

External elevation of Kitchen enclosure

NOTES:

Do Not Scale.

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Project Title

Whitstable Community Museum
and Gallery

Drawing Description

Proposed Kitchen External Elevation

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| Scale | Drawn by |
| 1:20 @ A3 | AR |
| Date | Checked by |
| 27.07.23 | AR |

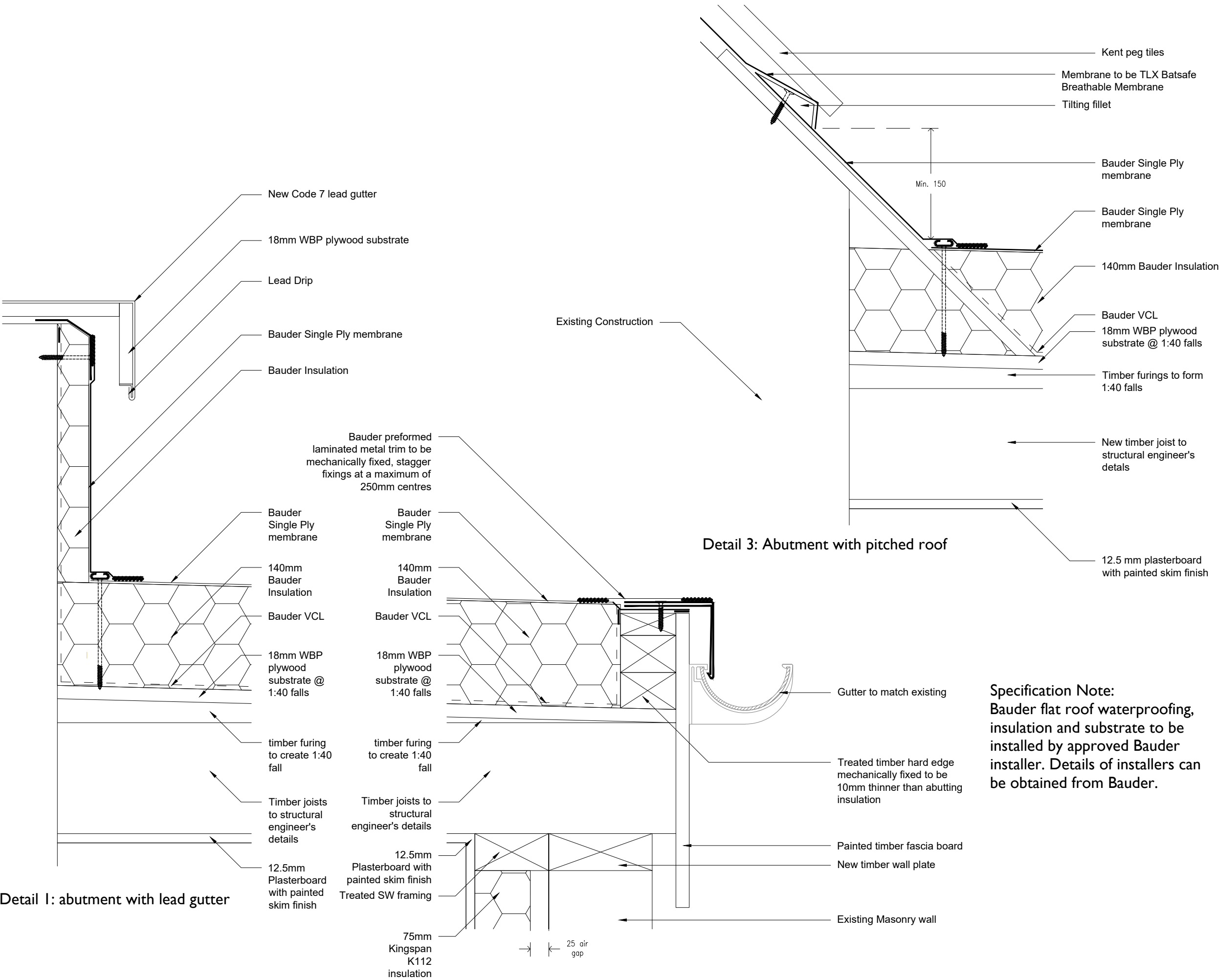
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30838A_208



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Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Roof Details

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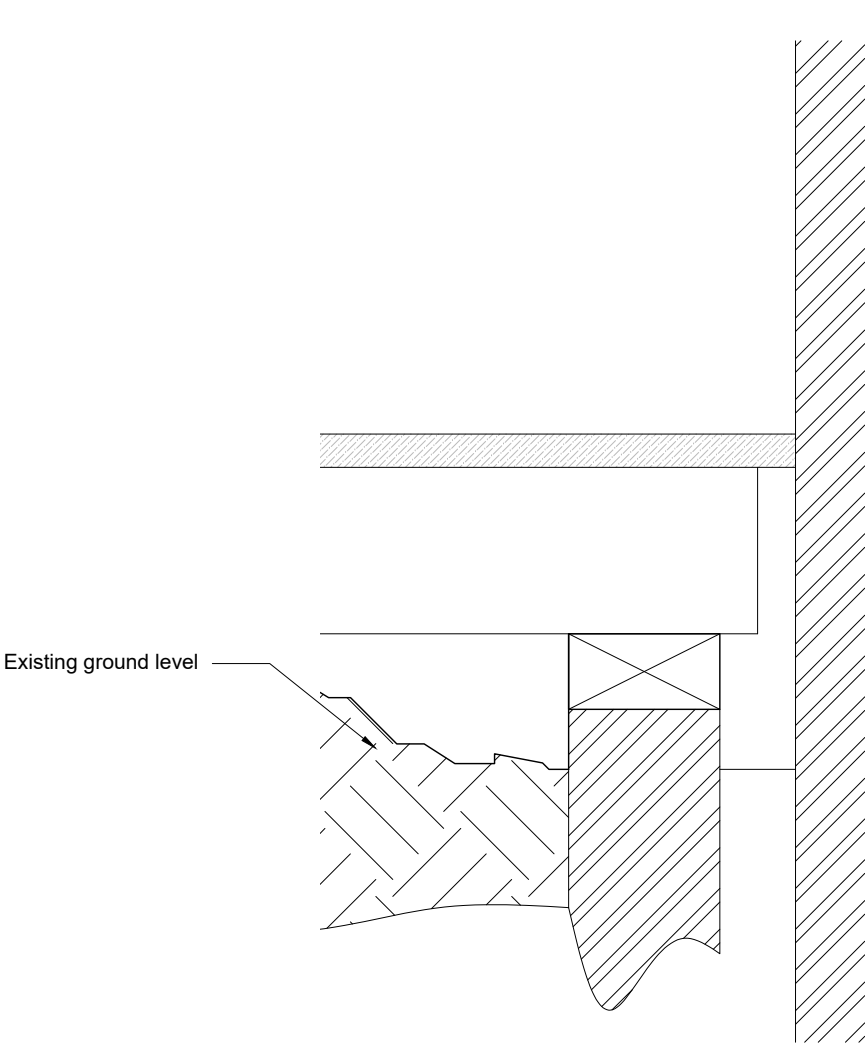
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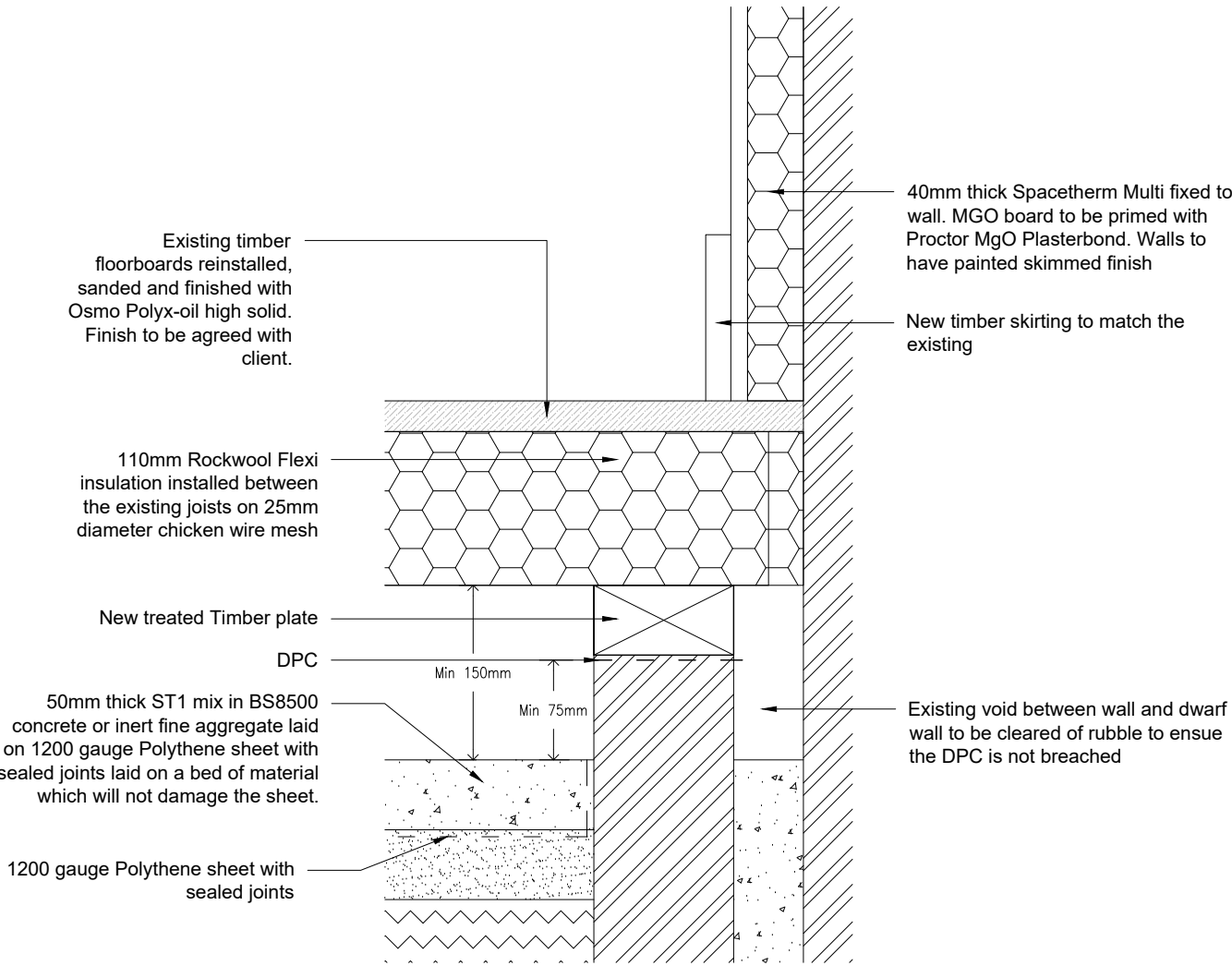
Drawing Number Revision

30838A_206

Specification Note:
Bauder flat roof waterproofing, insulation and substrate to be installed by approved Bauder installer. Details of installers can be obtained from Bauder.



Existing suspended timber floor construction in Peter Cushing Gallery



Proposed suspended timber floor Construction in Peter Cushing Gallery

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Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Floor Details

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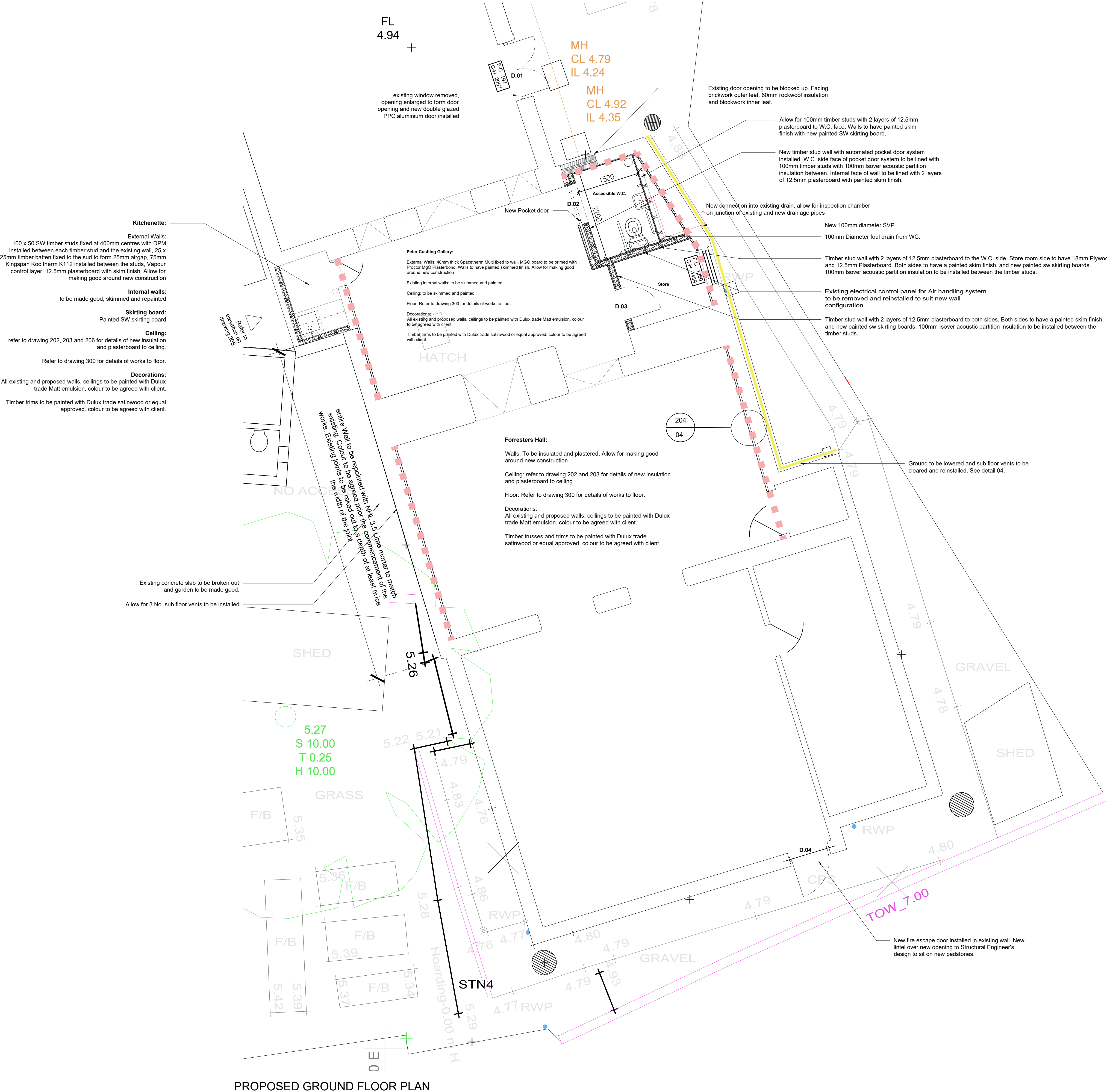
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30838A_209



Drawing Number 30838A_300 Revision



Whitstable Community Museum and Gallery

General Notes:

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SANITARY WARE SPECIFICATION:

Disabled W.C to have Ideal standard Doc M contour 21+ Close Coupled left hand corner pack (ref: S0683(AC))

KEY:

- Existing walls to have existing finishes and stud work removed. Wall to be lined with 40mm SpaceTherm Multi. MGO board to be primed with Proctor MgO Plasterbond and to be skim finished. Walls to be painted with Dulux trade emulsion. Colour to be agreed with client. Allow for new timber skirting to the existing.
- Extent of french drain. refer to detail 204

Door Schedule:

D.01
PPC aluminium framed door with glazed panels to match the existing adjacent door into the opposite courtyard. Door to be secured by either:

- A mortice dead lock conforming to or superior to BS3621 or
- a rim automatic deadlock conforming to or superior to BS3621 or
- a key operated multi-point locking system having at least three locking bolts.

Internal flush bolts or mortised rack bolts fitted top and bottom on the first closing leaf.

Glazing to achieve a U-value of 1.6 W/m2K and to consist of 6/18/8.8 toughened/ sound laminated glass. Inner pane to be laminated glass.

D.02:
Door to be Portman flush door with primed finish. Door to be painted to match wall colour. Door to be an automatic sliding pocket door. Pocket door system and automation to be supplied by Portman doors

D.03
FD30S Plywood solid door blank with hardwood lipping with primed finish. Door to be painted to match the adjacent wall colour.

D.04
LPS1175 issue 7 SR4 steel security door to be installed (by HAG or equal approved). Colour to be agreed with client. Door to have 5 lever mortice deadlock with appropriate metal box striking plate.Allow for an electromagnetic lock that is linked to the fire alarm. the lock is to release if the fire alarm system is activated.

Project Title
Whitstable Community Museum and Gallery

Drawing Description
Proposed Ground Floor Plan

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Project Title
Whitstable Community Museum and Gallery

Drawing Description
Proposed Roof Plan

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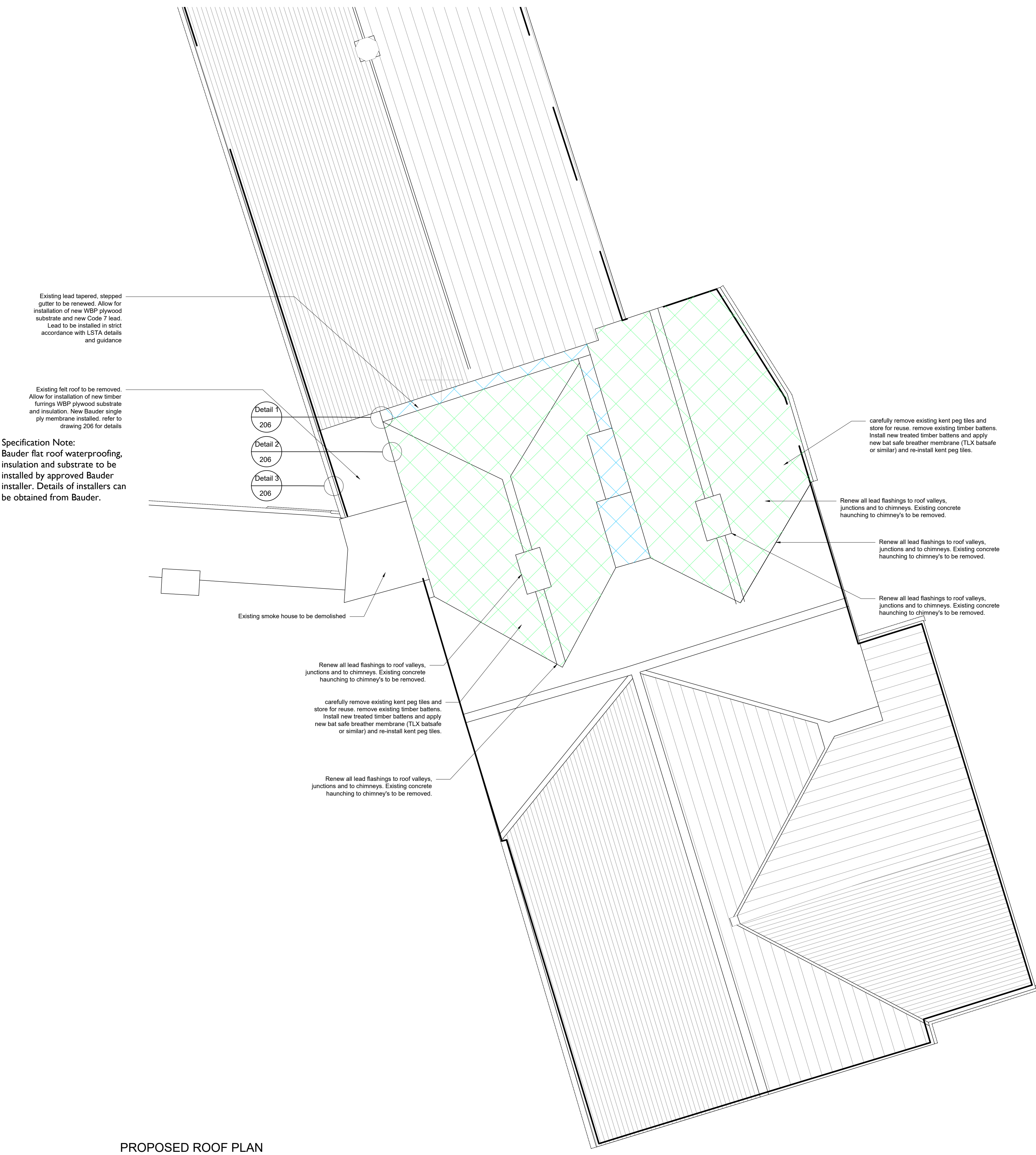
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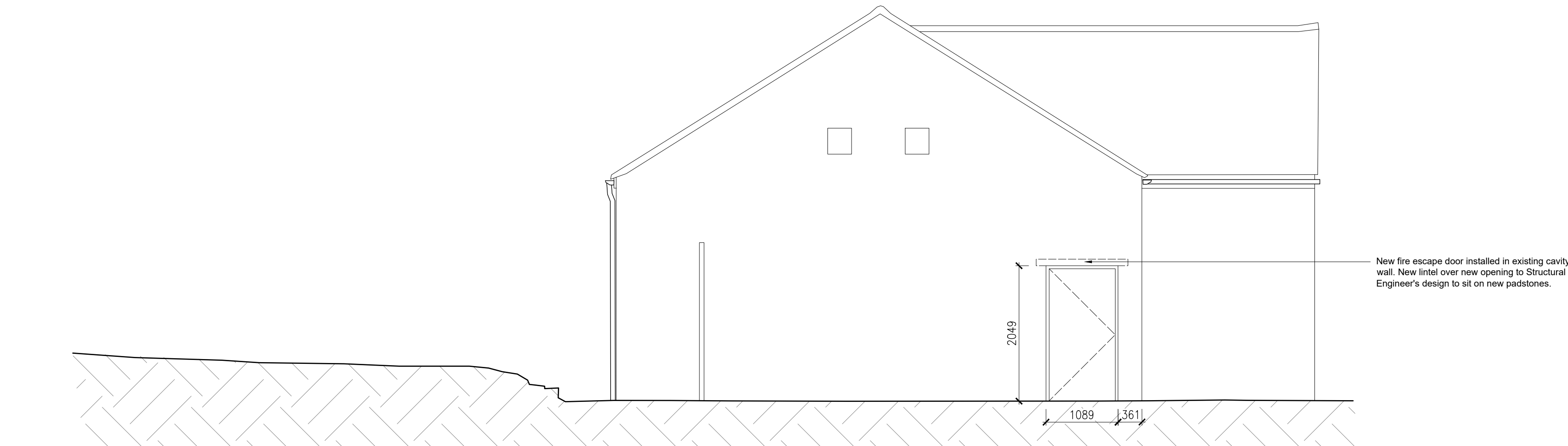
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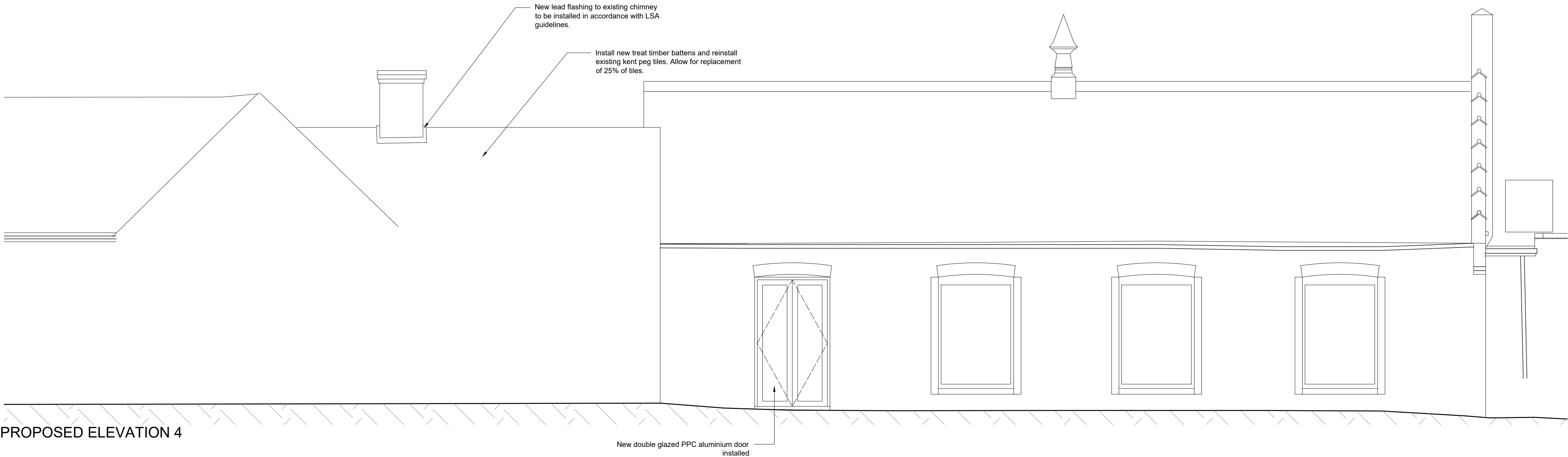
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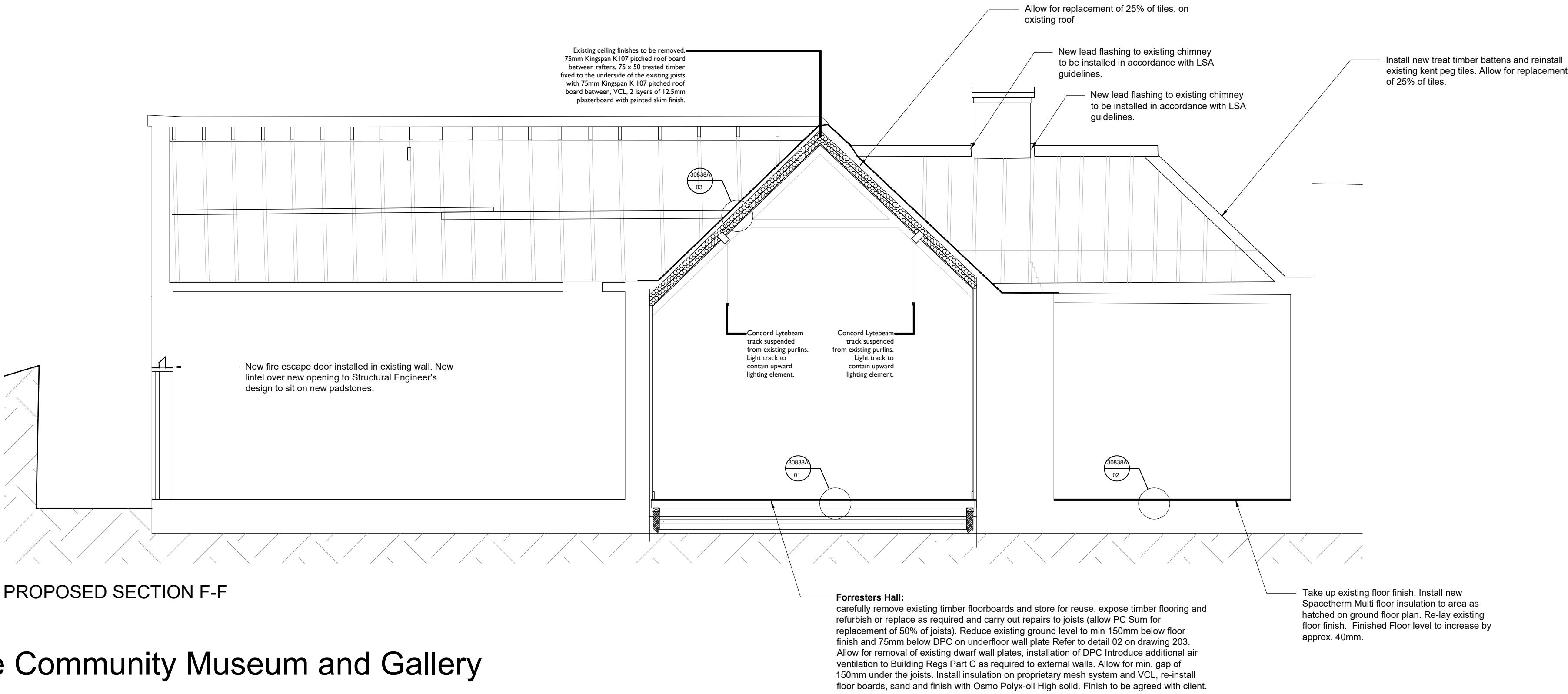
PROPOSED ROOF PLAN



PROPOSED ELEVATION 7



PROPOSED ELEVATION 4



PROPOSED SECTION F-F

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Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Section and Elevation

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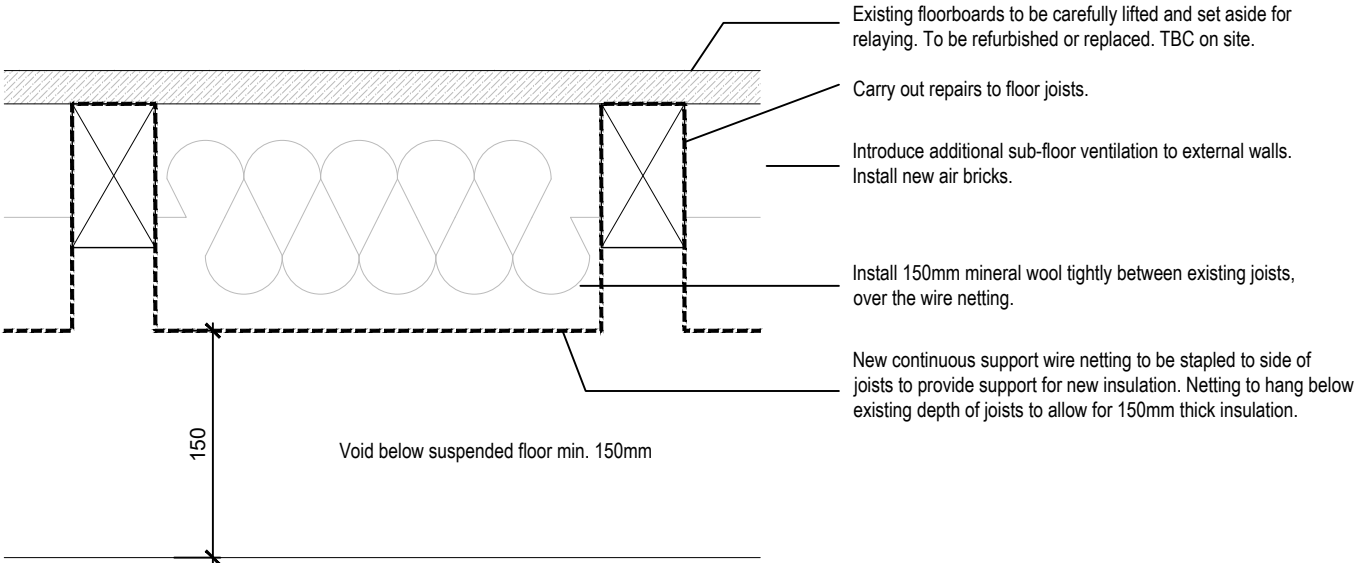
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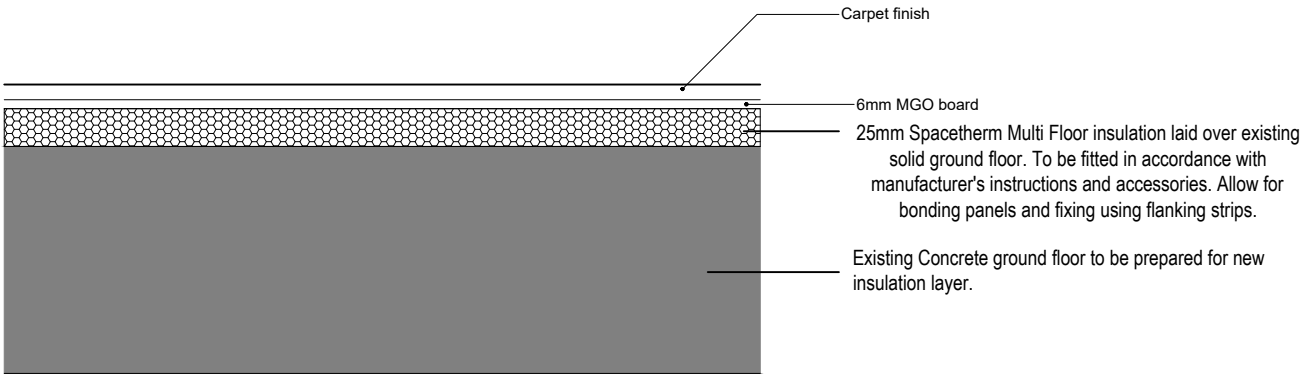
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General Notes:

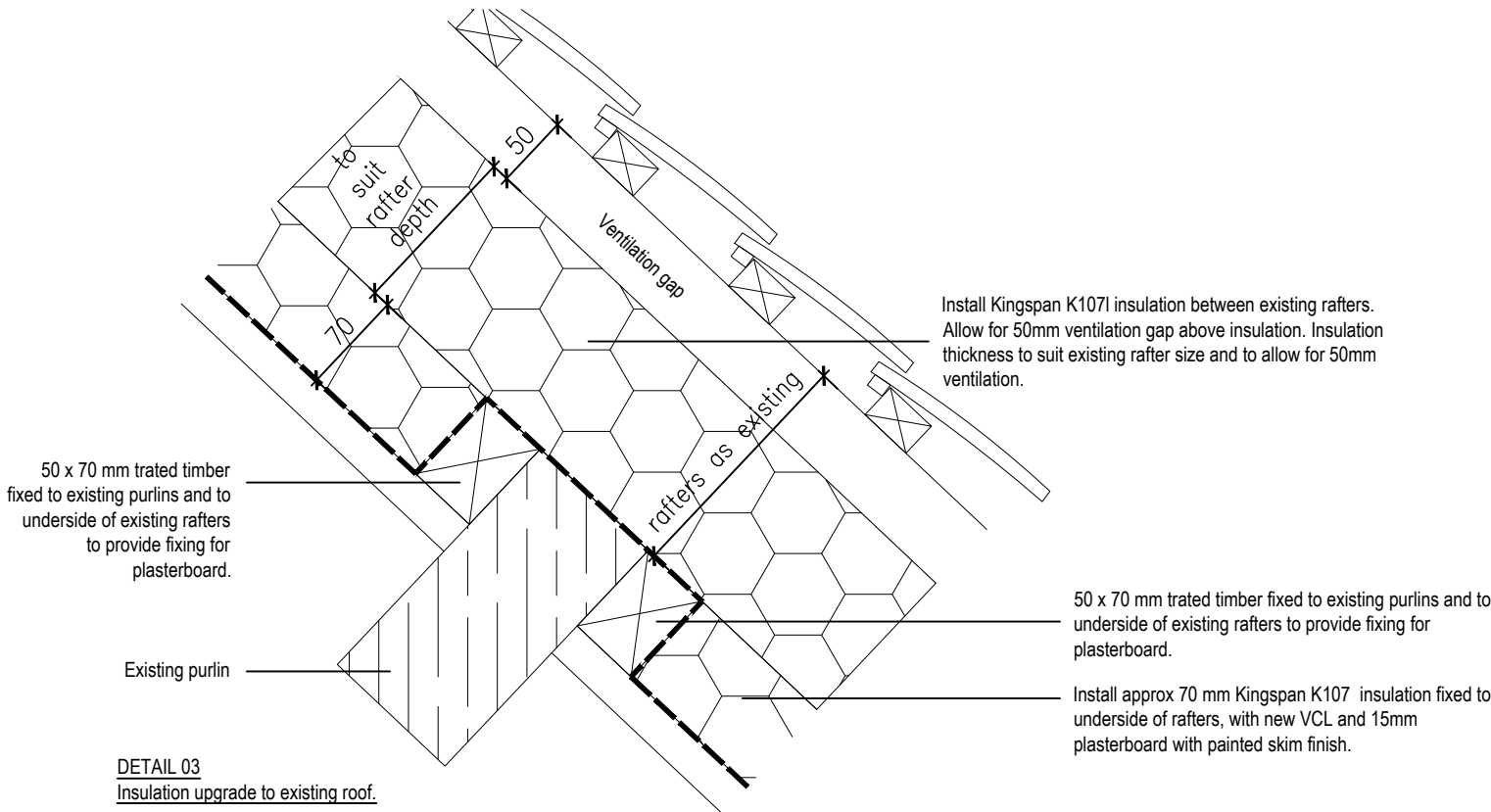
- The following notes apply except where otherwise indicated on drawings
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DETAIL 01
Insulation upgrade to existing floor.



DETAIL 02
Insulation upgrade to existing floor.



DETAIL 03
Insulation upgrade to existing roof.

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Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Details

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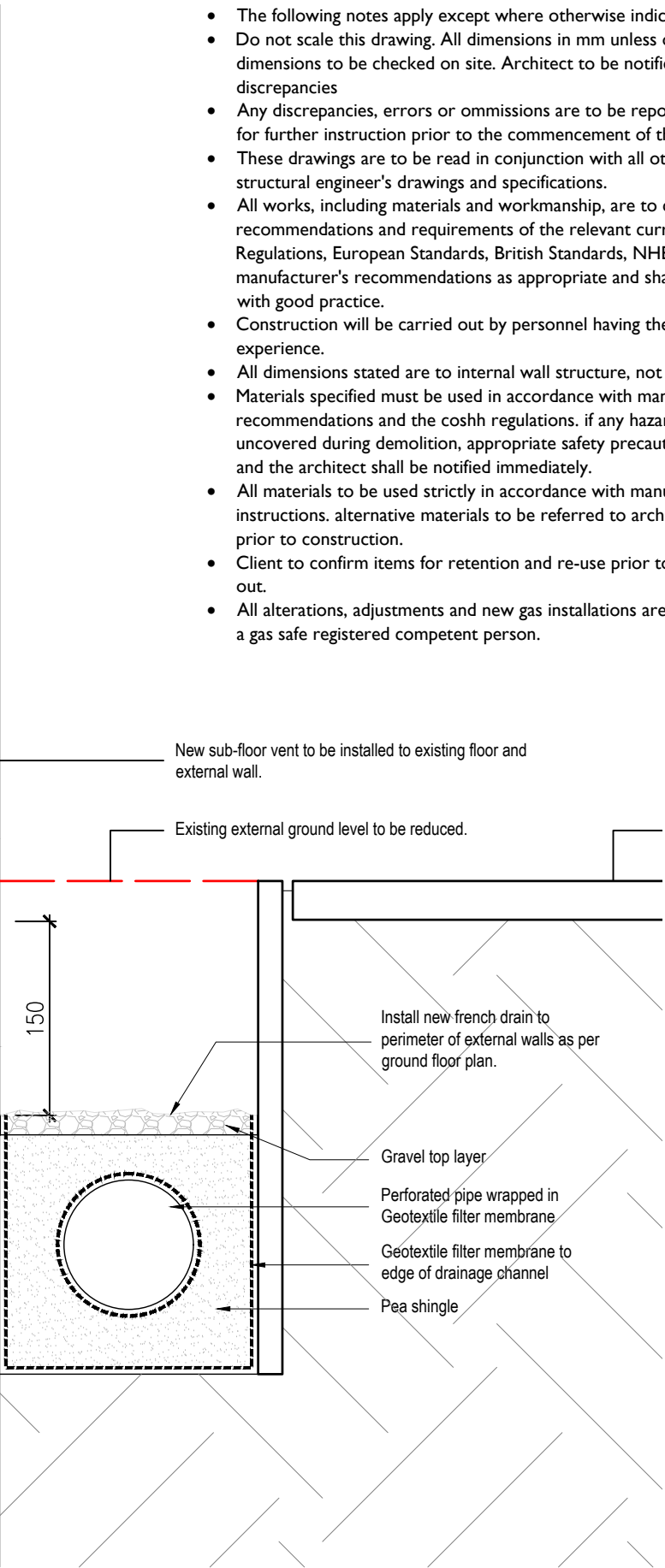
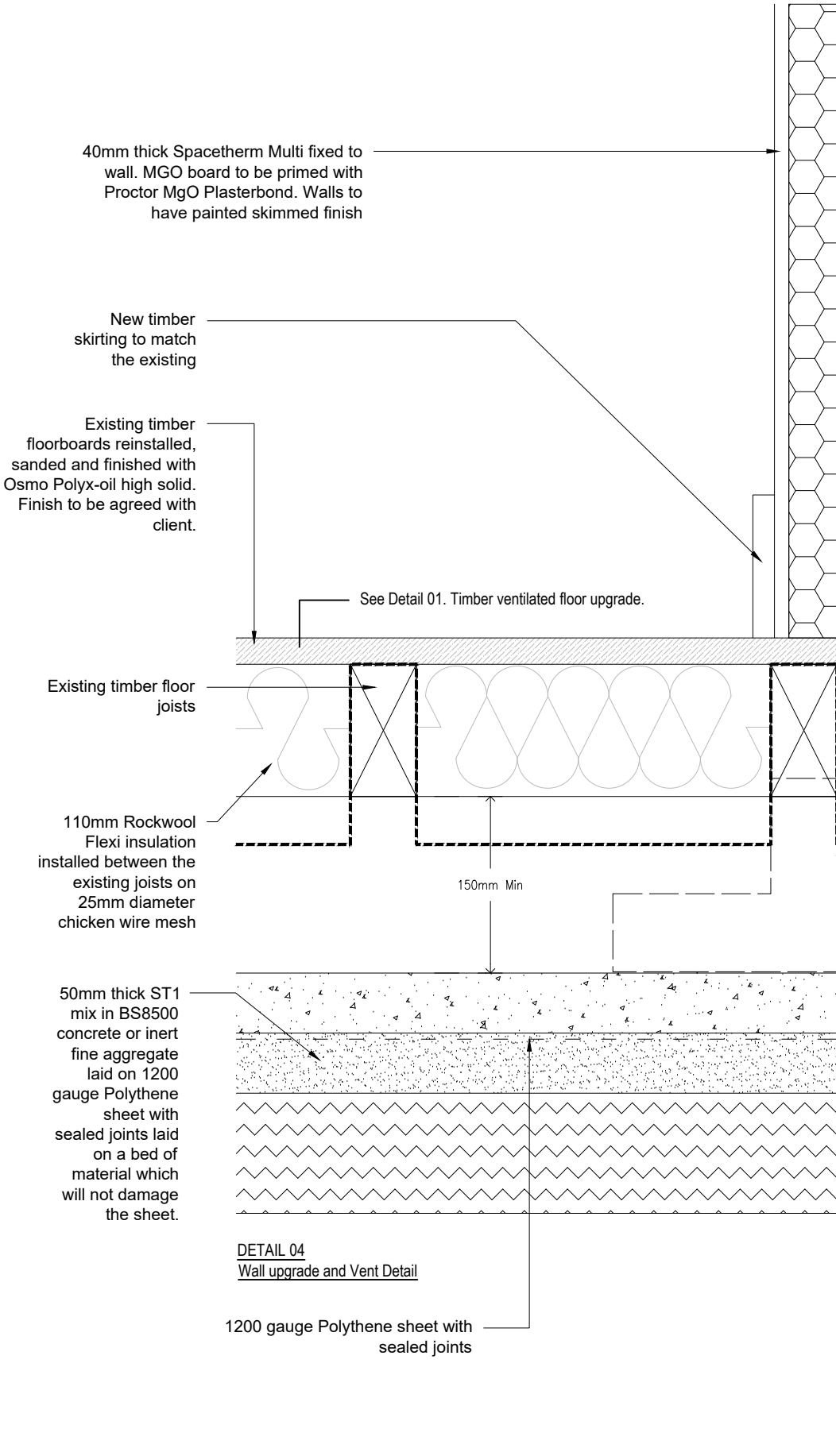
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30838A_203



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Project Title

Whitstable Community Museum and Gallery

Drawing Description

Proposed Details

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30838A_204

NOTES:

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH:

- All Architects and structural engineers drawings.
- NBS Specification and in particular sections U90 for details of ventilation products and V90 for the electrical systems specification

Please note the requirements for Contractor Design and certification set out in the NBS specification.

- ELECTRICAL INSTALLATION TO BE CARRIED OUT BY A REGISTERED COMPETENT PERSON AND BS7671 ELECTRICAL INSTALLATION CERTIFICATE TO BE PROVIDED UPON THE COMPLETION OF THE INSTALLATION

- ALL CONDUIT ROUTES TO BE CONCEALED. NO SURFACE MOUNTED CONDUITS WILL BE ACCEPTED

- FINAL POSITION OF ELECTRICAL FITTINGS TO BE AGREED WITH CLIENT PRIOR TO INSTALLATION.

- ELECTRICAL FITTINGS TO BE AGREED WITH THE CLIENT PRIOR TO INSTALLATION.

- THE CONTRACTOR IS TO ALLOW FOR FUSED SPURS AS REQUIRED TO ENSURE COMPLIANCE WITH THE BUILDING REGULATIONS AND TO THE SAFE OPERATION AND MAINTENANCE OF ALL EXTRACT FANS, KITCHEN APPLIANCES, BOILERS ETC.

THE CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT A SURVEY OF THE EXISTING ELECTRICAL INFRASTRUCTURE IN THE AREA OF THE WORKS. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BS7671. THE EXISTING ELECTRICAL INSTALLATION SHOULD BE CHECKED TO ENSURE THAT THE FOLLOWING CONDITIONS ARE SATISFIED:

- I) THE RATING AND CONDITION OF EXISTING EQUIPMENT BELONGING TO BOTH THE CONSUMER AND TO THE ELECTRICAL DISTRIBUTOR ARE SUITABLE FOR THE EQUIPMENT TO CARRY THE ADDITIONAL LOADS ARISING FROM THE NEW NETWORK

- ## 2) ADEQUATE PROTECTIVE MEASURES ARE USED

- 3) THE EARTHING AND EQUIPOTENTIAL BONDING ARRANGEMENTS ARE SATISFACTORY.

Fire Alarm:

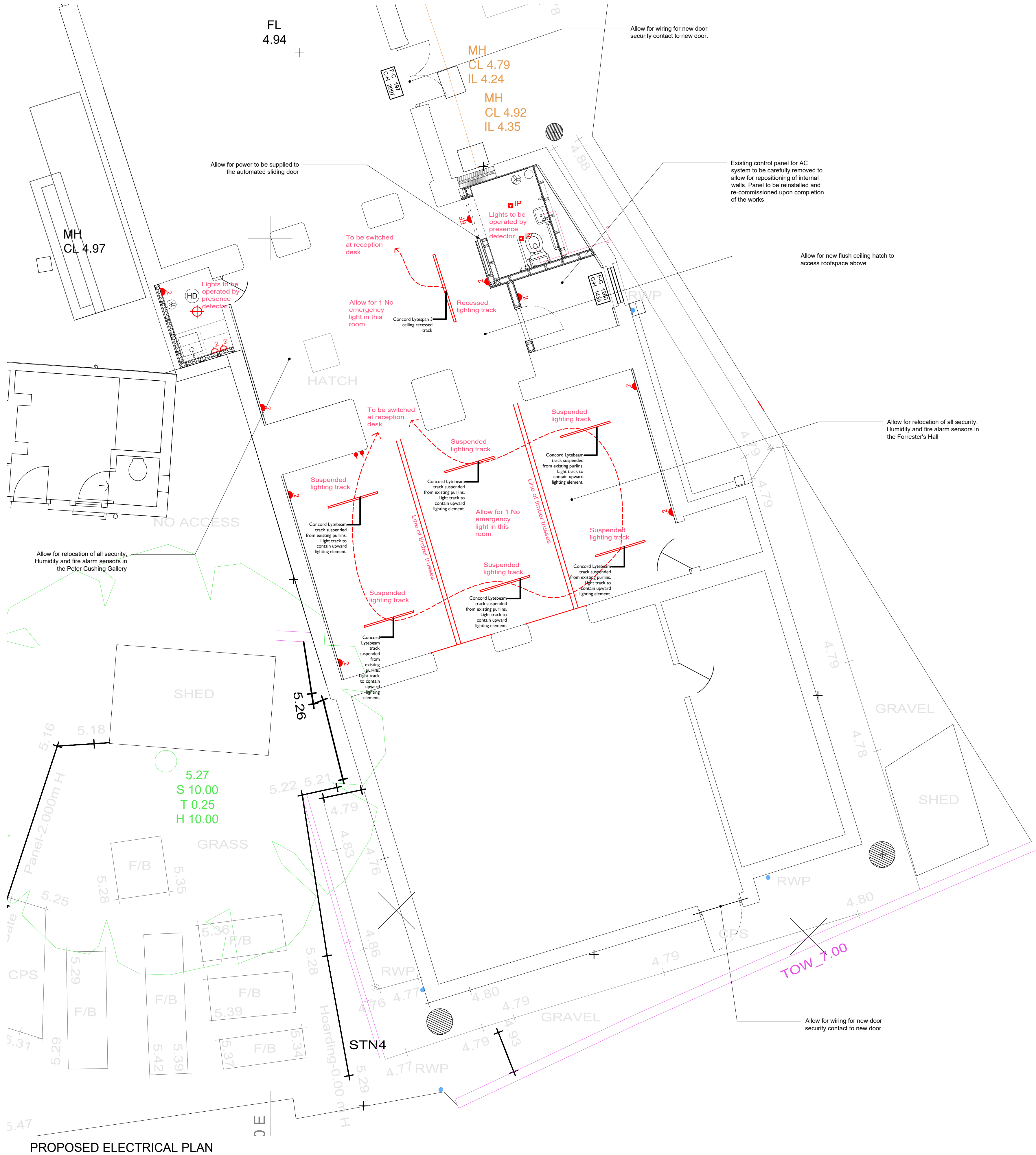
Existing fire alarm to be surveyed prior to the commencement of the works. When the works are complete and reinstated upon completion of the works. Reinstatement and commissioning of fire alarm to be completed by Client's provider.

Security Alarm:

Existing security alarm system to be surveyed prior to the commencement of the works. When the works are complete and reinstated upon completion of the works. Reinstatement and commissioning of security alarm system to be completed by Client's provider.

Internal lighting:

Energy efficient lighting is to be provided in areas affected by the building works.



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SERVICES KEY

- 2 13A Double Switched Socket
- 2 13A Double Switched Socket Above Worktop
- 5F Extractor Isolation Switch
- 1 IP Mains Voltage IP rated LED Downlighter
- Lighting Track
- 1-Way Light Switch
- Heat sensor and smoke detector
- Mechanical Extract Fan/Vent
- Low Energy Pendant

NOTE :

Layouts shown are to demonstrate design intent only
Contractor to ensure compliance with all relevant legislation
when completing works.

Switch socket outlets above worktops subject to exact Kitchen Layouts. Concealed spurs for appliances to Clients requirements.

All penetrations through external fabric to be well sealed

Fire Detection and Warning System to be designed in accordance with BS539-6:2019

Project Title

Whitstable Community Museum and Gallery

Proposed Electrical Layout

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Drawing Number Revision

Whitstable Community Museum and Gallery

30838A_205

Kitchenette:

External Walls internal insulation:
100 x 50 SW timber studs fixed at 400mm centres with DPM installed between each timber stud and the existing wall, 25 x 25mm timber batten fixed to the stud to form 25mm airgap, 75mm Kingspan Kooltherm K112 installed between the studs, Vapour control layer, 2 layers 12.5mm plasterboard with skim finish. allow for Plywood patress where kitchen cupboards are being installed. Allow for making good around new construction

Internal walls:
to be made good, skimmed and repainted

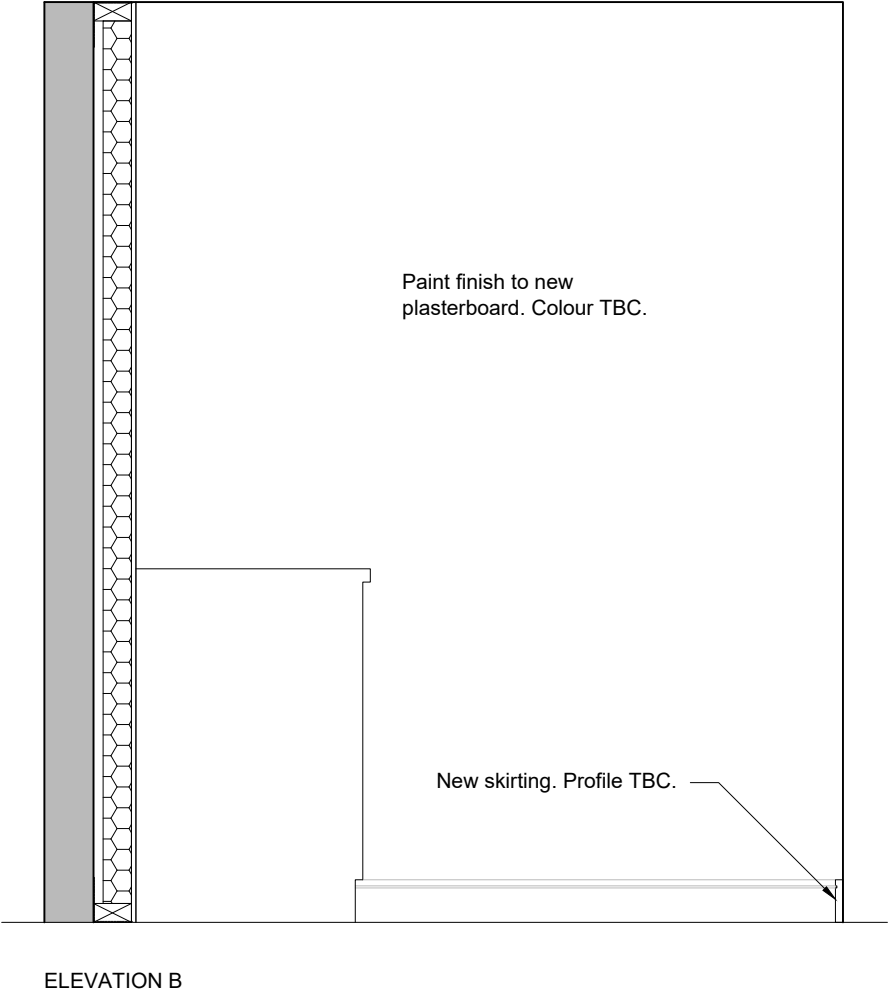
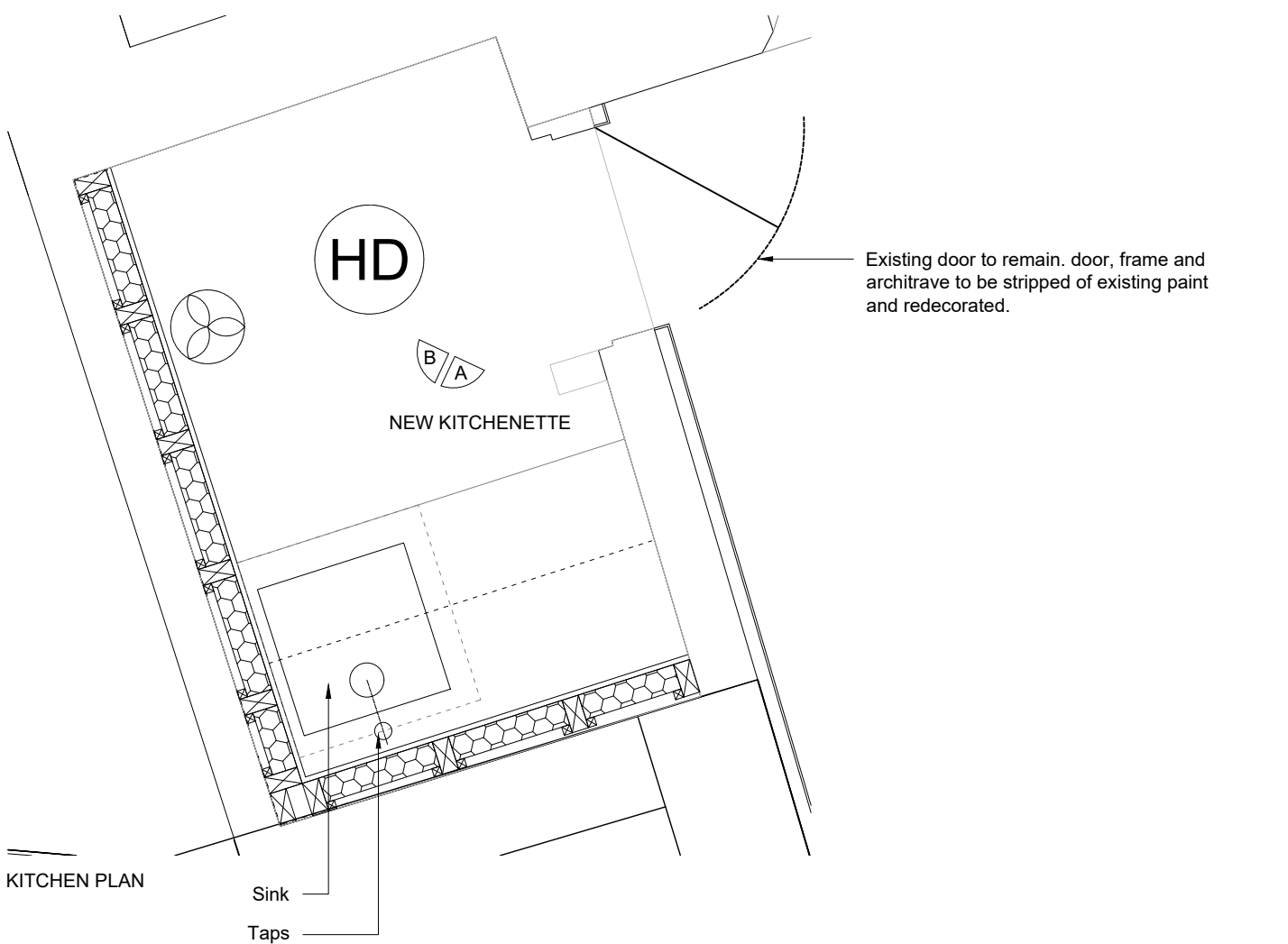
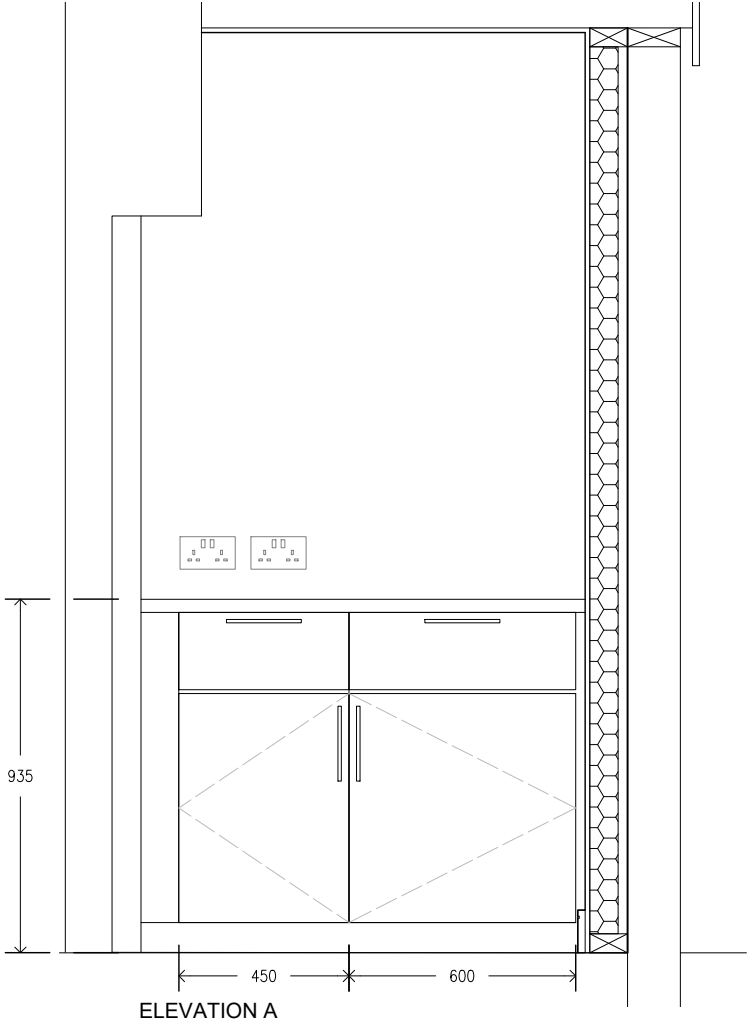
Skirting board:
Painted SW skirting board

Ceiling:
refer to drawing 202, 203, 206 for details of new roof construction

Refer to drawing 300 for details of works to floor.

Decorations:
All existing and proposed walls, ceilings to be painted with Dulux trade Matt emulsion. colour to be agreed with client.

Timber trims to be painted with Dulux trade satinwood or equal approved. colour to be agreed with client.



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Project Title

Whitstable Community Museum
and Gallery

Drawing Description

Proposed Kitchen

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