

External elevation of Kitchen enclosure

NOTES:

Do Not Scale.

Report all discrepancies, errors and omissions.

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Date Description

Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Kitchen External Elevation

Scale Drawn by 1:20 @ A3 AR Date Checked by 27.07.23 AR

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62 Burgate, Canterbury Kent CT1 2BH

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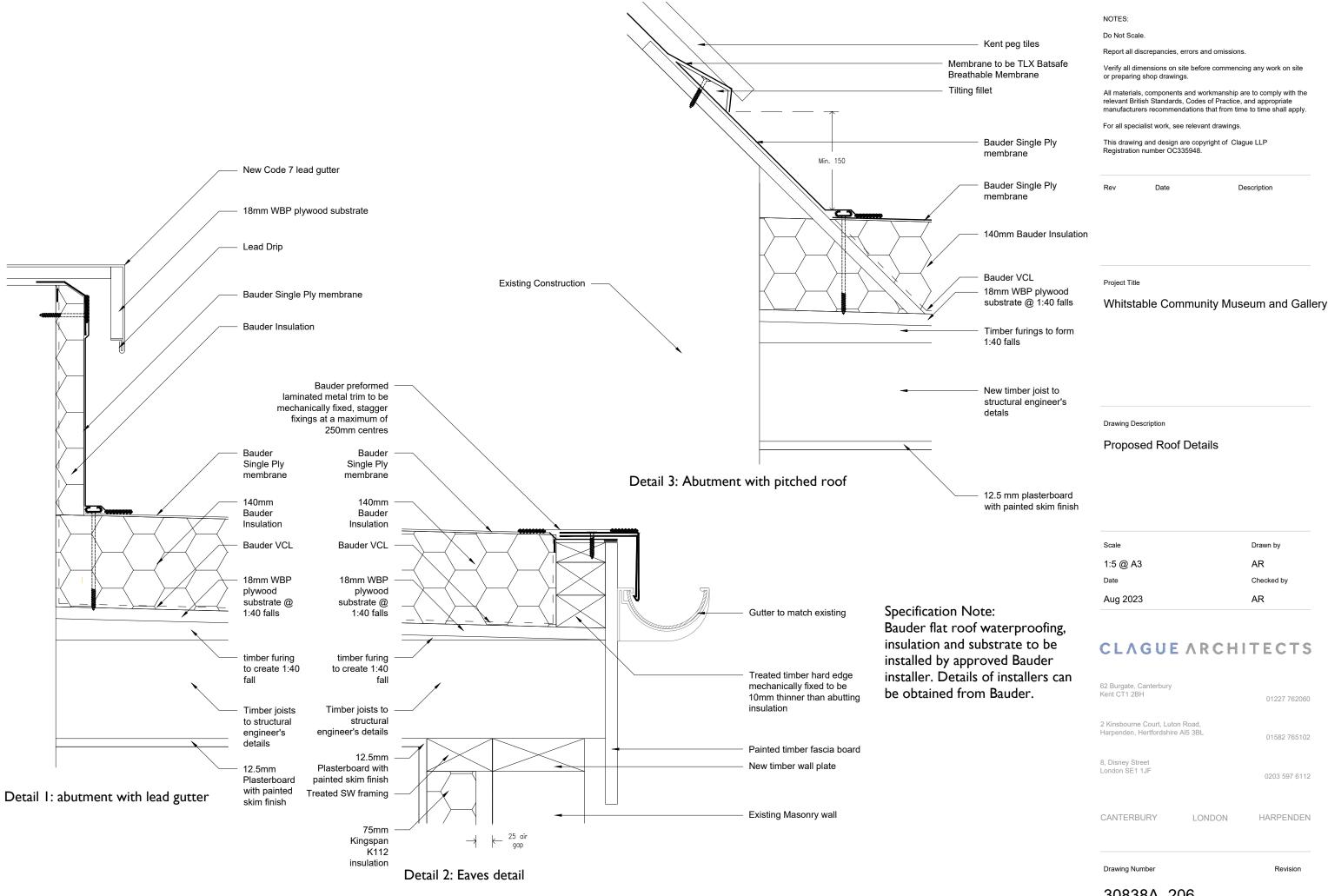
CANTERBURY

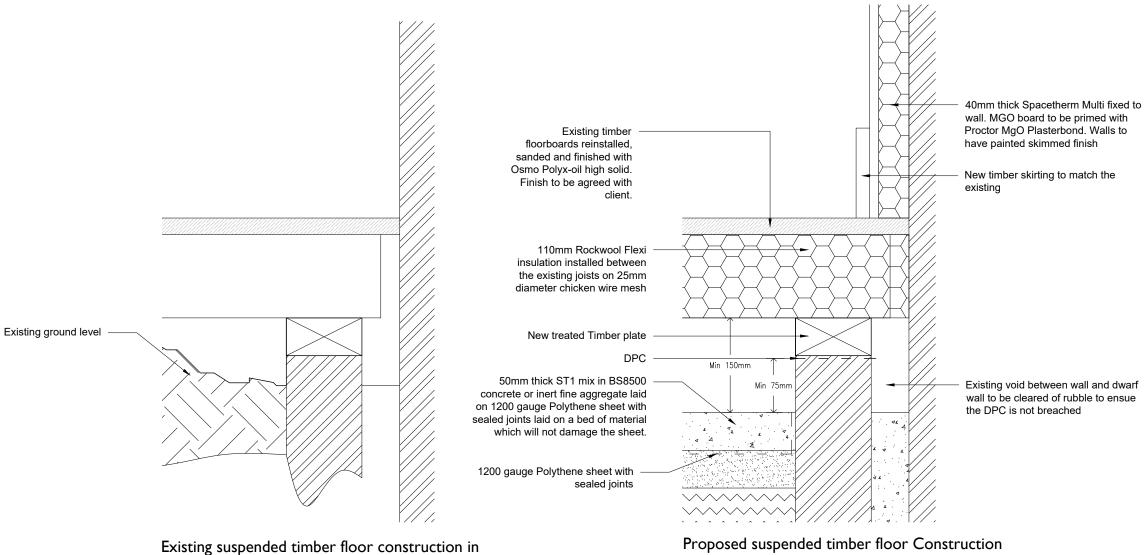
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HARPENDEN

Drawing Number

Revision





Peter Cushing Gallery

Proposed suspended timber floor Construction

in Peter Cushing Gallery

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Description

Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Floor Details

Drawn by 1:5 @ A3 AR Checked by Aug 2023 AR

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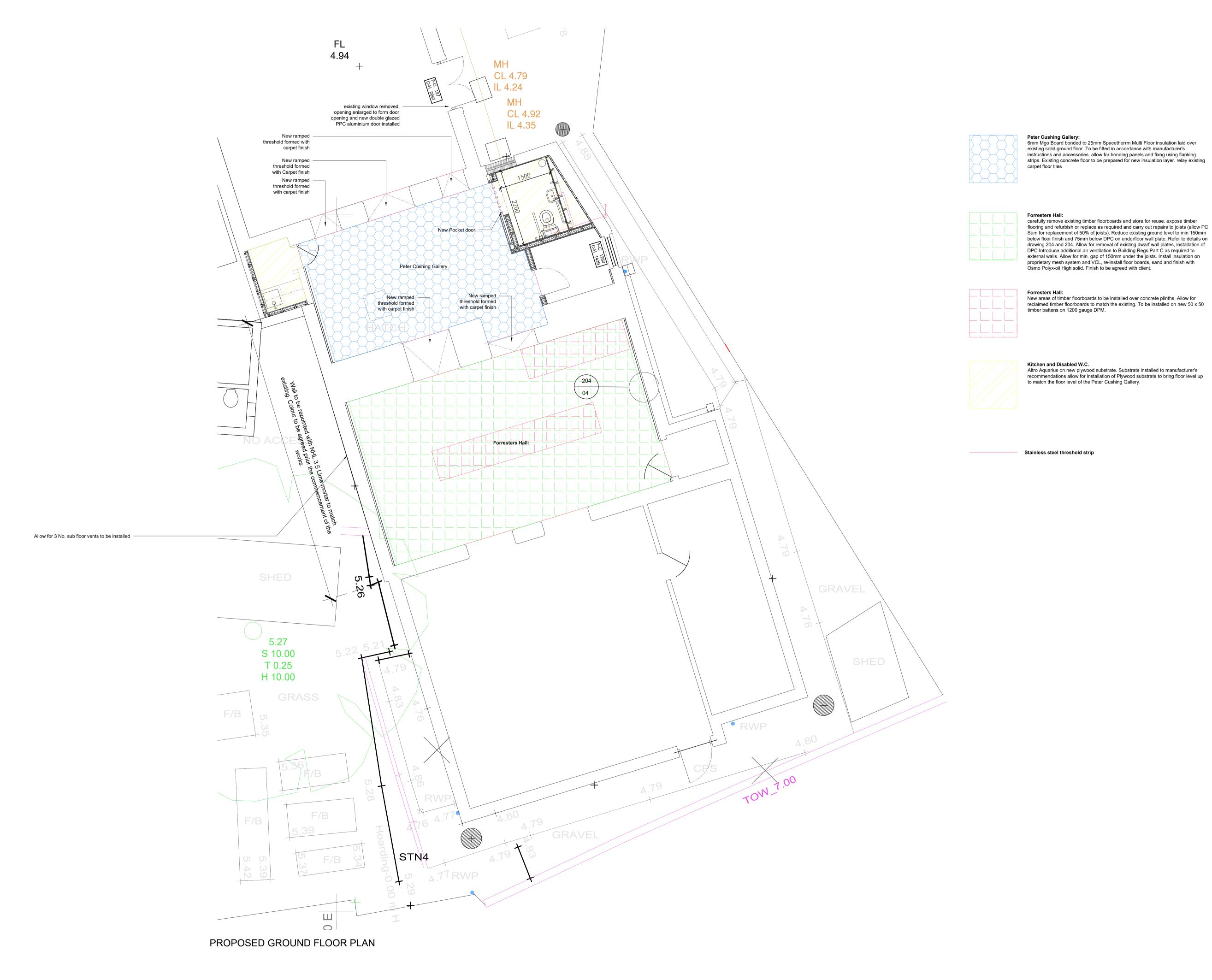
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HARPENDEN

Drawing Number

Revision



Whitstable Community Museum and Gallery

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Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Ground Floor Plan - Floor finishes

Drawn by 1:50 @ A1 AR Checked by 19.07.2023 AR

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62 Burgate, Canterbury Kent CT1 2BH 01227 762060 2 Kinsbourne Court, Luton Road, Harpenden, Hertfordshire Al5 3BL

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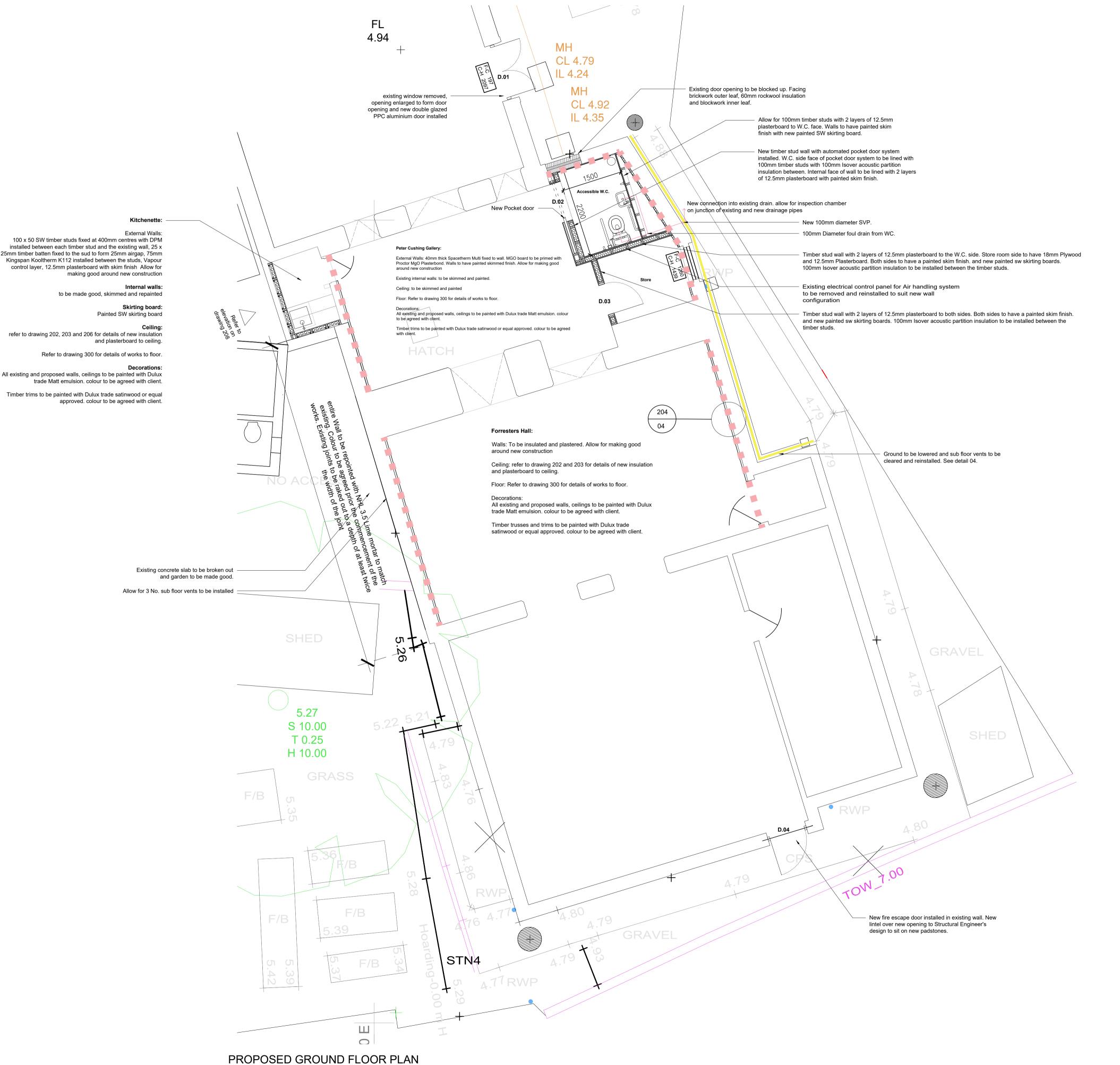
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CANTERBURY

LONDON HARPENDEN

01582 765102

Drawing Number



General Notes:

- General Not
 - The following notes apply except where otherwise indicated on drawings
 - Do not scale this drawing. All dimensions in mm unless otherwise noted. All dimensions to be checked on site. Architect to be notified of any discrepancies
 Any discrepancies, errors or ommissions are to be reported to the architect for further
 - instruction prior to the commencement of the works.
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 - All works, including materials and workmanship, are to comply with the recommendations and requirements of the relevant current Building Regulations, European Standards, British Standards, NHBC requirements and manufacturer's recommendations as appropriate and shall
 - Standards, NHBC requirements and manufacturer's recommendations as appropriate and s
 be in accordance with good practice.
 Construction will be carried out by personnel having the appropriate skill and experience.
 - Construction will be carried out by personnel naving the appropriate skill and experience.
 All dimensions stated are to internal wall structure, not internal wall finish.
 Materials specified must be used in accordance with manufacturers' recommendations and the
 - coshh regulations. if any hazardous materials are uncovered during demolition, appropriate safety precautions shall be taken and the architect shall be notified immediately.
 - All materials to be used strictly in accordance with manufacturer's instructions. alternative
 materials to be referred to architect for acceptance prior to construction.
 - Client to confirm items for retention and re-use prior to works being carried out.
 All alterations, adjustments and new gas installations are to be carried out by a gas safe

SANITARY WARE SPECIFICATION:

registered competent person.

Disabled W.C to have Ideal standard Doc M contour 21+ Close Coupled left hand corner pack (ref: S0683(AC)

KEY:

.

Existing walls to have existing finishes and stud work removed.

Wall to be lined with 40mm

SpaceTherm Multi. MGO board to be primed with Proctor MgO Plasterbond and to be skim finished. Walls to be painted with Dulux trade emulsion.

Colour to be agreed with client. Allow for new timber skirting to match the existing.

Extent of french drain. refer to detail 204

Door Schedule:

D.01

PPC aluminium framed door with glazed panels to match the existing adjacent door into the opposite courtyard. Door to be secured by either:

- A mortice dead lock conforming to or superior to BS3621 or
 a rim automatic deadlock conforming to or superior to BS3621 or
- 3) a key operated multi-point locking system having at least three locking bolts.

Internal flush bolts or mortised rack bolts fitted top and bottom on the first closing leaf.

Glazing to achieve a U-value of 1.6 W/m2K and to consist of 6/18/8.8 toughened/ sound laminated glass. Inner pane to be laminated glass.

D.02:

Door to be Portman flush door with primed finish. Door to be painted to match wall colour. Door to be an automatic sliding pocket door. Pocket door system and automation to be supplied by Portman doors

D.03

FD30S Plywood solid door blank with hardwood lipping with primed finish. Door to be painted to match the adjacent wall colour.

D.04

LPS1175 issue 7 SR4 steel security door to be installed (by HAG or equal approved). Colour to be agreed with client. Door to have 5 lever mortice deadlock with appropriate metal box striking plate. Allow for an electromagnetic lock that is linked to the fire alarm. the lock is to release if the fire alarm system is activated.

Project Title

NOTES:

Do Not Scale.

preparing shop drawings.

Registration number OC335948.

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relevant British Standards, Codes of Practice, and appropriate

Whitstable Community Museum and Gallery

Drawing Description

Proposed Ground Floor Plan

Scale Drawn by
1:50 @ A1 AR

Date Checked by
19.07.2023 AR

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HARPENDEN

30838A_200

Drawing Number

Existing lead tapered, stepped gutter to be renewed. Allow for installation of new WBP plywood substrate and new Code 7 lead. Lead to be installed in strict accordance with LSTA details and guidance Existing felt roof to be removed. Allow for installation of new timber furrings WBP plywood substrate Detail 1 and insulation. New Bauder single ply membrane installed. refer to carefully remove existing kent peg tiles and store for reuse. remove existing timber battens. 206 drawing 206 for details Install new treated timber battens and apply Detail 2 Specification Note: new bat safe breather membrane (TLX batsafe or similar) and re-install kent peg tiles. Bauder flat roof waterproofing, insulation and substrate to be Detail 3 installed by approved Bauder installer. Details of installers can be obtained from Bauder. Renew all lead flashings to roof valleys, junctions and to chimneys. Existing concrete haunching to chimney's to be removed. Renew all lead flashings to roof valleys, junctions and to chimneys. Existing concrete haunching to chimney's to be removed. Renew all lead flashings to roof valleys, junctions and to chimneys. Existing concrete haunching to chimney's to be removed. Existing smoke house to be demolished junctions and to chimneys. Existing concrete haunching to chimney's to be removed. carefully remove existing kent peg tiles and store for reuse. remove existing timber battens. Install new treated timber battens and apply new bat safe breather membrane (TLX batsafe or similar) and re-install kent peg tiles. Renew all lead flashings to roof valleys, junctions and to chimneys. Existing concrete haunching to chimney's to be removed. PROPOSED ROOF PLAN

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Description

Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Roof Plan

Drawn by 1:50 @ A1 AR Checked by

CLAGUEARCHITECTS

AR

62 Burgate, Canterbury

19.07.2023

Kent CT1 2BH 01227 762060 2 Kinsbourne Court, Luton Road,

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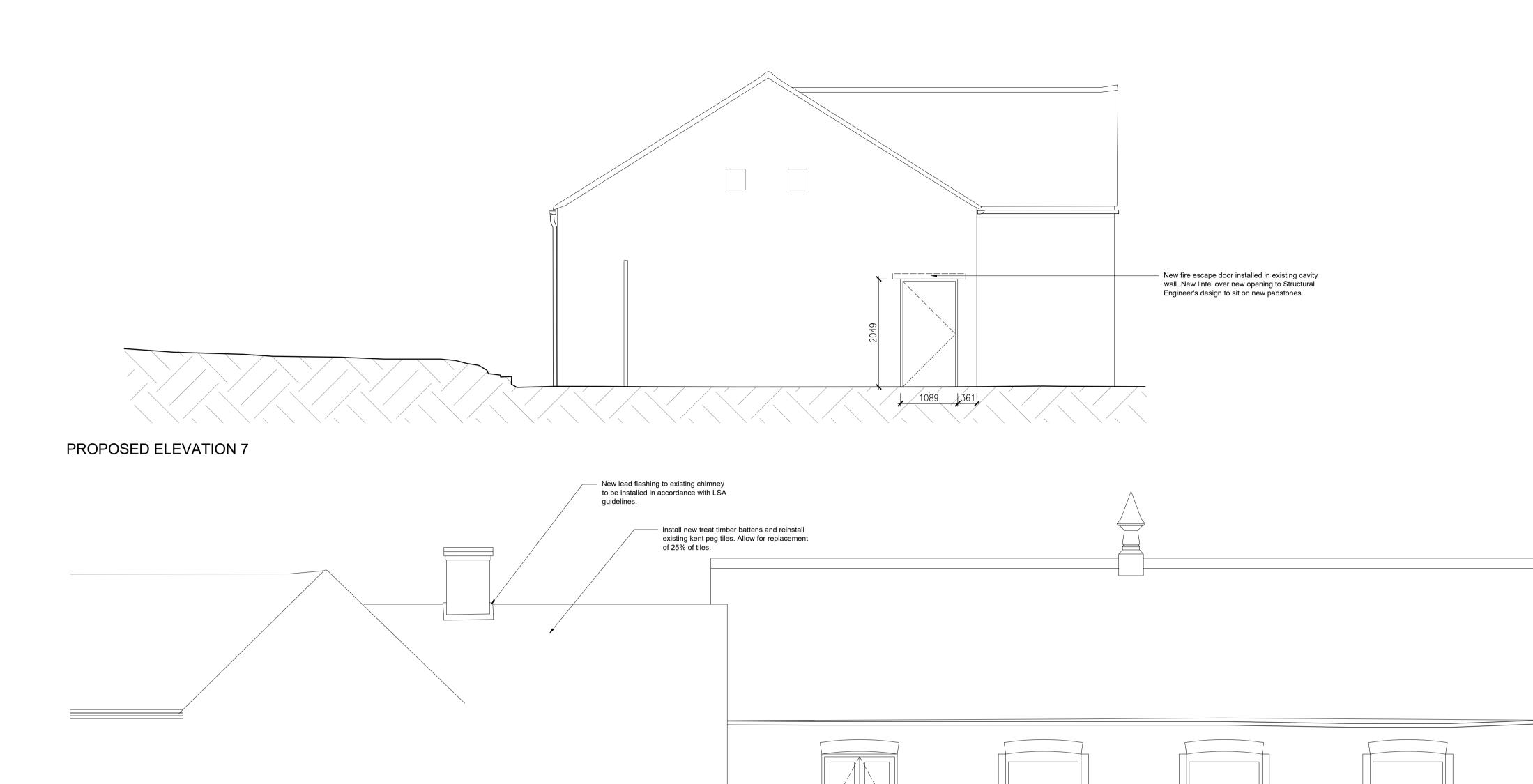
LONDON CANTERBURY

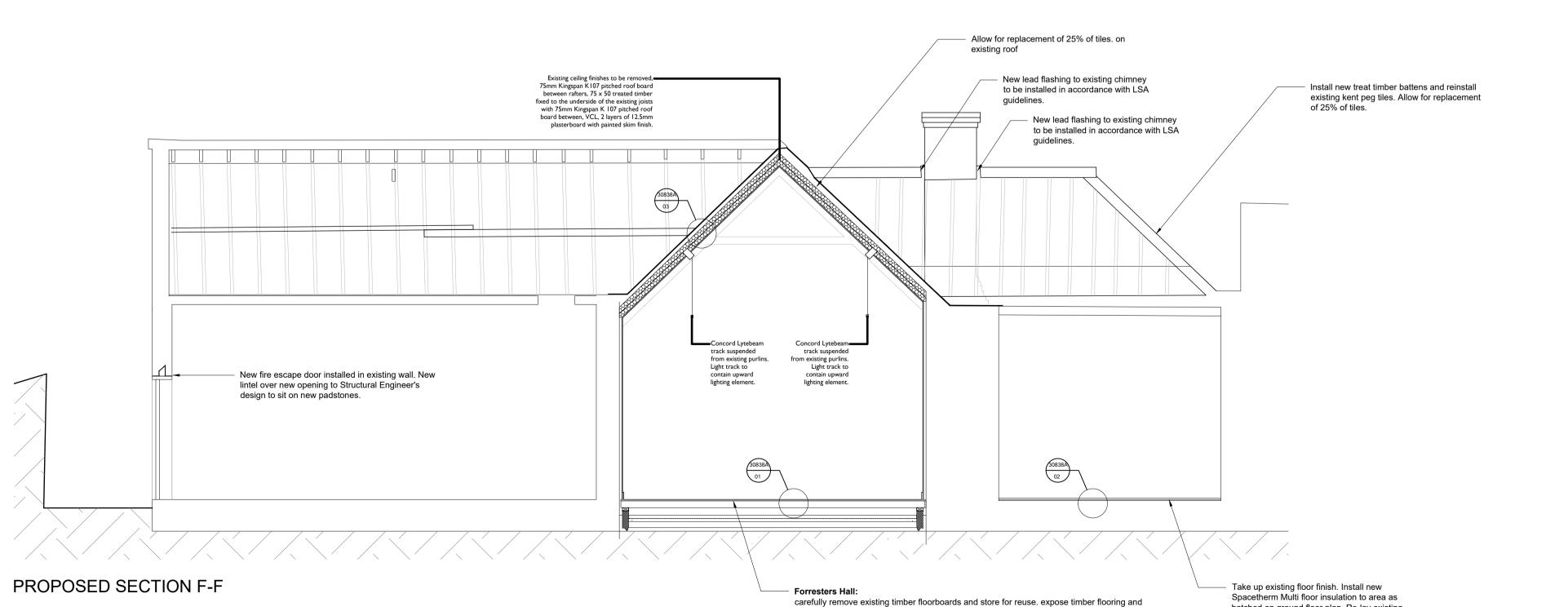
Harpenden, Hertfordshire Al5 3BL

Drawing Number

30838A_201

Whitstable Community Museum and Gallery





refurbish or replace as required and carry out repairs to joists (allow PC Sum for replacement of 50% of joists). Reduce existing ground level to min 150mm below floor

finish and 75mm below DPC on underfloor wall plate Refer to detail 02 on drawing 203.

Allow for removal of existing dwarf wall plates, installation of DPC Introduce additional air

floor boards, sand and finish with Osmo Polyx-oil High solid. Finish to be agreed with client.

ventilation to Building Regs Part C as required to external walls. Allow for min. gap of 150mm under the joists. Install insulation on proprietary mesh system and VCL, re-install

New double glazed PPC aluminium door -

PROPOSED ELEVATION 4

Whitstable Community Museum and Gallery

General Notes:

hatched on ground floor plan. Re-lay existing floor finish. Finished Floor level to increase by

approx. 40mm.

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- Client to confirm items for retention and re-use prior to works being carried
- All alterations, adjustments and new gas installations are to be carried out by a
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All materials to be used strictly in accordance with

Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Section and Elevation

Drawn by 1:50 @ A1 AR Checked by 19.07.2023 AR

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62 Burgate, Canterbury Kent CT1 2BH

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Drawing Number

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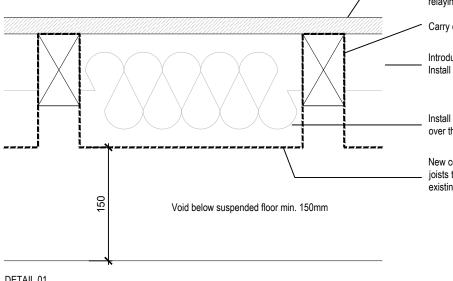
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30838A_202

Harpenden, Hertfordshire Al5 3BL

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Existing floorboards to be carefully lifted and set aside for relaying. To be refurbished or replaced. TBC on site.

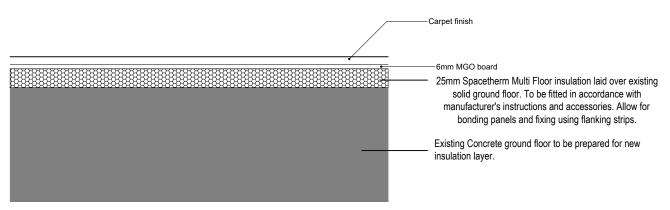
Carry out repairs to floor joists.

Introduce additional sub-floor ventilation to external walls. Install new air bricks.

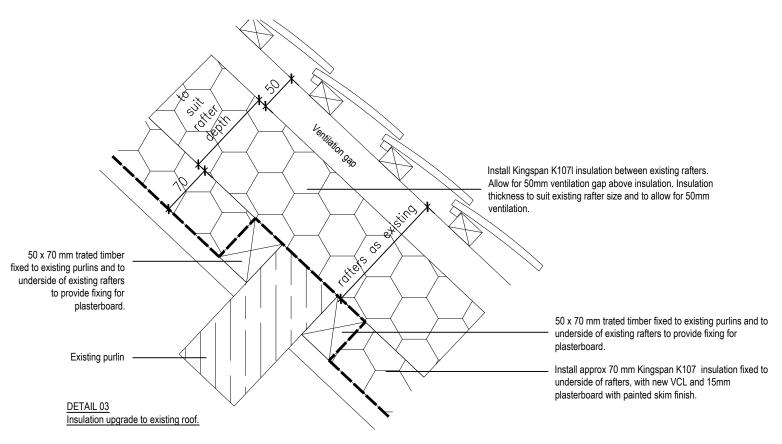
Install 150mm mineral wool tightly between existing joists,

New continuous support wire netting to be stapled to side of joists to provide support for new insulation. Netting to hang below existing depth of joists to allow for 150mm thick insulation.

Insulation upgrade to existing floor.



Insulation upgrade to existing floor.



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Description

Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Details

Scale Drawn by 1:5 @ A3 AR Date Checked by Aug 2023 AR

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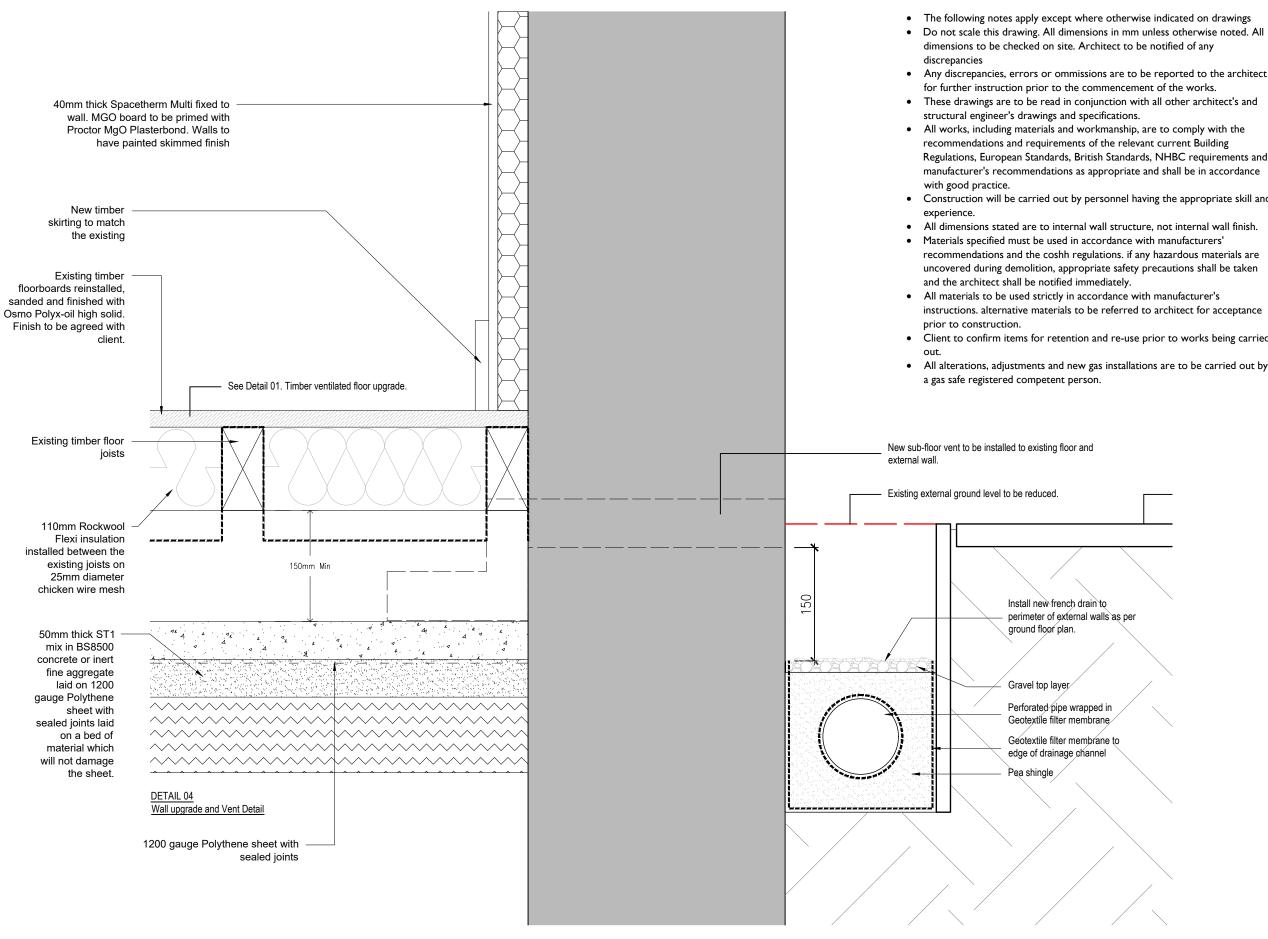
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Drawing Number

Revision

30838A 203



General Notes:

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Description

Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Details

Scale	Drawn by
1:5 @ A3	AR
Date	Checked by
Aug 2023	AR

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HARPENDEN

Drawing Number

Revision

30838A 204

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH:

All Architects and structural engineers drawings.
NBS Specification and in particular sections U90 for details of ventilation products and V90 for the electrical systems specification

Please note the requirements for Contractor Design and certification set out in the NBS specification.

- ELECTRICAL INSTALLATION TO BE CARRIED OUT BY A REGISTERED COMPETENT PERSON AND BS7671 ELECTRICAL INSTALLATION CERTIFICATE TO BE PROVIDED UPON THE COMPLETION OF THE INSTALLATION
- ALL CONDUIT ROUTES TO BE CONCEALLED. NO SURFACE MOUNTED CONDUITS WILL BE ACCEPTED
- FINAL POSITION OF ELECTRICAL FITTINGS TO BE AGREED WITH CLIENT PRIOR TO INSTALLATION.
- ELECTRICAL FITTINGS TO BE AGREED WITH THE CLIENT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS TO ALLOW FOR FUSED SPURS AS REQUIRED TO ENSURE COMPLIANCE WITH THE BUILDING REGULATIONS AND TO THE SAFE OPERATION AND MAINTENANCE OF ALL EXTRACT FANS, KITCHEN APPLIANCES, BOILERS ETC.

THE CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT A SURVEY OF THE EXISTING ELECTRICAL INFRASTRUCTURE IN THE AREA OF THE WORKS. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BS7671. THE EXISTING ELECTRIAL INSTALLATION SHOULD BE CHECKED TO ENSURE THAT THE FOLLWOING CONDITIONS ARE SATISFIED:

I) THE RATING AND CONDITION OF EXISTING EQUIPMENT BELONGING TO BOTH THE CONSUMER AND TO THE ELECTRICAL DISTRIBUTOR ARE SUITABLE FOR THE EQUIPMENT TO CARRY THE ADDITIONAL LOADS ARISING FROM THE NEW NETWORK

2) ADEQUATE PROTECTIVE MEASURES ARE USED

3) THE EARTHING AND EQUIPOTENTIAL BONDING ARANGEMENTS ARE SATISFACTORY.

Fire Alarm:

Existing fire alarm to be surveyed prior to the commencement of the works. When the works are complete and reinstated upon completion of the works. Reinstatement and commissioning of fire alarm to be completed by Client's provider.

Security Alarm:

Existing security alarm system to be surveyed prior to the commencement of the works. When the works are complete and reinstated upon completion of the works. Reinstatement and commissioning of security alarm system to be completed by Client's provider.

Internal lighting:

Energy efficient lighting is to be provided in areas affected by the building works.



Whitstable Comminity Museum and Gallery

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SERVICES KEY

13A Double Switched Socket

2 13A Double Switched Socket Above Worktop

Extractor Isolation Switch

 □IP

 Mains Voltage IP rated LED Downlighter

Lighting Track

1-Way Light Switch

Heat sensor and smoke detector

Mechanical Extract Fan/Vent

Low Energy Pendant

NOTE:

Layouts shown are to demonstrate design intent only. Contractor to ensure compliance with all relevant legislation when completing works.

Switch socket outlets above worktops subject to exact Kitchen Layouts. Concealed spurs for appliances to Clients requirements.

All penetrations through external fabric to be well sealed.

Fire Detection and Warning System to be designed in accordance with BS539-6:2019

Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Electrical Layout

Scale Drawn by
1:50 @ A1 AR

Date Checked by
19.07.2023 AR

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Drawing Number

Kitchenette:

External Walls internal insulation:

100 x 50 SW timber studs fixed at 400mm centres with DPM installed between each timber stud and the existing wall, 25 x 25mm timber batten fixed to the stud to form 25mm airgap, 75mm Kingspan Kooltherm K112 installed between the studs, Vapour control layer, 2 layers 12.5mm plasterboard with skim finish. allow for Plywood patress where kitchen cupboards are being installed. Allow for making good around new construction

Internal walls:

to be made good, skimmed and repainted

Skirting board:

Painted SW skirting board

Ceiling:

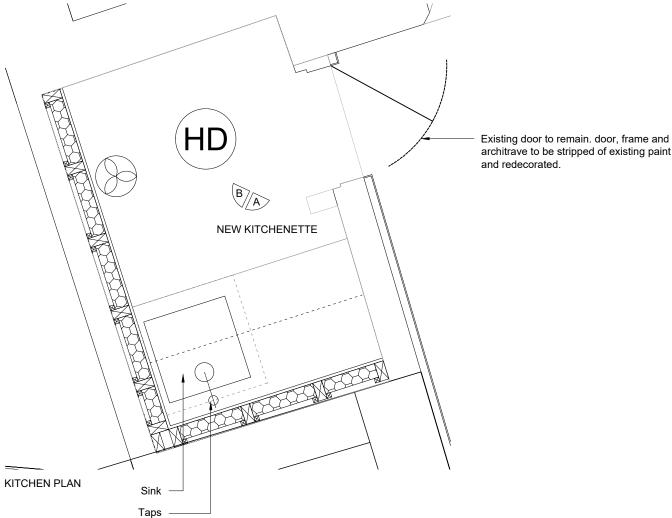
refer to drawing 202, 203, 206 for details of new roof construction

Refer to drawing 300 for details of works to floor.

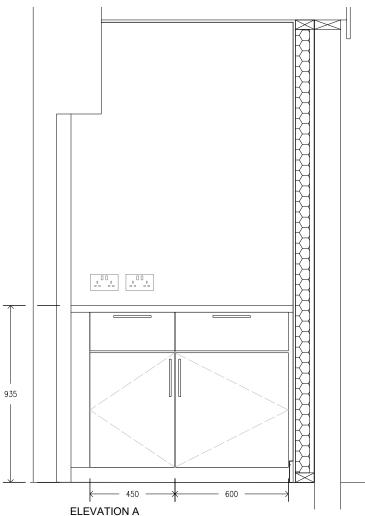
Decorations:

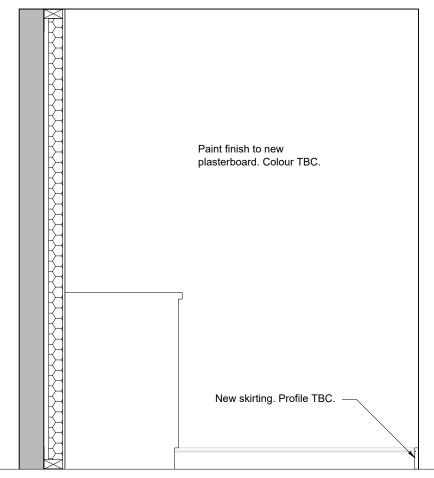
All existing and proposed walls, ceilings to be painted with Dulux trade Matt emulsion. colour to be agreed with client.

Timber trims to be painted with Dulux trade satinwood or equal approved. colour to be agreed with client.



ELEVATION B





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Description

Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Kitchen

Scale Drawn by 1:20 @ A3 AR Date Checked by 27.07.23 AR

CLAGUE ARCHITECTS

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Drawing Number

Revision

30838A 207