. External Solid Doors
PPC coated frame and panels - Anthracite Grey RAL7016



40. External Louvres
PPC coated frame - Anthracite Grey RAL7016



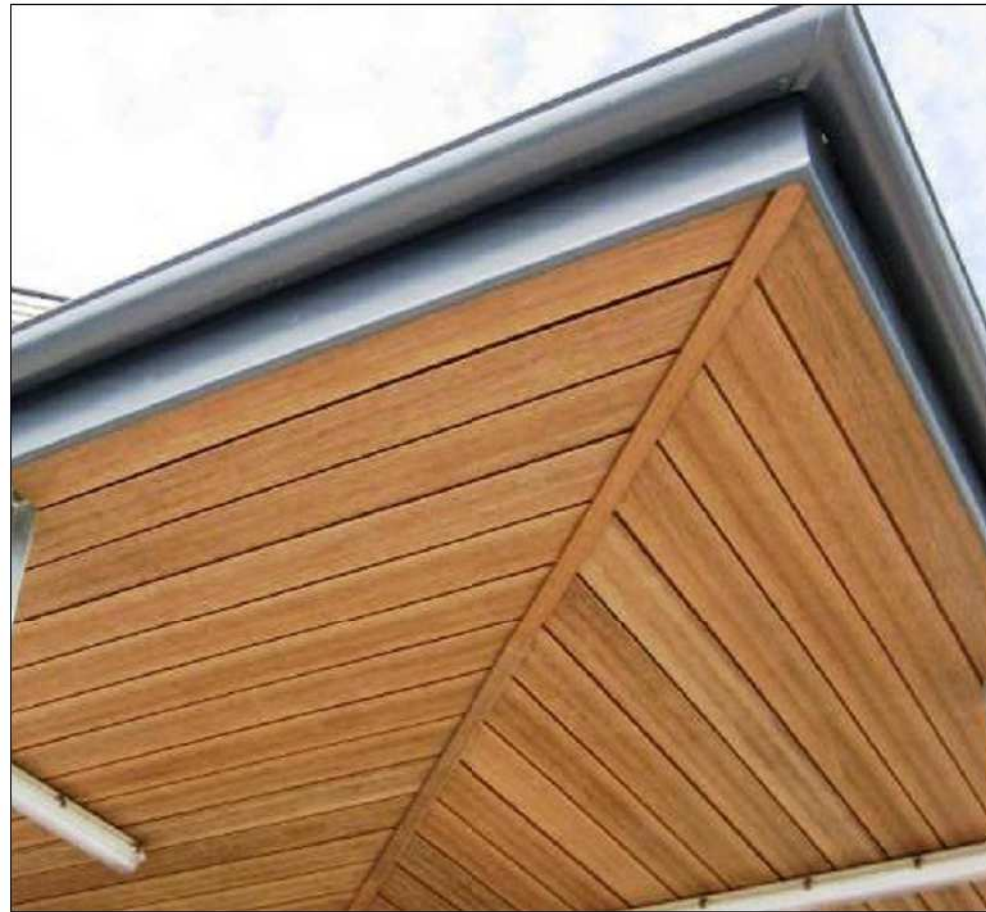
41. External Solid Panels
PPC coated frame - Anthracite Grey RAL7016



42. Curtain Glazing Frames
PPC coated frame - Anthracite Grey RAL7016



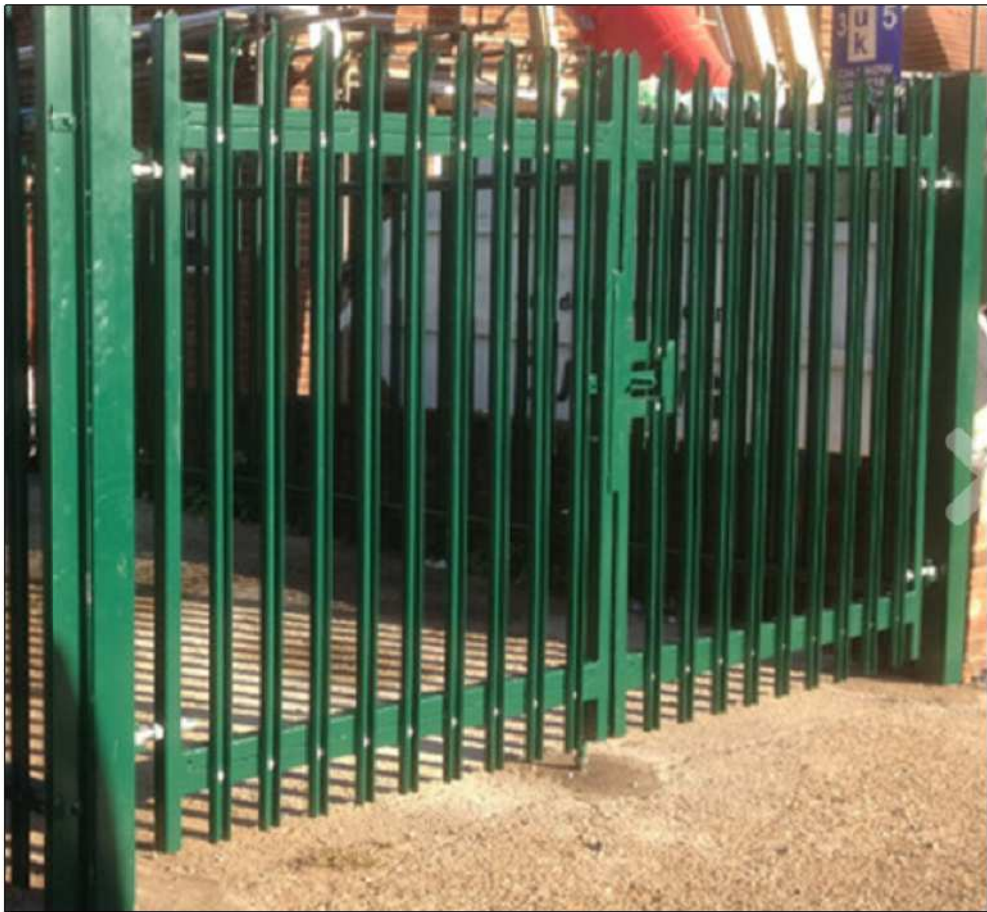
43. External Glazed Doors
PPC coated frame - Anthracite Grey RAL7016



44. Soffit
Composite Panels - Timber finish



45. Security Fence
Metal Palisade PPC coated - Green



46. Security Gate
Metal Palisade PPC coated - Green

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All dimensions are to be checked and verified on-site by the Main Contractor prior to commencement; any discrepancies are to be reported to the Contract Administrator.

This drawing is to be read in conjunction with all other relevant drawings and specifications.

Do Not Scale © Ingleton Wood LLP

Materials Schedule

Mat 1	Asphalt
Mat 2	Asphalt with Chippings
Mat 3	Tegular Permeable Paving - Colour 1
Mat 5	Tegular Permeable Paving - Colour 5
Mat 6	Granite Setts
Mat 7	Gravel
Mat 8	Gravel with Cellular Containment
Mat 11	Facing Bricks - Grey Brick Type 1
Mat 13	Brick detail - Buff Brick Type 1
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Vision, form and function

Project:
Sports Pavilion & Nursery
St Giles Park
Cringleford
Norwich

Client:
Big Sky Developments

Title:
Materials Schedule

Drawing Number:		
305036-IW-SP-XX-DR-A-1099		
Status:	Purpose of Issue:	Revision:
S2	Planning	P1