



**HIGH LEVEL (SECOND FLOOR) BALCONY BALUSTRADE**  
 CARRY OUT REMEDIAL WORKS TO BALUSTRADE PRIOR TO NEW SURFACE OVERLAY WORKS

**REPAINT TO PROVIDE MINIMUM 10 YEAR PROTECTION**

1- CLEAN AND REMOVE ALL DEFECTIVE COATINGS. TREAT ORGANIC GROWTH WITH FUNGICIDAL SOLUTION

2- SPOT PRIME WITH RUST INHIBITING METAL PRIMER/UNDERCOAT

3- APPLY COAT OF RUST INHIBITING METAL PRIMER/UNDERCOAT

4- APPLY 1 OR 2 COATS OF HIGH PERFORMANCE GLOSS FOR METAL

ALL WORKS TO BE CARRIED OUT AS PER MANUFACTURERS REQUIREMENTS

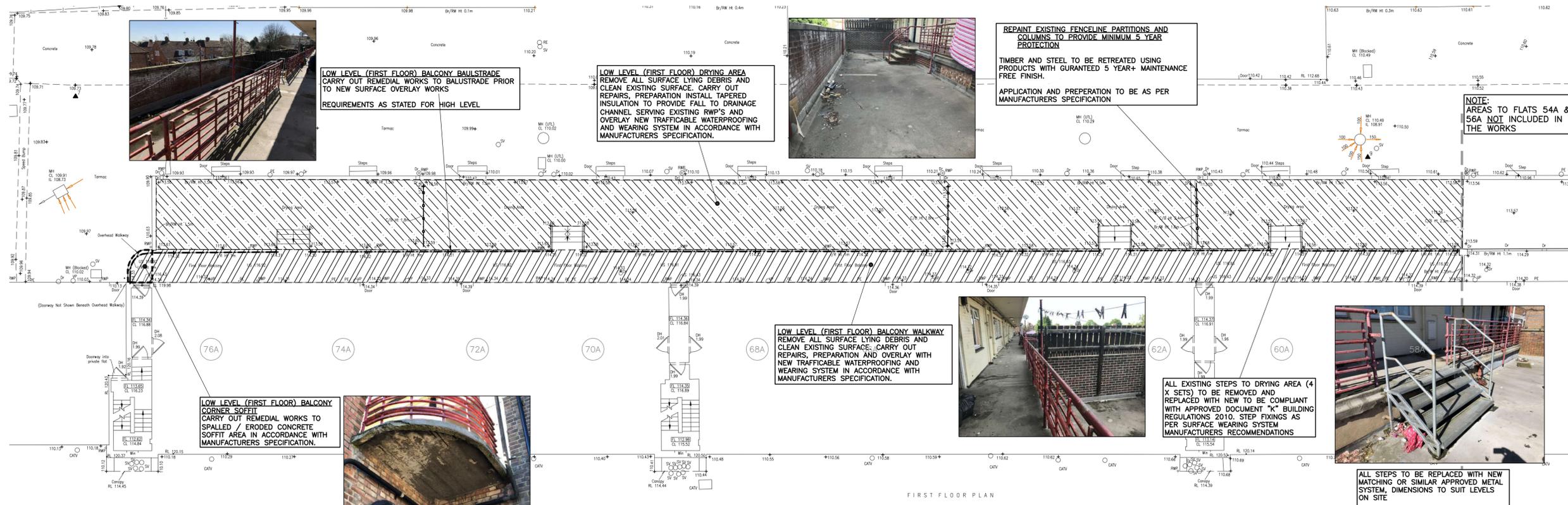
**NOTE:**  
 AREAS TO FLATS 54B & 56B NOT INCLUDED IN THE WORKS



ROCKINGHAM ROAD

**FLAT NUMBER 58 – 76**  
**HIGH LEVEL (SECOND FLOOR) BALCONY WALKWAY**  
 1:125

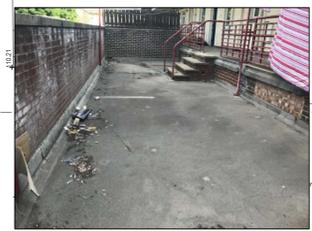
- Notes**
- IF IN DOUBT – ASK !!! DO NOT SCALE
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTS AND ENGINEERS DRAWINGS.
  - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT BRITISH STANDARDS, CODES OF PRACTICE AND BUILDING PRACTICE.
  - ALL DIMENSIONS TO BE CHECKED PRIOR TO STARTING THE WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
  - CONTRACTOR TO ASCERTAIN THE LOCATION OF SERVICES ON SITE PRIOR TO STARTING THE WORK.
  - ALL DIMENSIONS FOR CONSTRUCTION ARE TO BE OBTAINED FROM SITE MEASUREMENTS OR ARCHITECTS SETTING OUT DRAWINGS PRIOR TO MANUFACTURE/BUILDING.
- CDM 2015 DESIGNER NOTES**
- IN ADDITION TO THE HAZARDS, AND RISKS NORMALLY ASSOCIATED WITH THE TYPE OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING SIGNIFICANT RISKS AND INFORMATION.
- CONSTRUCTION:**
- INTERFACE WITH THE PUBLIC.
- FOR INFORMATION RELATING TO END USE, MAINTENANCE, DEMOLITION, SEE THE HEALTH AND SAFETY FILE.
- IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.
- KEY:**
- HIGH LEVEL (SECOND FLOOR) BALCONY WALKWAY OVERLAY WITH NEW TRAFFICABLE WATERPROOFING AND WEARING SYSTEM IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
  - LOW LEVEL (FIRST FLOOR) BALCONY WALKWAY OVERLAY WITH NEW TRAFFICABLE WATERPROOFING AND WEARING SYSTEM IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
  - LOW LEVEL (FIRST FLOOR) DRYING AREA OVERLAY WITH NEW TRAFFICABLE WATERPROOFING AND WEARING SYSTEM IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
  - STEEL BALUSTRADE CARR OUT REMEDIAL WORKS TO EXISTING BALUSTRADE PRIOR TO COMMENCING SURFACE OVERLAY WORKS
  - EXISTING FENCELINE PARTITION RETREAT TIMBER PANELS AND REPAIR METAL POSTS AS PER MANUFACTURERS SPECIFICATION
- GENERAL ITEMS:**  
 CONTRACTOR TO ALLOW SUM FOR REPAIR / REPLACING ISOLATED AREAS OF SPALLED BRICKWORK / RENDERING AS REQUIRED.



**LOW LEVEL (FIRST FLOOR) BALCONY BALUSTRADE**  
 CARRY OUT REMEDIAL WORKS TO BALUSTRADE PRIOR TO NEW SURFACE OVERLAY WORKS

REQUIREMENTS AS STATED FOR HIGH LEVEL

**LOW LEVEL (FIRST FLOOR) DRYING AREA**  
 REMOVE ALL SURFACE LYING DEBRIS AND CLEAN EXISTING SURFACE. CARRY OUT REPAIRS, PREPARATION AND OVERLAY WITH INSULATION TO PROVIDE FALL TO DRAINAGE CHANNEL SERVING EXISTING RWP'S AND OVERLAY NEW TRAFFICABLE WATERPROOFING AND WEARING SYSTEM IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.

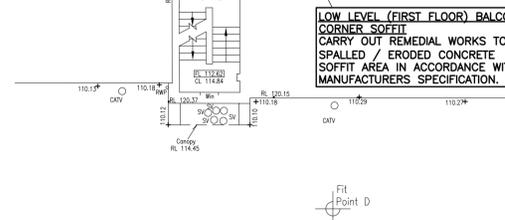


**REPAINT EXISTING FENCELINE PARTITIONS AND COLUMNS TO PROVIDE MINIMUM 5 YEAR PROTECTION**

TIMBER AND STEEL TO BE RETREATED USING PRODUCTS WITH GUARANTEED 5 YEAR+ MAINTENANCE FREE FINISH.

APPLICATION AND PREPARATION TO BE AS PER MANUFACTURERS SPECIFICATION

**NOTE:**  
 AREAS TO FLATS 54A & 56A NOT INCLUDED IN THE WORKS



**LOW LEVEL (FIRST FLOOR) BALCONY CORNER SOFFIT**  
 CARRY OUT REMEDIAL WORKS TO SPALLED / ERODED CONCRETE SOFFIT AREA IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.

**LOW LEVEL (FIRST FLOOR) BALCONY WALKWAY**  
 REMOVE ALL SURFACE LYING DEBRIS AND CLEAN EXISTING SURFACE. CARRY OUT REPAIRS, PREPARATION AND OVERLAY WITH NEW TRAFFICABLE WATERPROOFING AND WEARING SYSTEM IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.



**ALL EXISTING STEPS TO DRYING AREA (4 X SETS) TO BE REMOVED AND REPLACED WITH NEW TO BE COMPLIANT WITH APPROVED DOCUMENT 'K' BUILDING REGULATIONS 2010. STEP FIXINGS AS PER SURFACE WEARING SYSTEM MANUFACTURERS RECOMMENDATIONS**



**ALL STEPS TO BE REPLACED WITH NEW MATCHING OR SIMILAR APPROVED METAL SYSTEM, DIMENSIONS TO SUIT LEVELS ON SITE**

ROCKINGHAM ROAD

**FLAT NUMBER 58 – 76**  
**LOW LEVEL (FIRST FLOOR) BALCONY WALKWAY + DRYING AREA**  
 1:125

**NOTE:**  
 ALL WORKS TO BE UNDERTAKEN IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATION

|  |             |                |                    |
|--|-------------|----------------|--------------------|
| T1   | FIRST ISSUE | JC             | 20.08.18           |
| ISSUE  | REVISION    | BY             | DATE               |
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| <b>TENDER</b>  |             |                |                    |
| CLIENT<br><b>CORBY BOROUGH COUNCIL</b>   |             |                |                    |
| CONTRACT<br><b>ROCKINGHAM ROAD FLATS CORBY</b>   |             |                |                    |
| TITLE<br><b>BLOCK 1 FLATS 58 – 76 SURFACE REMEDIATION WORKS</b>  |             |                |                    |
| ARCHITECT  |             |                |                    |
| DRAWN<br>CS  | CH.KD<br>BT | DATE<br>AUG'18 | SCALE<br>1:125 @A1 |
| <b>David Smith Associates</b><br>Consulting Structural & Civil Engineers<br>8 Duncan Close<br>Moulton Park<br>Northampton NN3 6WL  |             |                |                    |
| DRAWING NUMBER   | 17          | 25575/50       | REVISION<br>T1     |