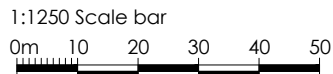
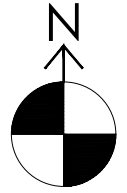


Existing Block Plan 1:50

KEY
Demolitions

Location Plan 1:1250



A1 Sheet Size

- NOTES
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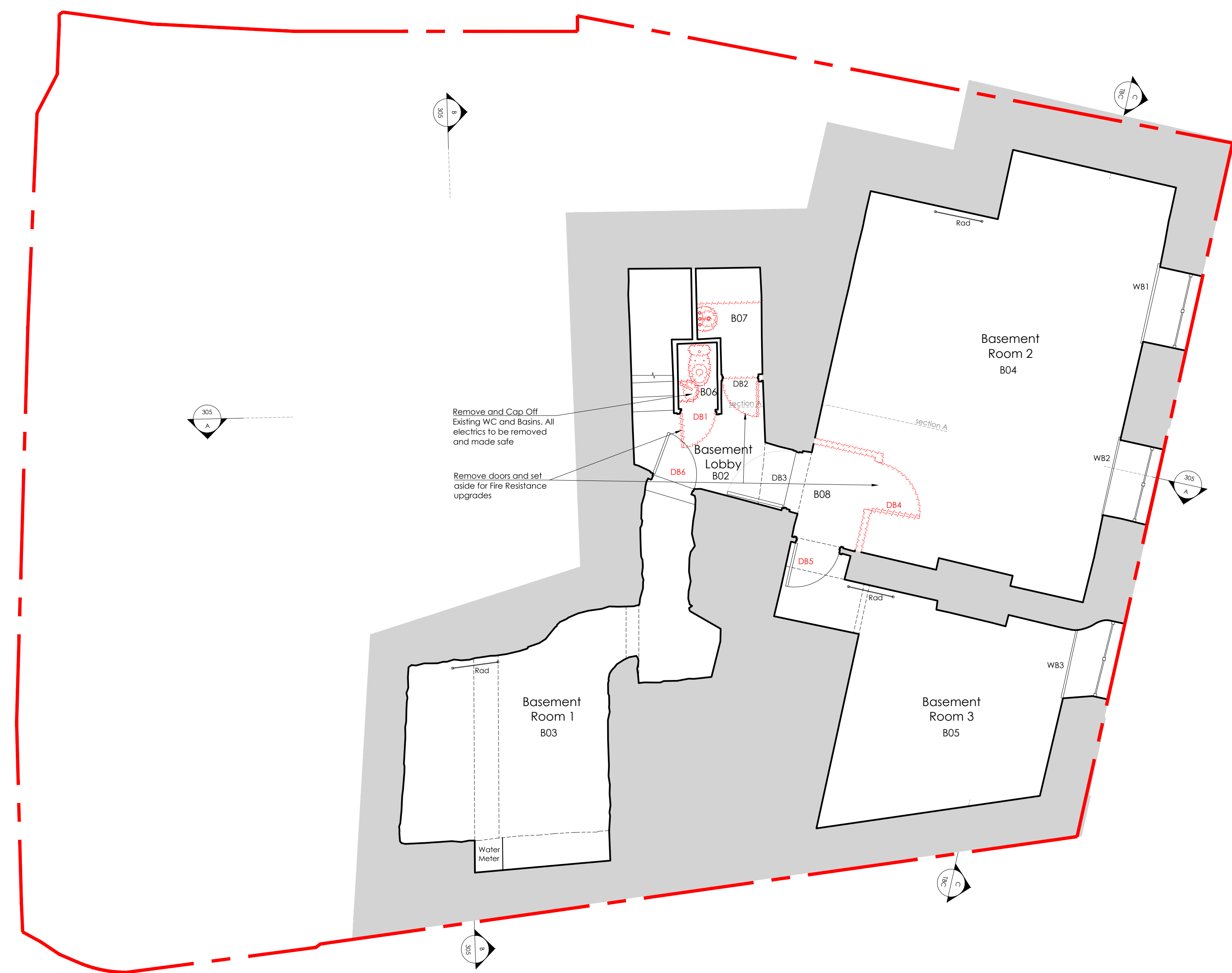
Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	21.02.2025	Revisions for BC Plan Check (Clouded).
C	19.05.2025	Revisions for BC Plan Check (Clouded).
D	28.07.2025	Issued For Tender.

Status BUILDING CONTROL/TENDER

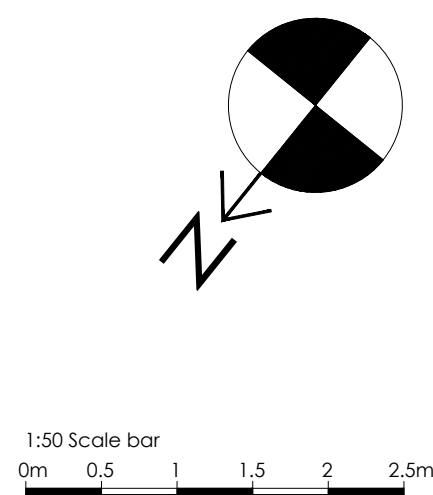
Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Location Plan Existing Block Plan		
Scale	1:50/ 1:1250 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/200	Revision	D

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KEY
Demolitions



Existing Basement Floor Plan 1:50

A1 Sheet Size		
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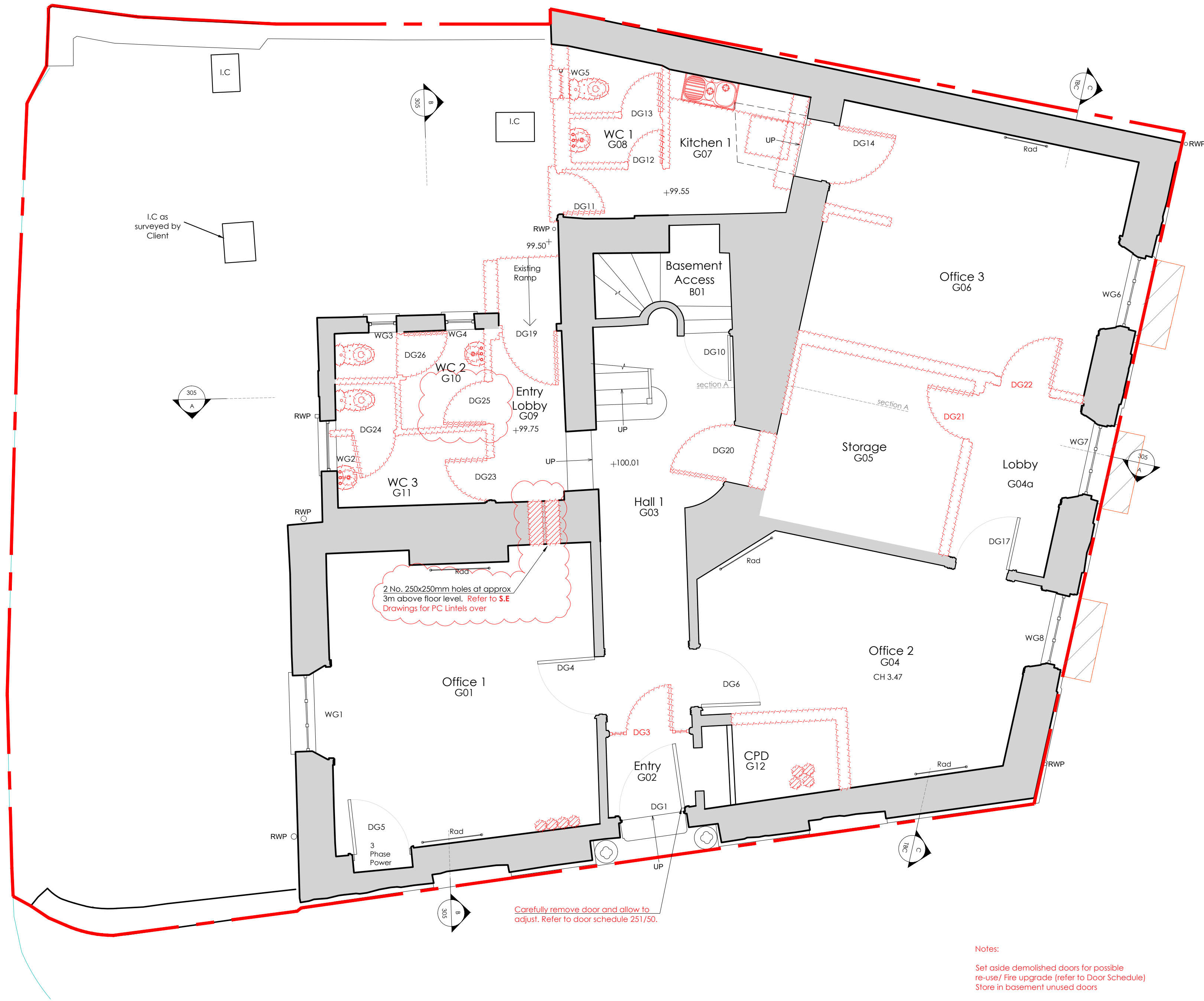
Status	<b>BUILDING CONTROL/TENDER</b>
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Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Existing Basement Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/201	Revision	D

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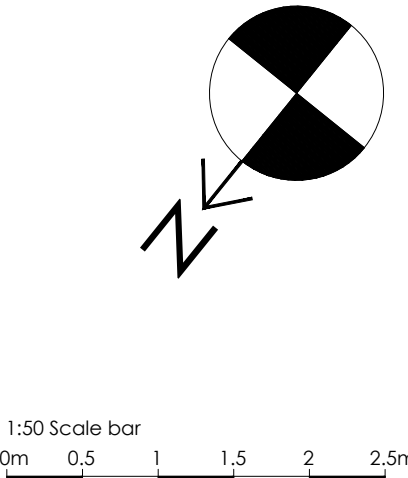


Notes:

Set aside demolished doors for possible re-use/ Fire upgrade (refer to Door Schedule) Store in basement unused doors

Set aside existing W.C. pan + W.H.B in room WC2 for relocation as per proposed plan 251/302

KEY
Demolitions



Existing Ground Floor Plan 1:50

A1 Sheet Size

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Status

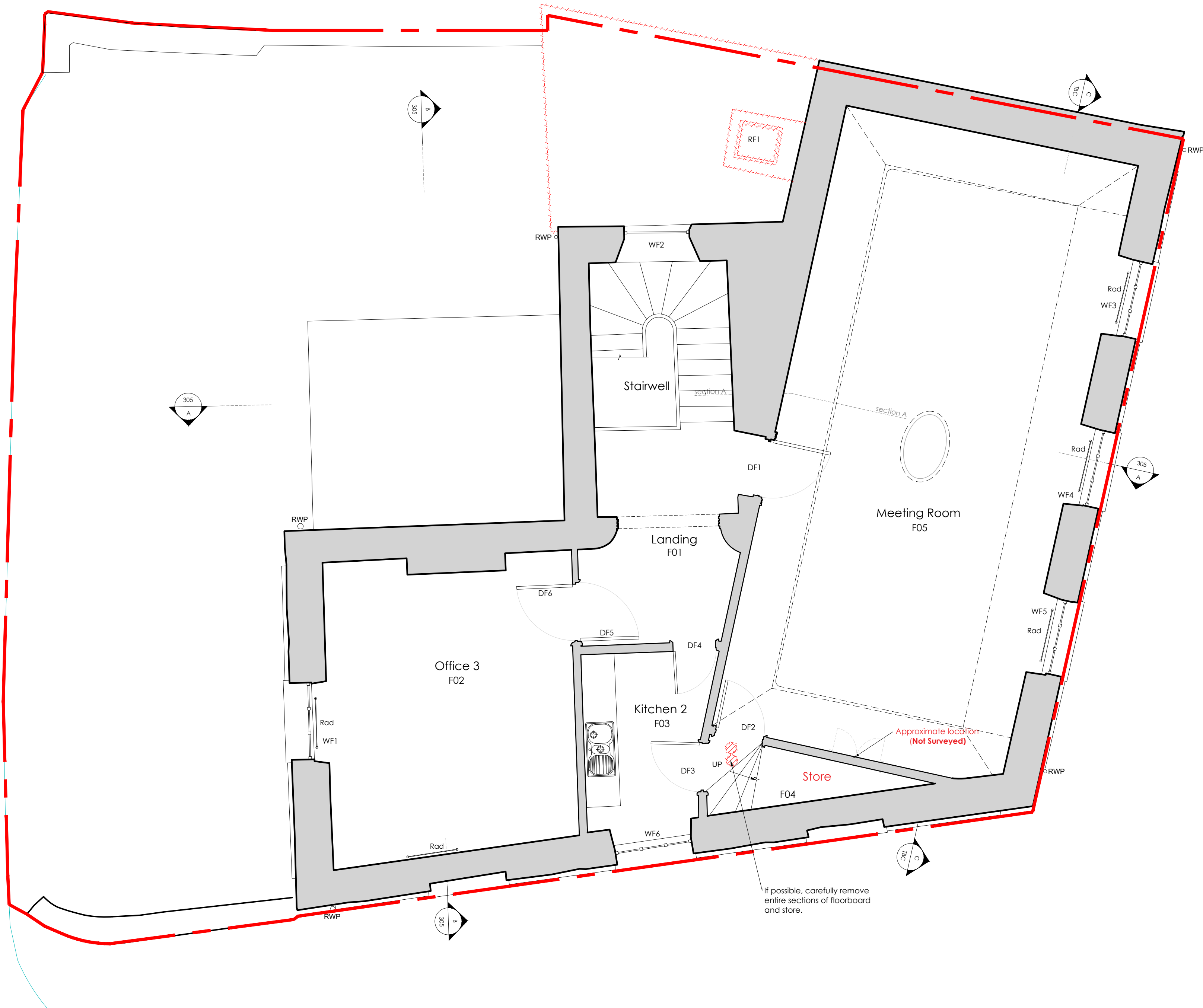
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Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Existing Ground Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/202	Revision	D

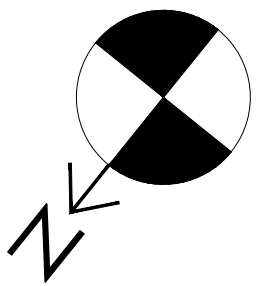
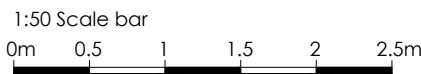
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KEY
<span style="color: red;">- - - - -</span> Demolitions



## A1 Sheet Size

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D	28.07.2025	Issued for Tender.

## BUILDING CONTROL/TENDER

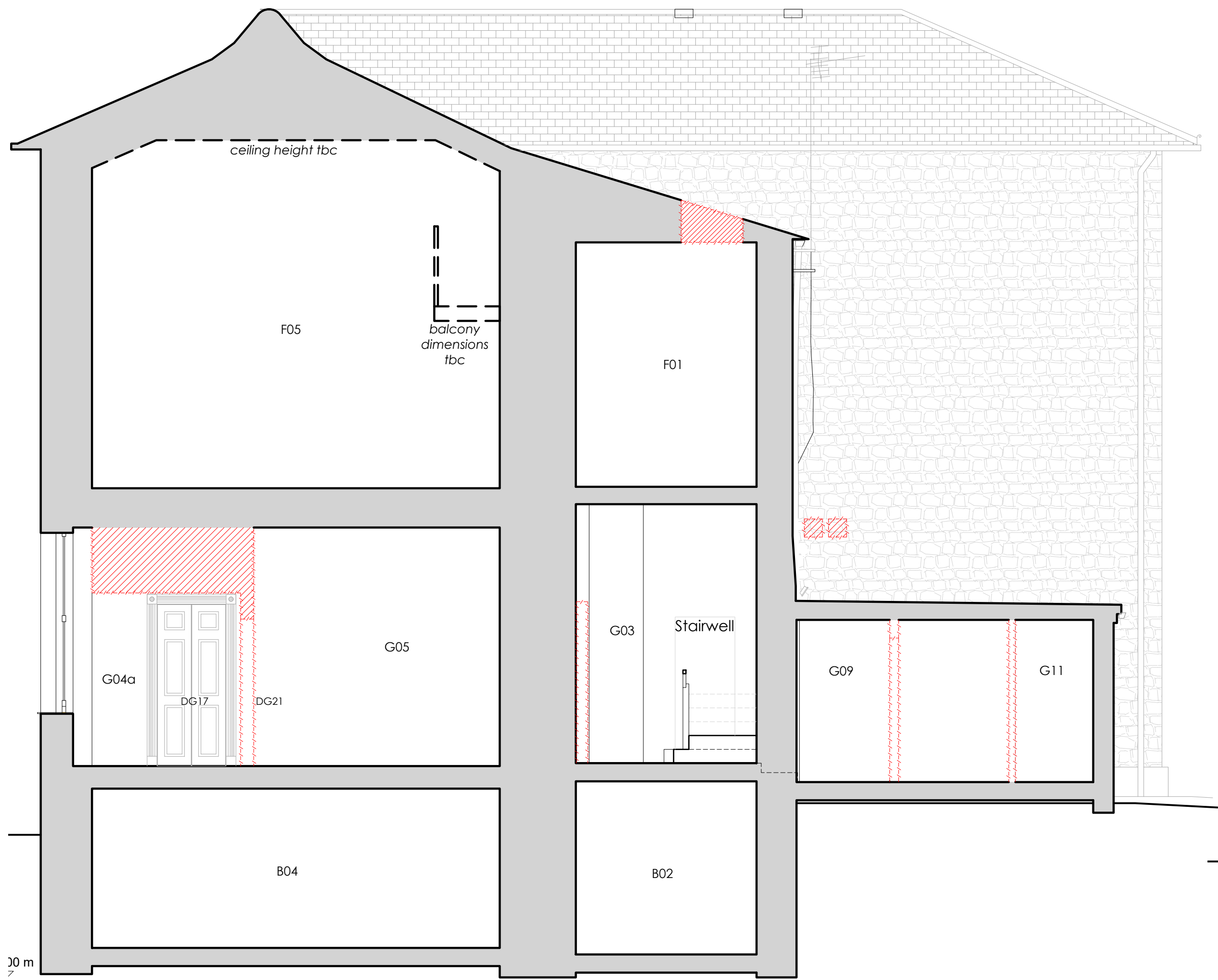
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Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Existing First Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	11.10.2024		
Drawing Number	251/203	Revision	D

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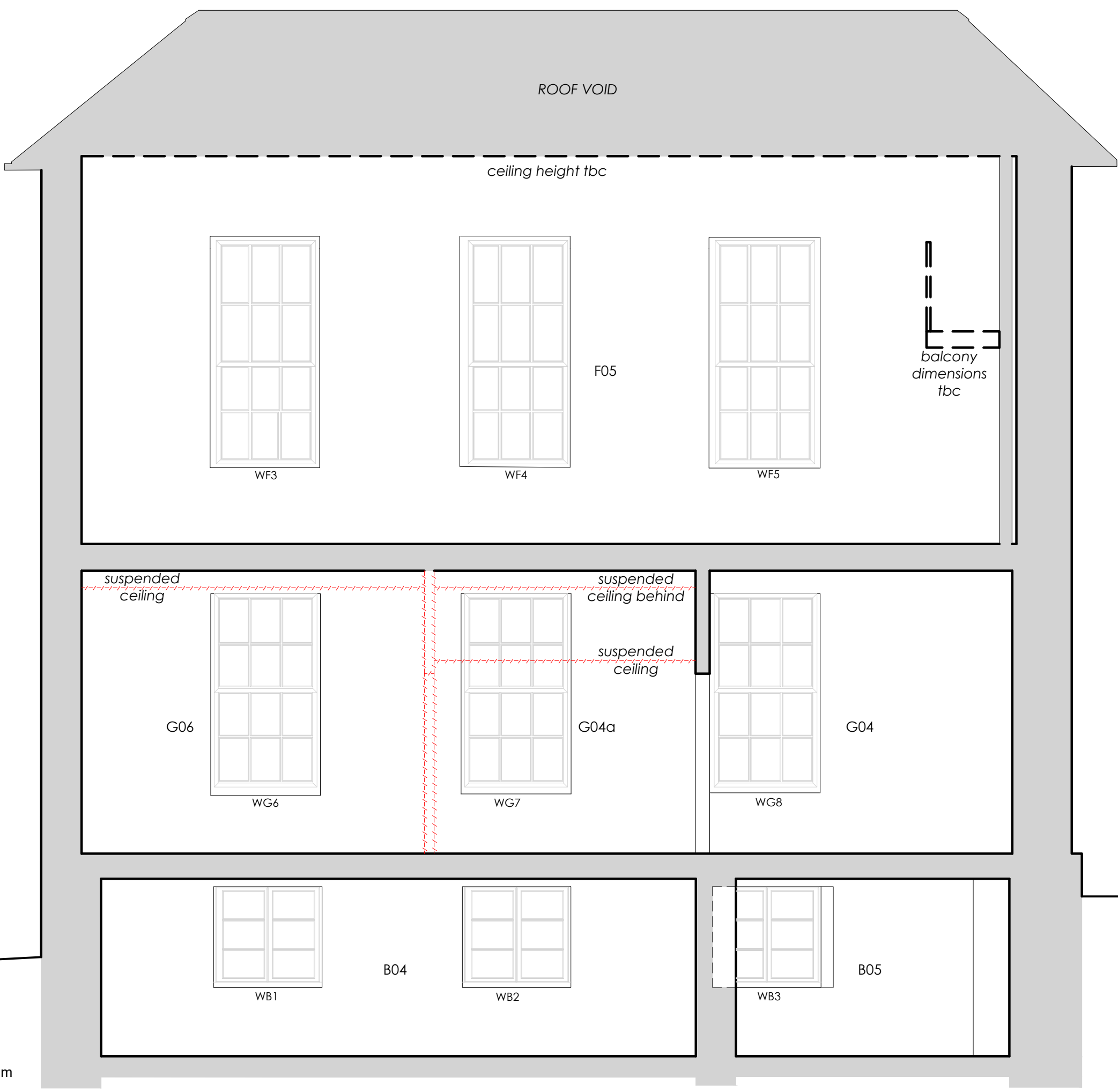


Existing First Floor Plan 1:50

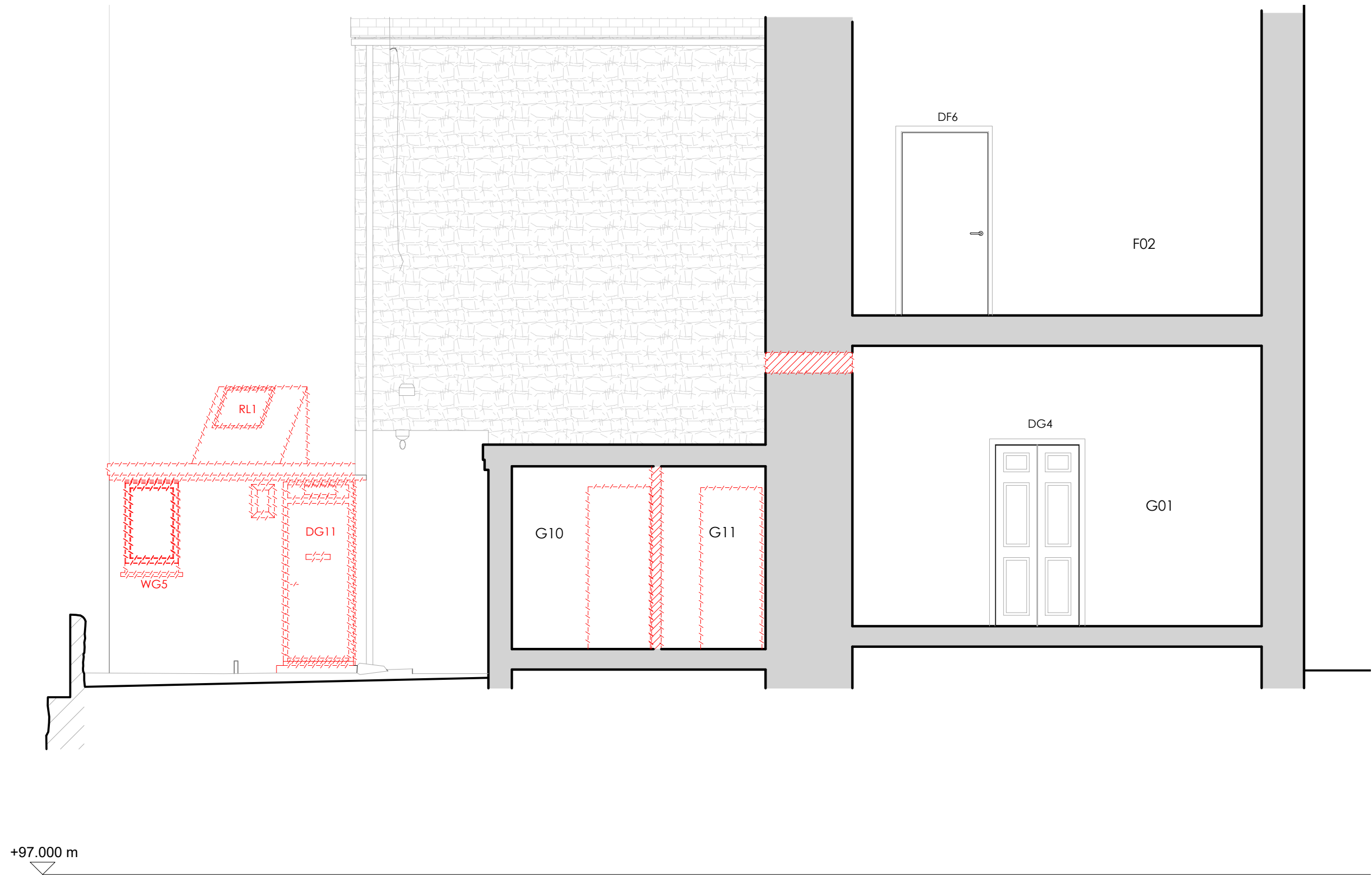




Existing Section A-A 1:50




Existing Section C-C 1:50



Existing Section B-B 1:50

Proposed Sections 1:50

KEY
 Demolitions



A1 Sheet Size

NOTES

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D	28.07.2025	Issued for Tender.

STATUS

**BUILDING CONTROL/TENDER**

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Sections Section A-A Section B-B Section C-C		
Scale	1:50 @ A1	Drawn by	AJM
Date	11.10.2024		
Drawing Number	251/205	Revision	D

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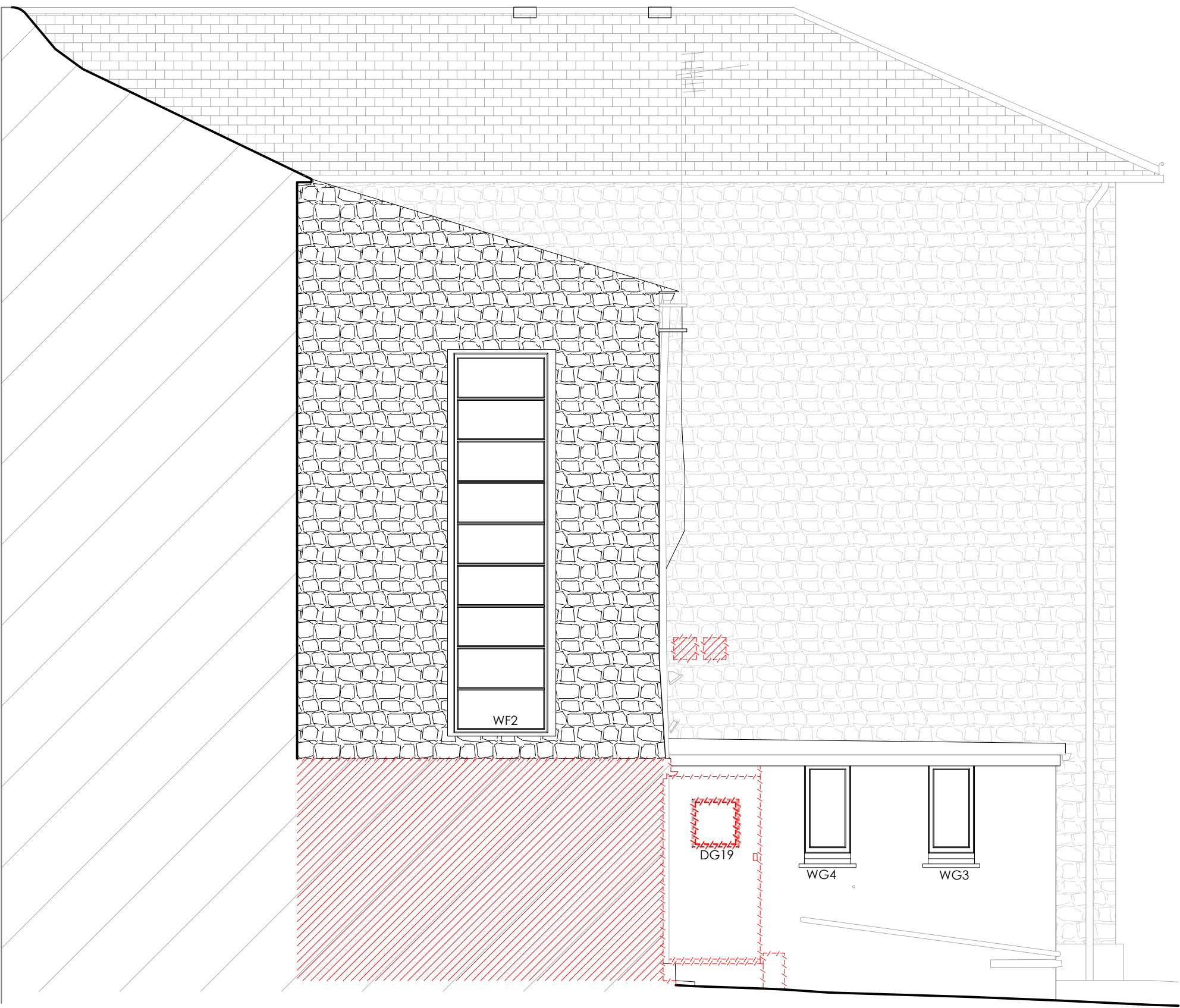
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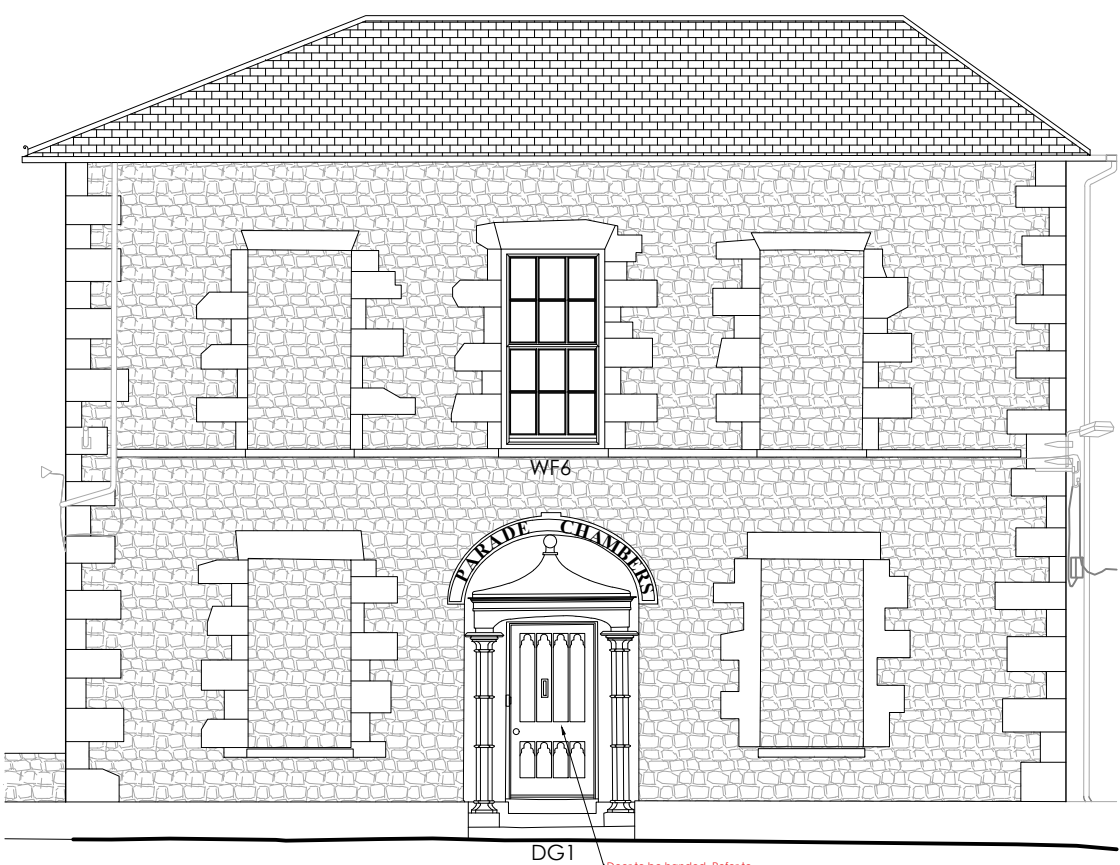




Existing North East Elevation 1:50



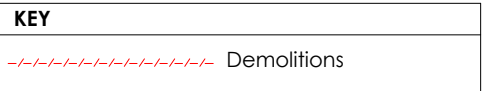
Existing South East Elevation 1:50



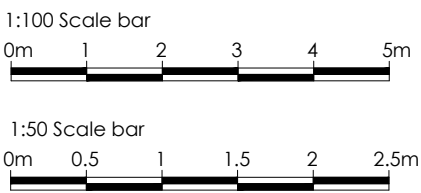
Existing South West Elevation 1:100



Existing North West Elevation 1:100



Proposed Elevations 1:50 / 1:100



## A1 Sheet Size

- NOTES
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D	28.07.2025	Issued for Tender.

Status	<b>BUILDING CONTROL/TENDER</b>
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Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Existing Elevations		
Scale	1:50 / 1:100@ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/210	Revision	C

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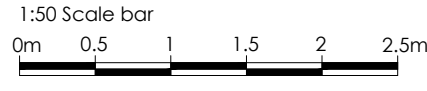






Proposed Block Plan

1:50



SYMBOLS LEGEND	
RE	Rodding Eye Point
IC	Inspection Chamber (IC) 450ø
→	Proposed PVCu Surface Water Drain
→	Proposed PVCu Foul Drain
RWP - GY	Rainwater down pipe discharging into trapped roddable gully
C	Carbon Monoxide Detector
H	Heat Detector
S	Smoke Detector
---	REI 60 Fire Compartment
---	REI 30 Fire Compartment
---	Secondary Glazing position
MVHR	MVHR : Mechanical Ventilation with Heat Recovery; indicative system shown
FD	Fire Damper / Acoustic Baffle
CAP	Ceiling Access Panel

FIRE ESCAPE STRATEGY KEY	
Emergency Lighting to BS 5266	
R.P	Refuge point - Clear Space min 900x1400mm as per Part 8.
CP	Call Point
EVC	Emergency Voice Communication Point
!	Fire Escape
FAT	Fire Alarm Control Panel
Assembly point	
EXIT	Escape signage to BS 5499 Brass or Brass Effect Backplate
Fire Alarm	
Fire Extinguisher	
Access points to building	
FD	Fire Door
FDa	Fire Damper / Acoustic Baffle

HOSE DISTANCES FOR FIRE SERVICE	
---	A : 28m - Basement to Exit (incl. vertical of 3.7m)
---	B : 16.7m - Ground Floor to Exit
---	C : 23.9m - First Floor to Exit (incl. vertical of 4.7m)

CDM & HEALTH & SAFETY NOTES.	
Contractor to provide temporary protection to minimize risk of falling.	
No fires are permitted on site.	
If asbestos is discovered on site. <b>ALL WORKS MUST STOP</b> until it has been removed by an approved specialist sub-contractor. 1. Suspected asbestos containing material (ACM) to existing gutter.	
Weather tightness to be maintained by Contractor following the formation of new openings/ and windows and door replacement/repairs.	
PPE must be worn at all times. All equipment <b>MUST BE</b> sanitised before use. Provided and maintained by Contractor. A First Aid trained person must be on site at all times.	
Refer to S.E. drawings regarding hazards. Contractor to provide method statements where requested.	
Caution when handling heavy materials such as steel beams and concrete blocks.	
All scaffolding to comply with BS5876-2008 and BS EN12811-1-2003.	
Care to be taken when working from height. Allow for guardrails and all gangways to be clear at <b>ALL TIMES</b> to avoid tripping. Care to be taken when walking underneath somebody working.	
Contractor to provide temporary weather protection during removal of roof structure.	
Contractor to identify and isolate existing services and disconnect in accordance with work program as works proceed.	
Contractor must be aware and reduce the risks associated with the public road and buildings adjacent.	
Contractor must be aware and reduce the risks associated to working below and around Overhead Power Cables.	
Due care and attention to be given during all demolitions.	
Refer to the Bat & Bird Assessment and Bat Emergence Survey report provided by Plan For Ecology for suggested enhancements. If a Bat is discovered, all works on site <b>MUST STOP</b> until a qualified ecologist has been to site to remove and relocate the bat.	
Care to be taken when working adjacent to overhead power cables.	
Allow for temporary protection of existing manhole covers.	

A1 Sheet Size

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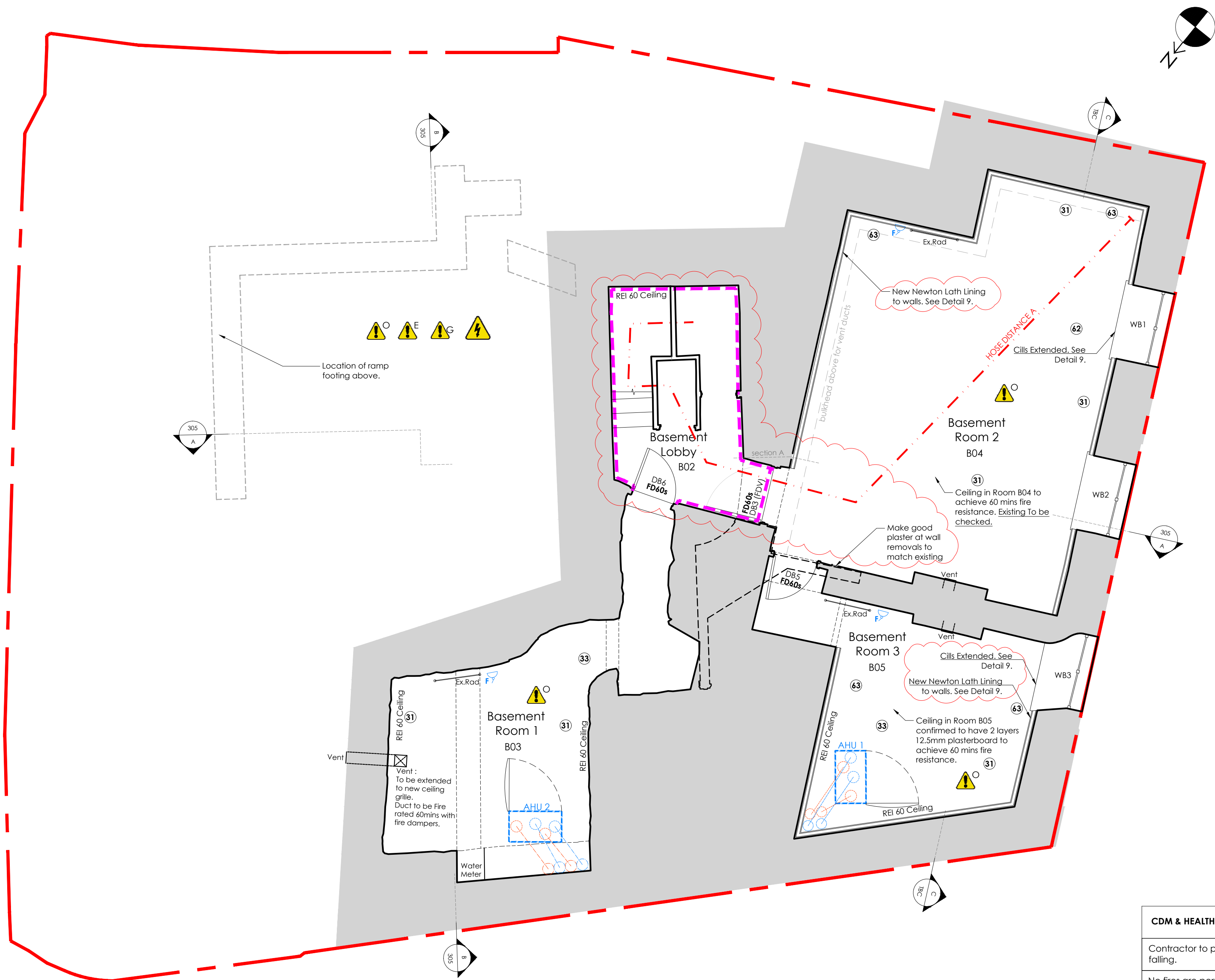
STATUS  
BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Block Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	11.10.2024		
Drawing Number	251/300	Revision	E

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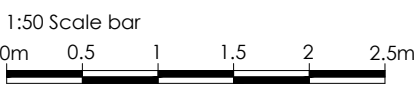






Proposed Basement Floor Plan

1:50



Specialist Subcontractor is responsible for Fire and Emergency Lighting layouts to comply with Part B Building Regulations and relevant British Standards. Koha Architects layouts have been provided indicatively on layouts for pricing purposes.

SYMBOLS LEGEND	
RE	Rodding Eye Point
IC	Inspection Chamber (IC) 450ø
Proposed PVCu Surface Water Drain	
Proposed PVCu Foul Drain	
RWP	Rainwater down pipe discharging into trapped roddable gully
GY	Carbon Monoxide Detector
H	Heat Detector
S	Smoke Detector
REI 60	REI 60 Fire Compartment
REI 30	REI 30 Fire Compartment
Secondary Glazing position	
MVHR	MVHR : Mechanical Ventilation with Heat Recovery; indicative system shown
FDa	Fire Damper / Acoustic Baffle
CAP	Ceiling Access Panel

FIRE ESCAPE STRATEGY KEY	
Emergency Lighting to BS 5266	
R.P.	Refuge point - Clear Space min 900x1400mm as per Part B.
CP	Call Point
EVC	Emergency Voice Communication Point
Fire Escape	
FAT	Fire Alarm Control Panel
Assembly point	
Escape signage to BS 5499	
Brass or Brass Effect Backplate	
Fire Alarm	
Fire Extinguisher	
Access points to building	
Fire Door	
FDa	Fire Damper / Acoustic Baffle

HOSE DISTANCES FOR FIRE SERVICE	
28m - Basement to Exit (incl. vertical of 3.7m)	A
16.7m - Ground Floor to Exit	B
23.9m - First Floor to Exit (incl. vertical of 4.7m)	C

CDM & HEALTH & SAFETY NOTES.	
Contractor to provide temporary protection to minimize risk of falling.	
No fires are permitted on site.	
If asbestos is discovered on site. <b>ALL WORKS MUST STOP</b> until it has been removed by an approved specialist sub-contractor. 1. Suspected asbestos containing material (ACM) to existing gutter.	
Weather tightness to be maintained by Contractor following the formation of new openings/ and windows and door replacement/repairs.	
PPE must be worn at all times. All equipment <b>MUST BE</b> sanitised before use. Provided and maintained by Contractor. A First Aid trained person must be on site at all times.	
Refer to S.E. drawings regarding hazards. Contractor to provide method statements where requested.	
Caution when handling heavy materials such as steel beams and concrete blocks.	
All scaffolding to comply with BS5874-2008 and BS EN12811-1-2003.	
Care to be taken when working from height. Allow for guardrails and all gangways to be clear at <b>ALL TIMES</b> to avoid tripping. Care to be taken when walking underneath somebody working.	
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Contractor must be aware and reduce the risks associated to working below and around Overhead Power Cables.	
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Care to be taken when working adjacent to overhead power cables.	
Allow for temporary protection of existing manhole covers.	

- KEY TO NUMBERED NOTES**
- Ramp landing with level threshold to Entry Lobby (WBP Structural Grade Ply with waterproof, slip-resistant finish). OR Steel Pre-Fabricated construction.
  - New steps with balustrade either side for Ambulant Access. (OR Steel as 1.)
  - 1:13 Ramp (WBP Structural Grade Ply with waterproof, slip-resistant finish).
  - Half Landing with Hatch for inspecting I.C. below.
  - Door to remain, for Escape Purposes only.
  - Floor Level raised by 200mm to improve accessibility through building and provide level threshold to exterior ramp. Ceiling height in this area will reduce to 2.03m.
  - Spaces to remain as existing.
  - New internal ramp over existing steps. 1:12 slope. Existing head height on threshold is 1980mm. See details.
  - Install Secondary Glazing, Metal, casement, single glazed with acoustic trickle vents (45dB). ALL TBC
  - New Boxing for MVHR ducts. Use 50x50mm studwork with plasterboard lining. See Note 44.
  - New Acoustic panel door DG17 in existing opening. (Keep Existing door DG18)
  - CPD reduced to provide more space within the Multifunction / Education Room (G04).
  - New Electrical and Fire Alarm Panel within reduced CPD Space.
  - Floorboards to be temporarily removed to inspect sub-structure.
  - Positive pressure fresh air supply required to music rooms.
  - Mechanical Extract Fan, Intermittent Rates: WCs - 6 L/S, Kitchens - 60L/S.
  - New Archway and Plasterwork coving to match First Floor. Glazed Infill with glazed door.
  - Contrasting nosings to existing stairs to comply with Part M.
  - Signage added to door to state 'Maintenance Access to Basement Only. Take care when opening door due to Staircase' - Contrasting nosings to basement stairs required as 18. above.
  - Existing carpet floor finish to be removed, sand and seal existing pitch-pine floor boards with oil/ 2 coat polyurethane. All timber floors and structure to be checked for wood boring beetle and rot by specialist.
  - Install Downstand to S.E Design for later installation of folding partition.
  - New Conservation style Smoke Vent Rooflight. Electrically operated and linked to fire alarm.
  - Allow for new lighting to rooms G04, G05 and Hall 2.
  - New marmoleum floor to WC's. New Heavy Duty Carpet to Entry Lobby. **Existing floor finishes disposed of.**
  - Refuge area to be kept clear.
  - ACC WC to be laid out according to DOC M including grab rails, mirror, alarm card and reset.
  - Rendered block wall with painted hardwood timber handrail fixed with S.S. wall brackets.
  - Painted hardwood timber handrail.
  - Polyester Powder Coated (PPC) and Pre-Galvanised metal Balustrade.
  - New Door. Secure by Design. Structural Engineer to inspect head of door for lintel changes.
  - Upgrade ceiling to FR 60 minute with 2 No. Layers 12.5mm fireline plasterboard on resilient bars. (Check existing) - see Details.
  - Inspect existing and upgrade walls to REI 60 Fire Resistance, use **'Envirograf Product 105' Paint or similar approved**
  - New MVHR System (Mechanical Ventilation with Heat Recovery) by specialist supplier and installer.
  - Install new REI 30 minute Fire Resistant suspended ceiling for MVHR system. See Details.
  - Upgrade Lath and Plaster Ceiling to FR 60 using use **'Envirograf Product 105' Paint or similar approved**
  - New sign on door to say 'Maintenance access only - Keep Locked'.
  - Existing Door refurbished and upgraded to FD30s.
  - Wall to be inspected for loose / broken tiles and loose flashings and repaired.
  - Interior Lining to be retained. (Potential strip out and make good TBC).
  - Existing secondary glazing retained.
  - Make good floor under removed wall.
  - Remove Existing Suspended Ceiling, make good ceiling / walls and repair cornices.
  - Install new Ceramic Core Radiator - refer to Schedule of Works.
  - Acoustic Insulation (50-100mm) around MVHR Ducts.
  - New Maintenance Access Ladder- Metal.
  - New Metal Access Gate 1100mm High.
  - WC and Sinks removed and Services to be capped off.
  - Wall overboarded with 12.5mm Fireline plasterboard OR painted with fire resistant paint suitable for lath+plaster, such as **'Envirograf product 105'** or similar approved.
  - Roof coverings to be assessed to see if there is a requirement to improve fire integrity to meet Part B.
  - Install 300mm Rockwool Insulation above ceiling (or similar approved)
  - Install 120mm Rockwool Insulation between floor joists (see detail)
  - Install 80mm foil backed insulation between roof joists (see detail)
  - Install 25mm foil backed rigid insulation directly to wall (see detail)
  - New 140mm Stud wall infill with full fill Rockwool Insulation and Vapour control layer internally.
  - Extension demolished.
  - Install 2 No. layers of 15mm Fireline Plasterboard around steelwork.
  - New metal security bars to Basement Windows.
  - Original door to be repaired and handed to open from right to left.
  - Replace WF2 like for like with toughened laminated safety glazing.
  - MVHR Duct Terminals
  - REI 60 minute boxed riser around MVHR ducts.
  - Remove existing pointing and re-point with Lime Mortar - See SOW.
  - New Newton Lath Basement Damp Proof Membrane and New Lining. See SOW
  - Replace all internal plaster to external walls as described in the SOW.

A1 Sheet Size

NOTES		
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4.	All dimensions are in millimetres unless otherwise stated.	
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E	28.07.2025	Issued for Tender.

BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Basement Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/301	Revision	E

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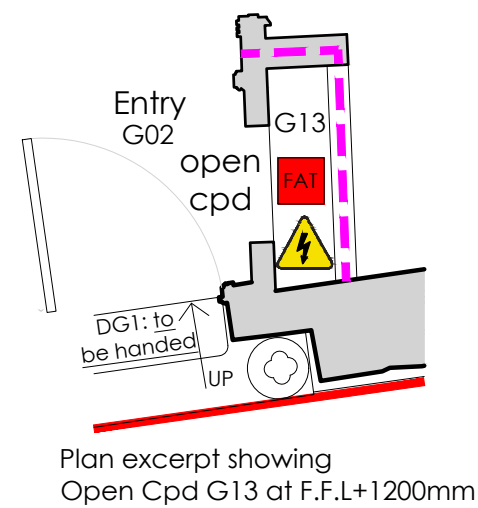






Proposed Ground Floor Plan

1:50  
0m 0.5 1 1.5 2 2.5m



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SYMBOLS LEGEND	
	Rodding Eye Point
	Inspection Chamber (IC) 450Ø
	Proposed PVCu Surface Water Drain
	Proposed PVCu Foul Drain
	Rainwater down pipe discharging into trapped roddable gully
	Carbon Monoxide Detector
	Heat Detector
	Smoke Detector
	REI 60 Fire Compartment
	REI 30 Fire Compartment
	Secondary Glazing position
	MVHR: Mechanical Ventilation with Heat Recovery; indicative system shown
	Fire Damper / Acoustic Baffle
	Ceiling Access Panel

FIRE ESCAPE STRATEGY KEY	
	Emergency Lighting to BS 5266
	Refuge point - Clear Space min 900x1400mm as per Part B.
	Call Point
	Emergency Voice Communication Point
	Fire Escape
	Fire Alarm Control Panel
	Assembly point
	Escape signage to BS 5499:1 or BS 5499:2
	Fire Alarm
	Fire Extinguisher
	Access points to building
	Fire Door
	Fire Damper / Acoustic Baffle

HOSE DISTANCES FOR FIRE SERVICE	
	A: 28m - Basement to Exit (incl. vertical of 3.7m)
	B: 16.7m - Ground Floor to Exit
	C: 23.9m - First Floor to Exit (incl. vertical of 4.7m)

CDM & HEALTH & SAFETY NOTES.	
Contractor to provide temporary protection to minimize risk of falling.	
No fires are permitted on site.	
If asbestos is discovered on site. <b>ALL WORKS MUST STOP</b> until it has been removed by an approved specialist sub-contractor. 1. Suspected asbestos containing material (ACM) to existing gutter.	
Weather tightness to be maintained by Contractor following the formation of new openings/ and windows and door replacement/repairs.	
PPE must be worn at all times. All equipment <b>MUST BE</b> sanitised before use. Provided and maintained by Contractor. A First Aid trained person must be on site at all times.	
Refer to S.E. drawings regarding hazards. Contractor to provide method statements where requested.	
Caution when handling heavy materials such as steel beams and concrete blocks.	
All scaffolding to comply with BS5874-2008 and BS EN12811-1-2003.	
Care to be taken when working from height. Allow for guardrails and all gangways to be clear at <b>ALL TIMES</b> to avoid tripping. Care to be taken when walking underneath somebody working.	
Contractor to provide temporary weather protection during removal of roof structure.	
Contractor to identify and isolate existing services and disconnect in accordance with work program as works proceed.	
Contractor must be aware and reduce the risks associated with the public road and buildings adjacent.	
Contractor must be aware and reduce the risks associated to working below and around Overhead Power Cables.	
Due care and attention to be given during all demolitions.	
Refer to the Bat & Bird Assessment and Bat Emergence Survey report provided by Plan For Ecology for suggested enhancements. If a Bat is discovered, all works on site <b>MUST STOP</b> until a qualified ecologist has been to site to remove and relocate the bat.	
Care to be taken when working adjacent to overhead power cables.	
Allow for temporary protection of existing manhole covers.	

- KEY TO NUMBERED NOTES**
- Ramp landing with level threshold to Entry Lobby (WBP Structural Grade Ply with waterproof, slip-resistant finish). OR Steel Pre-Fabricated construction.
  - New steps with balustrade either side for Ambulant Access. (OR Steel as 1.)
  - 1:13 Ramp (WBP Structural Grade Ply with waterproof, slip-resistant finish).
  - Half Landing with Hatch for inspecting I.C. below.
  - Door to remain, for Escape Purposes only.
  - Floor Level raised by 200mm to improve accessibility through building and provide level threshold to exterior ramp. Ceiling height in this area will reduce to 2.03m.
  - Spaces to remain as existing.
  - New internal ramp over existing steps. 1:12 slope. Existing head height on threshold is 1980mm. See details.
  - Install Secondary Glazing, Metal, casement, single glazed with acoustic trickle vents (45dB). ALL TBC
  - New Boxing for MVHR ducts. Use 50x50mm studwork with plasterboard lining. See Note 44.
  - New Acoustic panel door DG17 in existing opening. (Keep Existing door DG18)
  - CPD reduced to provide more space within the Multifunction / Education Room (G04).
  - New Electrical and Fire Alarm Panel within reduced CPD Space.
  - Floorboards to be temporarily removed to inspect sub-structure.
  - Positive pressure fresh air supply required to music rooms.
  - Mechanical Extract Fan, Intermittent Rates: WCs - 6 L/S, Kitchens - 60L/S.
  - New Archway and Plasterwork coving to match First Floor. Glazed Infill with glazed door.
  - Contrasting nosings to existing stairs to comply with Part M.
  - Signage added to door to state 'Maintenance Access to Basement Only. Take care when opening door due to Staircase - Contrasting nosings to basement stairs required as 18. above.
  - Existing carpet floor finish to be removed, sand and seal existing pitch-pine floor boards with oil/ 2 coat polyurethane. All timber floors and structure to be checked for wood boring beetle and rot by specialist.
  - Install Understand to S.E Design for later installation of folding partition.
  - New Conservation style Smoke Vent Rooflight. Electrically operated and linked to fire alarm.
  - Allow for new lighting to rooms G04, G05 and Hall 2.
  - New marmoleum floor to WCs. New Heavy Duty Carpet to Entry Lobby. **Existing floor finishes disposed of.**
  - Refuge area to be kept clear.
  - ACC WC to be laid out according to DOC M including grab rails, mirror, alarm cord and reset.
  - Rendered block wall with painted hardwood timber handrail fixed with S.S. wall brackets.
  - Painted hardwood timber handrail.
  - Polyester Powder Coated (PPC) and Pre-Galvanised metal Balustrade.
  - New Door. Secure by Design. Structural Engineer to inspect head of door for lintel changes.
  - Upgrade ceiling to FR 60 minute with 2 No. Layers 12.5mm fireline plasterboard on resilient bars. (Check existing) - see Details.
  - Inspect existing and upgrade walls to REI 60 Fire Resistance, use **Envirograf Product 105** Paint or similar approved
  - New MVHR System (Mechanical Ventilation with Heat Recovery) by specialist supplier and installer.
  - Install new REI 30 minute Fire Resistant suspended ceiling for MVHR system. See Details.
  - Upgrade Lath and Plaster Ceiling to FR 60 using use **Envirograf Product 105** Paint or similar approved
  - New sign on door to say 'Maintenance access only - Keep Locked'.
  - Existing Door refurbished and upgraded to FD30s.
  - Wall to be inspected for loose / broken tiles and loose flashings and repaired.
  - Interior Lining to be retained. (Potential strip out and make good TBC).
  - Existing secondary glazing retained.
  - Make good floor under removed wall.
  - Remove Existing Suspended Ceiling, make good ceiling / walls and repair cornices.
  - Install new Ceramic Core Radiator - refer to Schedule of Works.
  - Acoustic Insulation (50-100mm) around MVHR Ducts.
  - New Maintenance Access Ladder- Metal.
  - New Metal Access Gate 1100mm High.
  - WC and Sinks removed and Services to be capped off.
  - Wall overboarded with 12.5mm Fireline plasterboard OR painted with fire resistant paint suitable for lath+plaster, such as **Envirograf product 105** or similar approved.
  - Roof coverings to be assessed to see if there is a requirement to improve fire integrity to meet Part B.
  - Install 300mm Rockwool Insulation above ceiling (or similar approved)
  - Install 120mm Rockwool Insulation between floor joists (see detail)
  - Install 80mm foil backed insulation between roof joists (see detail)
  - Install 25mm foil backed rigid insulation directly to wall (see detail)
  - New 140mm Stud wall infill with full fill Rockwool Insulation and Vapour control layer internally.
  - Extension demolished.
  - Install 2 No. layers of 15mm Fireline Plasterboard around steelwork.
  - New metal security bars to Basement Windows.
  - Original door to be repaired and handed to open from right to left.
  - Replace WF2 like for like with toughened laminated safety glazing.
  - MVHR Duct Terminals
  - REI 60 minute boxed riser around MVHR ducts.
  - Remove existing pointing and re-point with Lime Mortar - See SOW.
  - New Newton Lath Basement Damp Proof Membrane and New Lining. See SOW
  - Replace all internal plaster to external walls as described in the SOW.

A1 Sheet Size		
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Rev	Date	Notes
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C	21.02.2025	Revisions for BC Plan Check (Clouded).
D	19.05.2025	Revisions for BC Plan Check (Clouded).
E	28.07.2025	Issued for Tender.

## BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Ground Floor Plan		
Scale	1:25 & 1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/302	Revision	E

<b>Koha Architects Limited</b>	
Tremough Innovation Centre Penryn, TR10 9TA, Cornwall	T: 01326 567212 E: info@kohaarchitects.com







Proposed First Floor Plan

1:50  
1:50 Scale bar  
0m 0.5 1 1.5 2 2.5m

Specialist Subcontractor is responsible for Fire and Emergency Lighting layouts to comply with Part B Building Regulations and relevant British Standards. Koha Architects layouts have been provided indicatively on layouts for pricing purposes.

SYMBOLS LEGEND	
RE	Rodding Eye Point
IC	Inspection Chamber (IC) 450ø
—	Proposed PVCu Surface Water Drain
—	Proposed PVCu Foul Drain
RWP	Rainwater down pipe discharging into trapped roddable gully
GY	Carbon Monoxide Detector
H	Heat Detector
S	Smoke Detector
—	REI 60 Fire Compartment
—	REI 30 Fire Compartment
—	Secondary Glazing position
MVHR	MVHR : Mechanical Ventilation with Heat Recovery; indicative system shown
FDø	Fire Damper / Acoustic Baffle
CAP	Ceiling Access Panel

FIRE ESCAPE STRATEGY KEY	
Emergency Lighting to BS 5266	
R.P	Refuge point - Clear Space min 900x1400mm as per Part B.
CP	Call Point
EVC	Emergency Voice Communication Point
!	Fire Escape
FAT	Fire Alarm Control Panel
Assembly point	
EXIT	Escape signage to BS 5499: Brass or Brass Effect Backplate
Fire Alarm	
Fire Extinguisher	
Access points to building	
FD	Fire Door
FDø	Fire Damper / Acoustic Baffle

HOSE DISTANCES FOR FIRE SERVICE	
— A : 28m - Basement to Exit (incl. vertical of 3.7m)	
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  - 1:13 Ramp (WBP Structural Grade Ply with waterproof, slip-resistant finish).
  - Half Landing with Hatch for inspecting I.C. below.
  - Door to remain, for Escape Purposes only.
  - Floor Level raised by 200mm to improve accessibility through building and provide level threshold to exterior ramp. Ceiling height in this area will reduce to 2.03m.
  - Spaces to remain as existing.
  - New internal ramp over existing steps. 1:12 slope. Existing head height on threshold is 1980mm. See details.
  - Install Secondary Glazing, Metal, casement, single glazed with acoustic trickle vents (45dB). ALL TBC
  - New Boxing for MVHR ducts. Use 50x50mm studwork with plasterboard lining. See Note 44.
  - New Acoustic panel door DG17 in existing opening. (Keep Existing door DG18)
  - CPD reduced to provide more space within the Multifunction / Education Room (G04).
  - New Electrical and Fire Alarm Panel within reduced CPD Space.
  - Floorboards to be temporarily removed to inspect sub-structure.
  - Positive pressure fresh air supply required to music rooms.
  - Mechanical Extract Fan, Intermittent Rates: WCs - 6 L/S, Kitchens - 60L/S.
  - New Archway and Plasterwork coving to match First Floor. Glazed Infill with glazed door.
  - Contrasting nosings to existing stairs to comply with Part M.
  - Signage added to door to state 'Maintenance Access to Basement Only. Take care when opening door due to staircase' - Contrasting nosings to basement stairs required as 18. above.
  - Existing carpet floor finish to be removed, sand and seal existing pitch-pine floor boards with oil/ 2 coat polyurethane. All timber floors and structure to be checked for wood boring beetle and rot by specialist.
  - Install Downstand to S.E Design for later installation of folding partition.
  - New Conservation style Smoke Vent Rooflight. Electrically operated and linked to fire alarm.
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  - Refuge area to be kept clear.
  - ACC WC to be laid out according to DOC M including grab rails, mirror, alarm cord and reset.
  - Rendered block wall with painted hardwood timber handrail fixed with S.S. wall brackets.
  - Painted hardwood timber handrail.
  - Polyester Powder Coated (PPC) and Pre-Galvanised metal Balustrade.
  - New Door. Secure by Design. Structural Engineer to inspect head of door for lintel changes.
  - Upgrade ceiling to FR 60 minute with 2 No. Layers 12.5mm fireline plasterboard on resilient bars. (Check existing) - see Details.
  - Inspect existing and upgrade walls to REI 60 Fire Resistance, use **'Envirograf Product 105' Paint or similar approved**
  - New MVHR System (Mechanical Ventilation with Heat Recovery) by specialist supplier and installer.
  - Install new REI 30 minute Fire Resistant suspended ceiling for MVHR system. See Details.
  - Upgrade Lath and Plaster Ceiling to FR 60 using use **'Envirograf Product 105' Paint or similar approved**
  - New sign on door to say 'Maintenance access only - Keep Locked'.
  - Existing Door refurbished and upgraded to FD30s.
  - Wall to be inspected for loose / broken tiles and loose flashings and repaired.
  - Interior Lining to be retained. (Potential strip out and make good TBC).
  - Existing secondary glazing retained.
  - Make good floor under removed wall.
  - Remove Existing Suspended Ceiling, make good ceiling / walls and repair cornices.
  - Install new Ceramic Core Radiator - refer to Schedule of Works.
  - Acoustic Insulation (50-100mm) around MVHR Ducts.
  - New Maintenance Access Ladder- Metal.
  - New Metal Access Gate 1100mm High.
  - WC and Sinks removed and Services to be capped off.
  - Wall overboarded with 12.5mm Fireline plasterboard OR painted with fire resistant paint suitable for lath+plaster, such as **'Envirograf product 105'** or similar approved.
  - Roof coverings to be assessed to see if there is a requirement to improve fire integrity to meet Part B.
  - Install 300mm Rockwool Insulation above ceiling (or similar approved)
  - Install 120mm Rockwool Insulation between floor joists (see detail)
  - Install 80mm foil backed insulation between roof joists (see detail)
  - Install 25mm foil backed rigid insulation directly to wall (see detail)
  - New 140mm Stud wall infill with full fill Rockwool Insulation and Vapour control layer internally.
  - Extension demolished.
  - Install 2 No. layers of 15mm Fireline Plasterboard around steelwork.
  - New metal security bars to Basement Windows.
  - Original door to be repaired and handed to open from right to left.
  - Replace WF2 like for like with toughened laminated safety glazing.
  - MVHR Duct Terminals
  - REI 60 minute boxed riser around MVHR ducts.
  - Remove existing pointing and re-point with Lime Mortar - See SOW.
  - New Newton Lath Basement Damp Proof Membrane and New Lining. See SOW
  - Replace all internal plaster to external walls as described in the SOW.

A1 Sheet Size

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B	12.02.2025	Revisions for BC Plan Check (Clouded).
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D	28.07.2025	Issued for Tender.

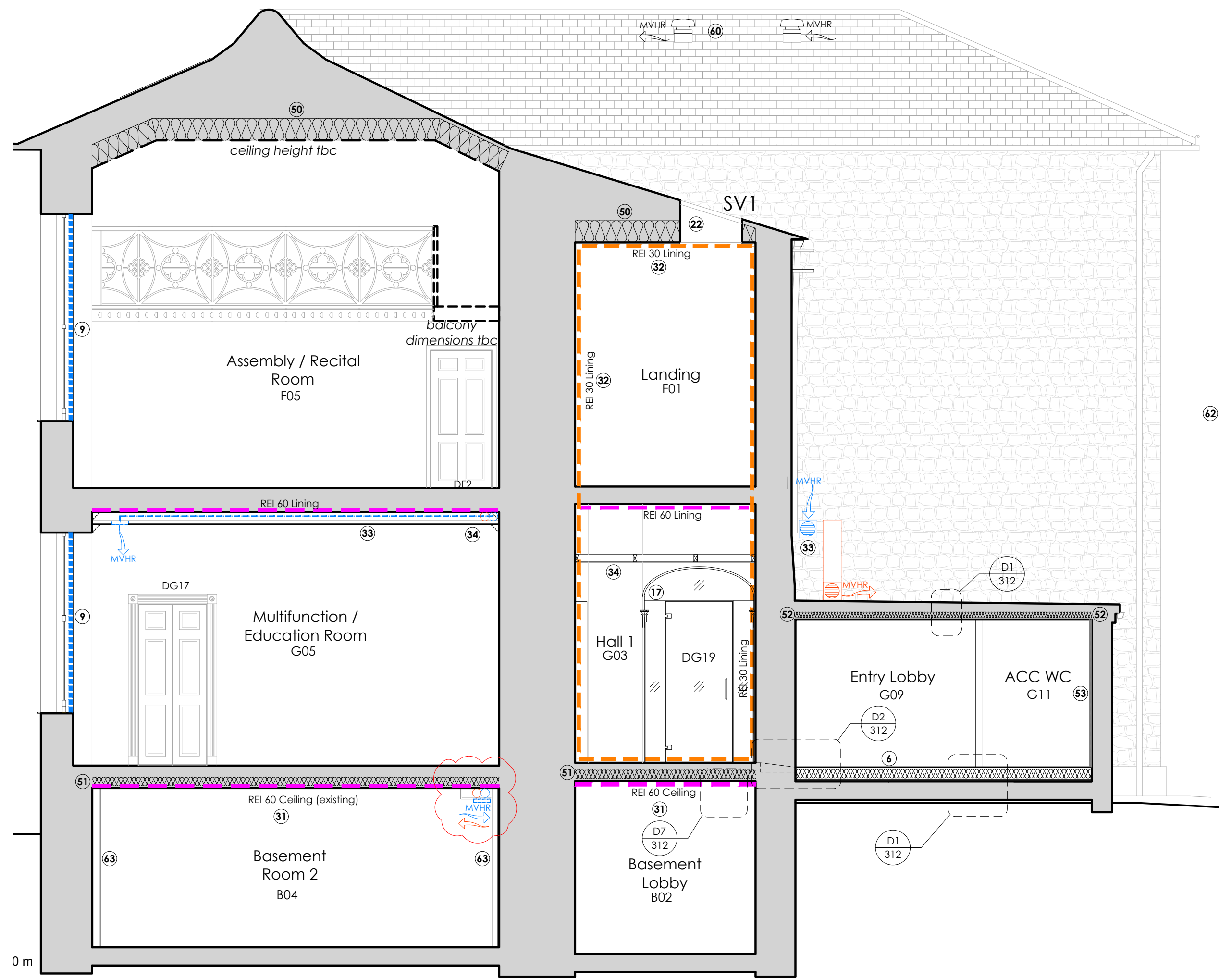
STATUS BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed First Floor Plan		
Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/303	Revision	D

Koha Architects Limited	
Tremough Innovation Centre Penryn, TR10 9TA, Cornwall	T: 01326 567212 E: info@kohaarchitects.com



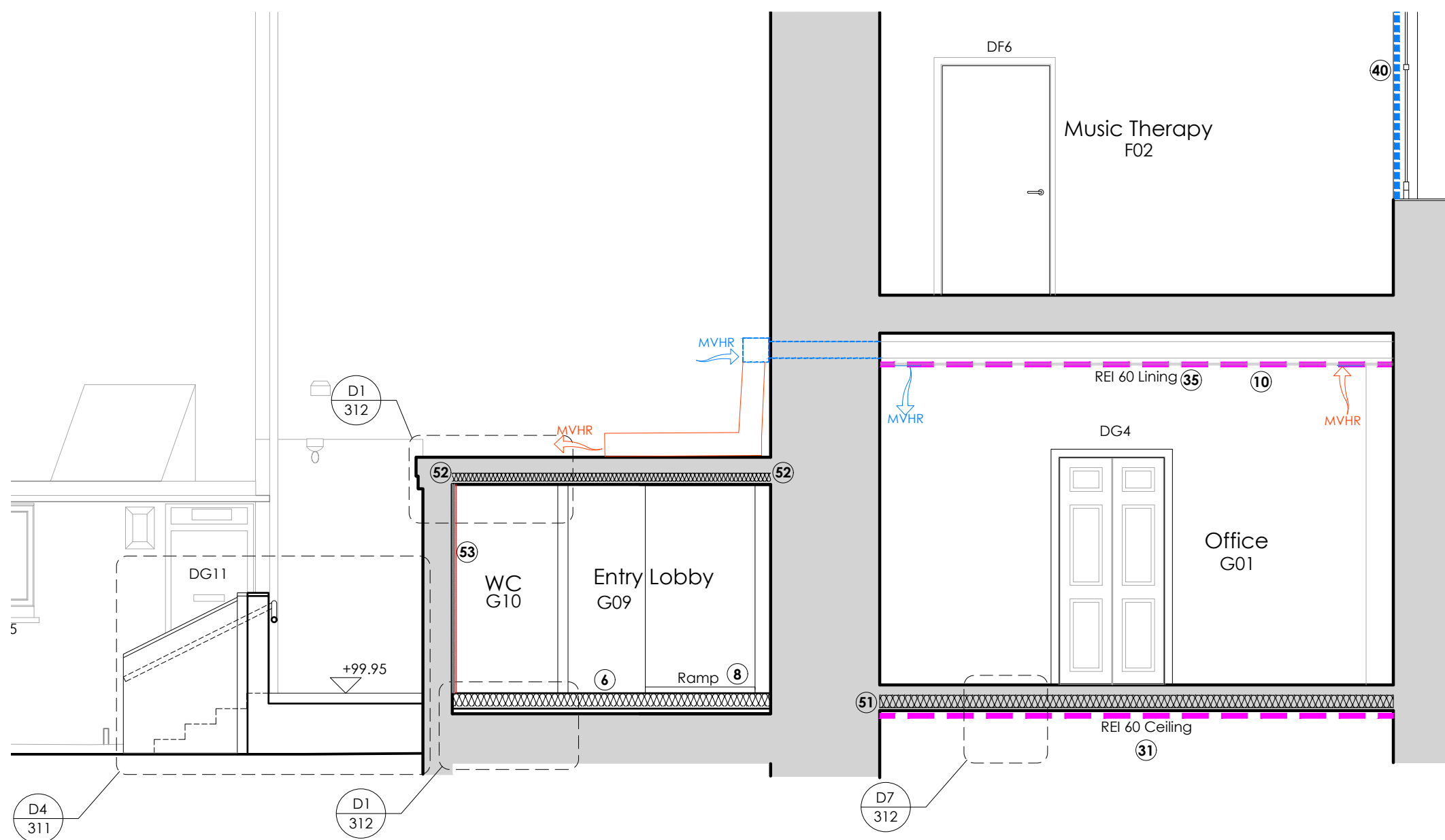




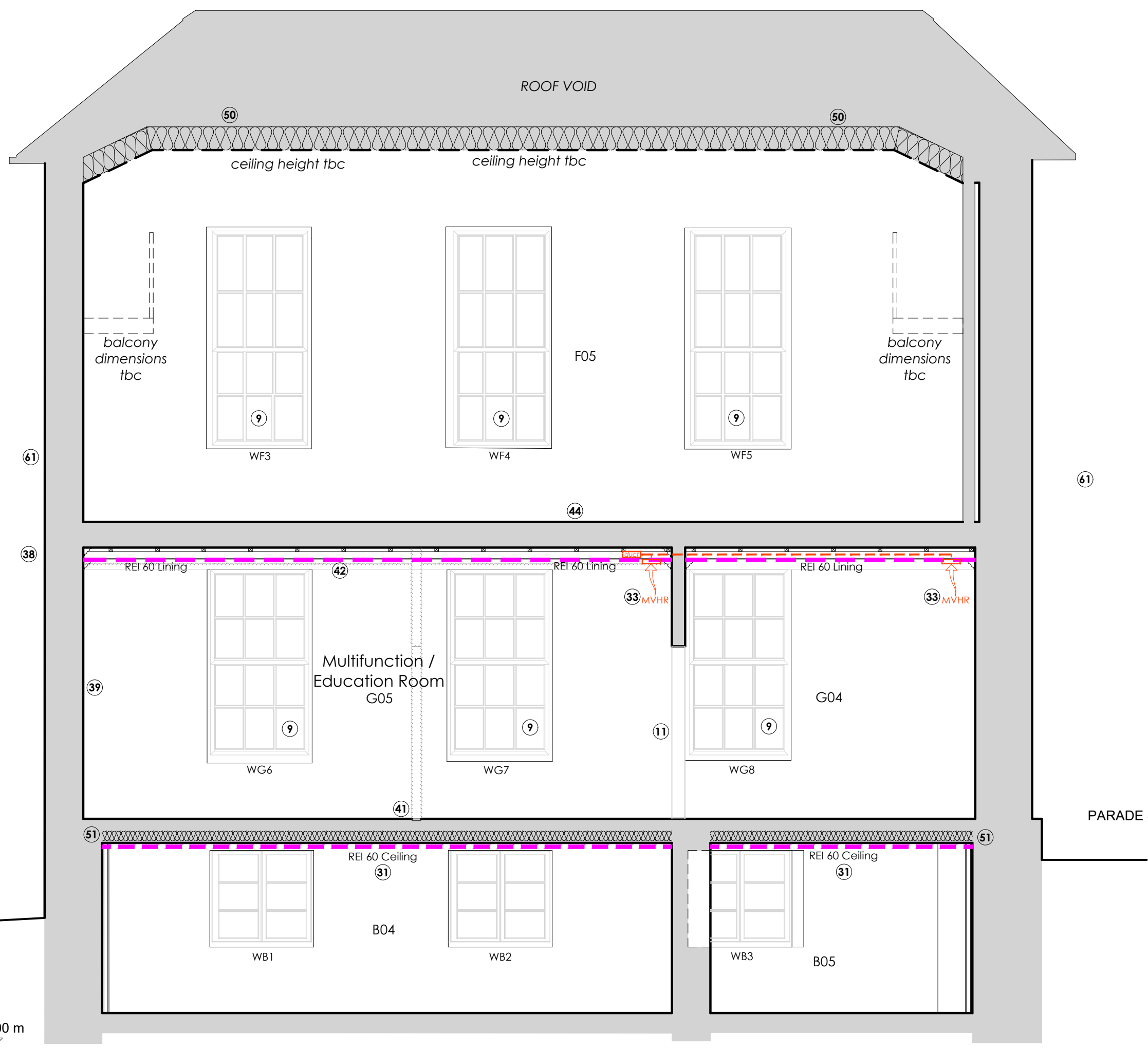
Proposed Section A-A 1:50

KEY to NUMBERED NOTES

1. Ramp landing with level threshold to Entry Lobby (WBP Structural Grade Ply with waterproof, slip-resistant finish). OR Steel Pre-Fabricated construction.
2. New steps with balustrade either side for Ambulant Access. (OR Steel as 1.)
3. 1:13 Ramp (WBP Structural Grade Ply with waterproof, slip-resistant finish).
4. Half Landing with Hatch for inspecting I.C. below.
5. Door to remain, for Escape Purposes only.
6. Floor Level raised by 200mm to improve accessibility through building and provide level threshold to exterior ramp. Ceiling height in this area will reduce to 2.03m.
7. Spaces to remain as existing.
8. New internal ramp over existing steps. 1:12 slope. Existing head height on threshold is 1980mm. See details.
9. Install Secondary Glazing. Metal, casement, single glazed with acoustic trickle vents (45dB). ALL TBC
10. New Boxing for MVHR ducts. Use 50x50mm studwork with plasterboard lining. See Note 44.
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17. New Archway and Plasterwork coving to match First Floor. Glazed Infill with glazed door.
18. Contrasting nosings to existing stairs to comply with Part M.
19. Signage added to door to state 'Maintenance Access to Basement Only. Take care when opening door due to Staircase' - Contrasting nosings to basement stairs required as 18. above.
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23. Allow for new lighting to rooms G04, G05 and Hall 2.
24. New marmoleum floor to WC's. New Heavy Duty Carpet to Entry Lobby. Existing floor finishes disposed of.



Proposed Section B-B 1:50  
Proposed Sections 1:50



Proposed Section C-C 1:50

25. Refuge area to be kept clear.
26. ACC WC to be laid out according to DOC M including grab rails, mirror, alarm cord and reset.
27. Rendered block wall with painted hardwood timber handrail fixed with S.S. wall brackets.
28. Painted hardwood timber handrail.
29. Polyester Powder Coated (PPC) and Pre-Galvanised metal Balustrade.
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32. Inspect existing and upgrade walls to REI 60 Fire Resistance, use 'Envirograf Product 105' Paint or similar approved.
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39. Interior Lining to be retained. (Potential strip out and make good TBC).
40. Existing secondary glazing retained.
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42. Remove Existing Suspended Ceiling, make good ceiling / walls and repair cornices.
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44. Acoustic Insulation (50-100mm) around MVHR Ducts.
45. New Maintenance Access Ladder - Metal.
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60. MVHR Duct Terminals
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62. Remove existing painting and re-point with Lime Mortar - See SOW.
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ES	Escape signage to BS 5499 Brass or Brass Effect Backplate
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STATUS  
BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Sections Section A-A Section B-B		
Scale	1:50 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/305	Revision	E

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T: 01326 567212  
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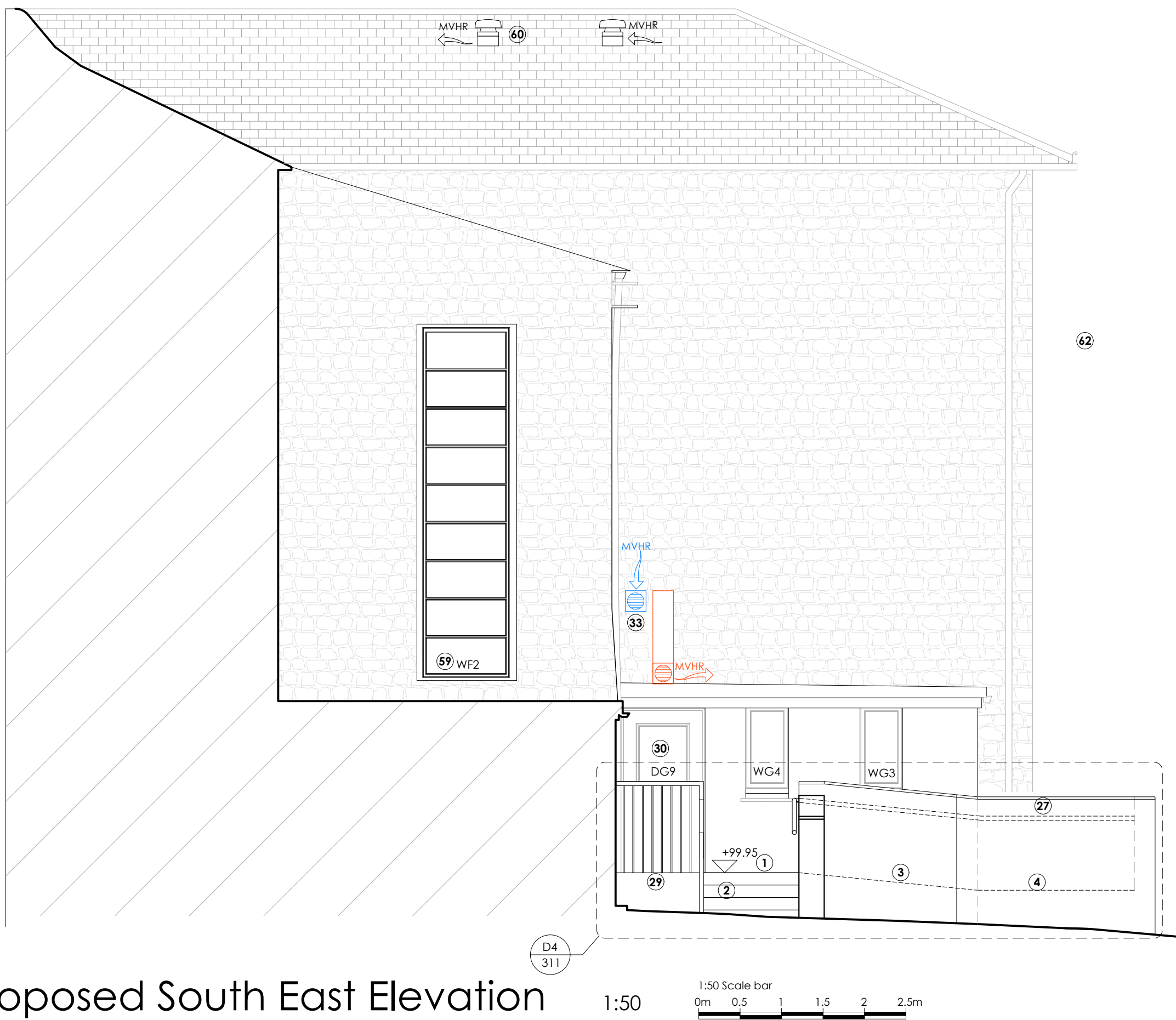
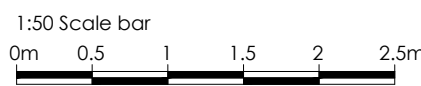






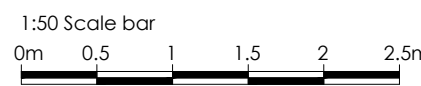
Proposed North East Elevation

1:50



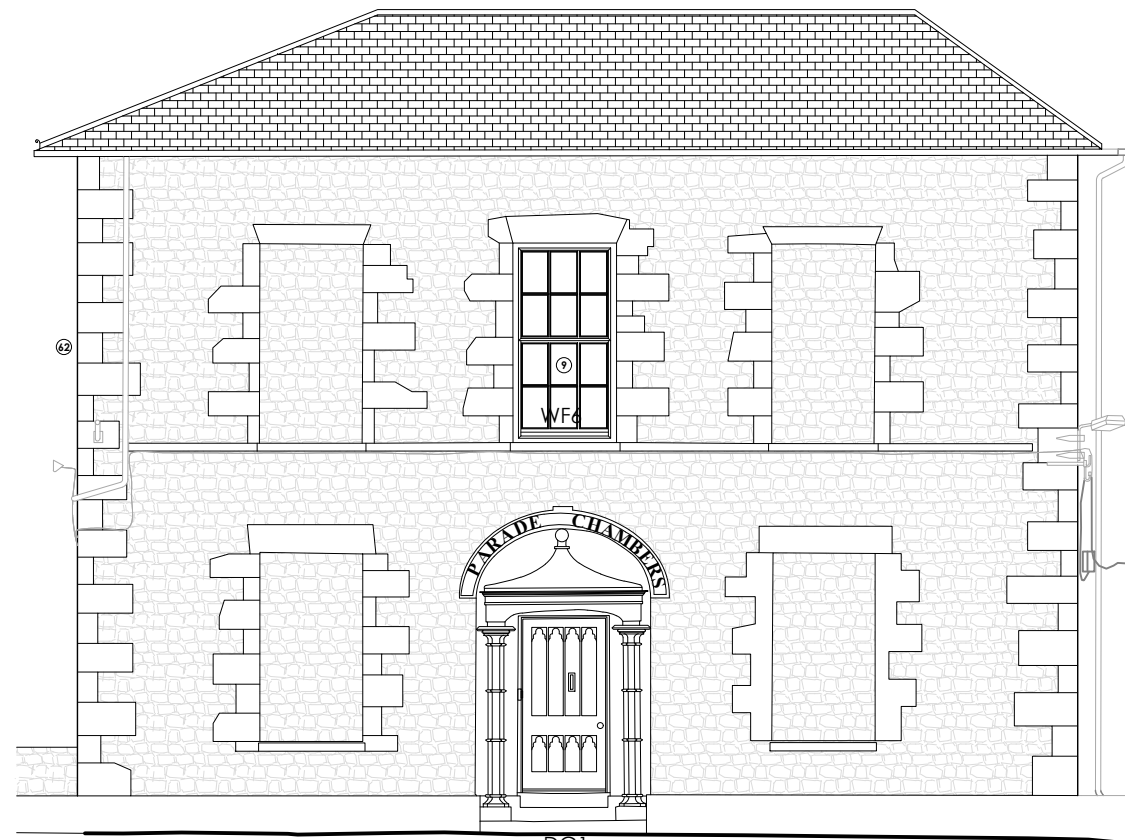
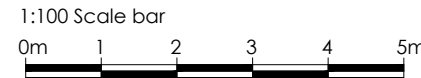
Proposed South East Elevation

1:50



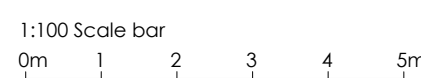
Proposed North West Elevation

1:100



Proposed South West Elevation

1:100



Proposed Elevations

SYMBOLS LEGEND	
RE	Rodding Eye Point
IC	Inspection Chamber (IC) 450Ø
→	Proposed PVCu Surface Water Drain
→	Proposed PVCu Foul Drain
RWP	Rainwater down pipe discharging into trapped roddable gully
CO	Carbon Monoxide Detector
H	Heat Detector
S	Smoke Detector
REI 60	REI 60 Fire Compartment
REI 30	REI 30 Fire Compartment
---	Secondary Glazing position
MVHR	MVHR - Mechanical Ventilation with Heat Recovery; Indicative system shown
FDa	Fire Damper / Acoustic Baffle
CAP	Ceiling Access Panel

FIRE ESCAPE STRATEGY KEY	
Emergency Lighting to BS 5266	
Refuge point - Clear Space min 900x1400mm as per Part 8.	
Call Point	
Emergency Voice Communication Point	
Fire Escape	
Fire Alarm Control Panel	
Assembly point	
Escape signage to BS 5499 Brass or Brass Effect Backplate	
Fire Alarm	
Fire Extinguisher	
Access points to building	
Fire Door	
FDa - Fire Damper / Acoustic Baffle	

HOSE DISTANCES FOR FIRE SERVICE	
A : 28m - Basement to Exit (incl. vertical of 3.7m)	
B : 16.7m - Ground Floor to Exit	
C : 23.9m - First Floor to Exit (incl. vertical of 4.7m)	

See Floor Plans for Key to numbered notes

CDM & HEALTH & SAFETY NOTES.	
Contractor to provide temporary protection to minimize risk of falling.	
No fires are permitted on site.	
If asbestos is discovered on site, <b>ALL WORKS MUST STOP</b> until it has been removed by an approved specialist sub-contractor. 1. Suspected asbestos containing material (ACM) to existing gutter.	
Weather tightness to be maintained by Contractor following the formation of new openings/ and windows and door replacement/repairs.	
PPE must be worn at all times. All equipment <b>MUST BE</b> sanitised before use. Provided and maintained by Contractor. A First Aid trained person must be on site at all times.	
Refer to S.E. drawings regarding hazards. Contractor to provide method statements where requested.	
Caution when handling heavy materials such as steel beams and concrete blocks.	
All scaffolding to comply with BS5876-2008 and BS EN12811-1-2003.	
Care to be taken when working from height. Allow for guardings and all gangways to be clear at <b>ALL TIMES</b> to avoid tripping. Care to be taken when walking underneath somebody working.	
Contractor to provide temporary weather protection during removal of roof structure.	
Contractor to identify and isolate existing services and disconnect in accordance with work program as works proceed.	
Contractor must be aware and reduce the risks associated with the public road and buildings adjacent.	
Contractor must be aware and reduce the risks associated to working below and around Overhead Power Cables.	
Due care and attention to be given during all demolitions.	
Refer to the Bat & Bird Assessment and Bat Emergence Survey report provided by Plan For Ecology for suggested enhancements. If a Bat is discovered, all works on site <b>MUST STOP</b> until a qualified ecologist has been to site to remove and relocate the bat.	
Care to be taken when working adjacent to overhead power cables.	
Allow for temporary protection of existing manhole covers.	

A1 Sheet Size		
NOTES		
1. All dimensions and levels are to be checked on site by the Main Contractor before work commences. The Architect is to be informed immediately of any discrepancies.		
2. Do not scale this drawing for Construction purposes, use written dimensions only.		
3. Larger scale drawings are to be used over smaller scale drawings.		
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Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Revisions for BC Plan Check (Clouded).
C	21.02.2025	Revisions for BC Plan Check (Clouded).
D	19.05.2025	Revisions for BC Plan Check (Clouded).
E	28.07.2025	Issued for Tender.

Status			
BUILDING CONTROL/TENDER			
Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Elevations		
Scale	1:50&1:100 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/310	Revision	E

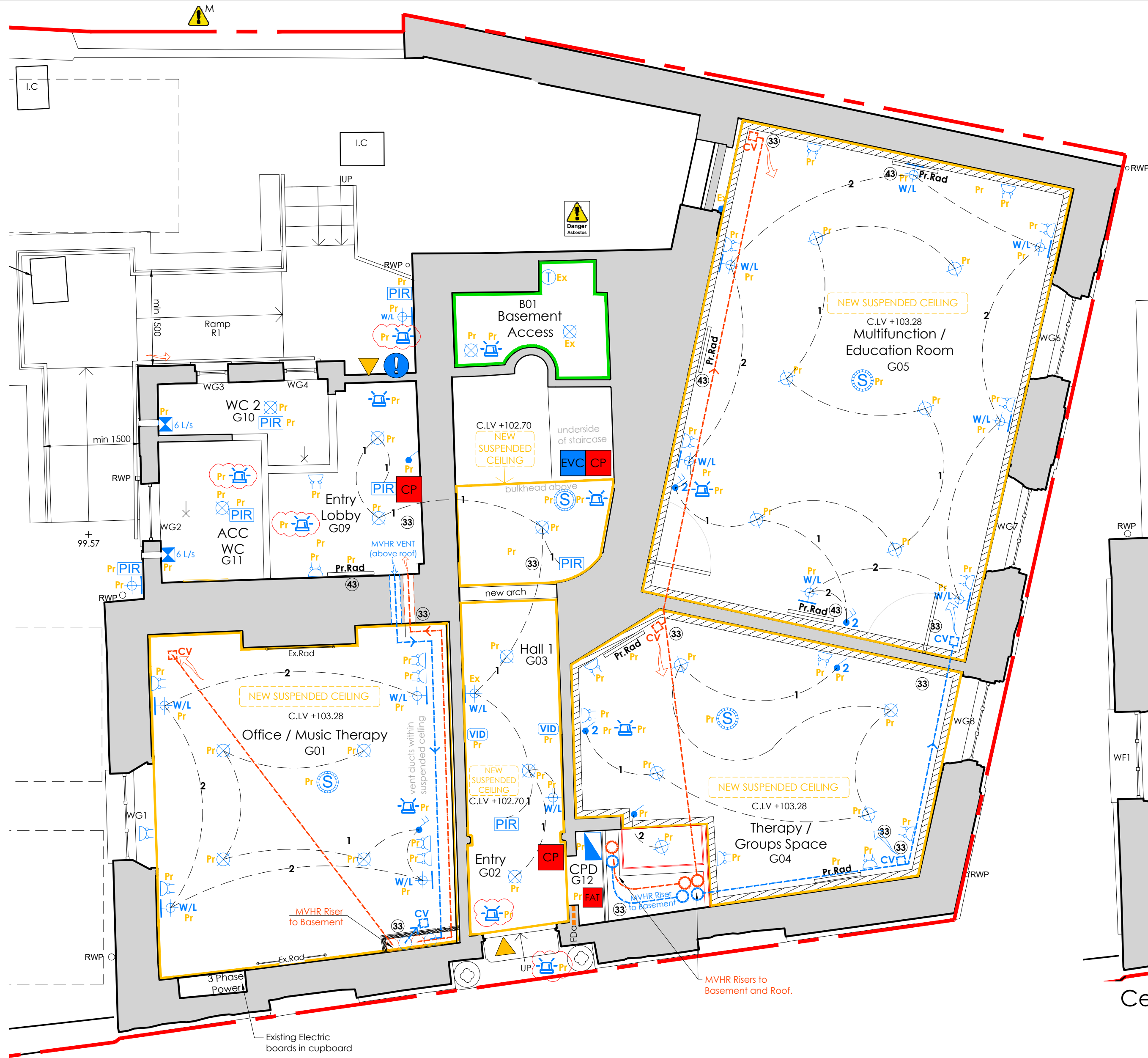
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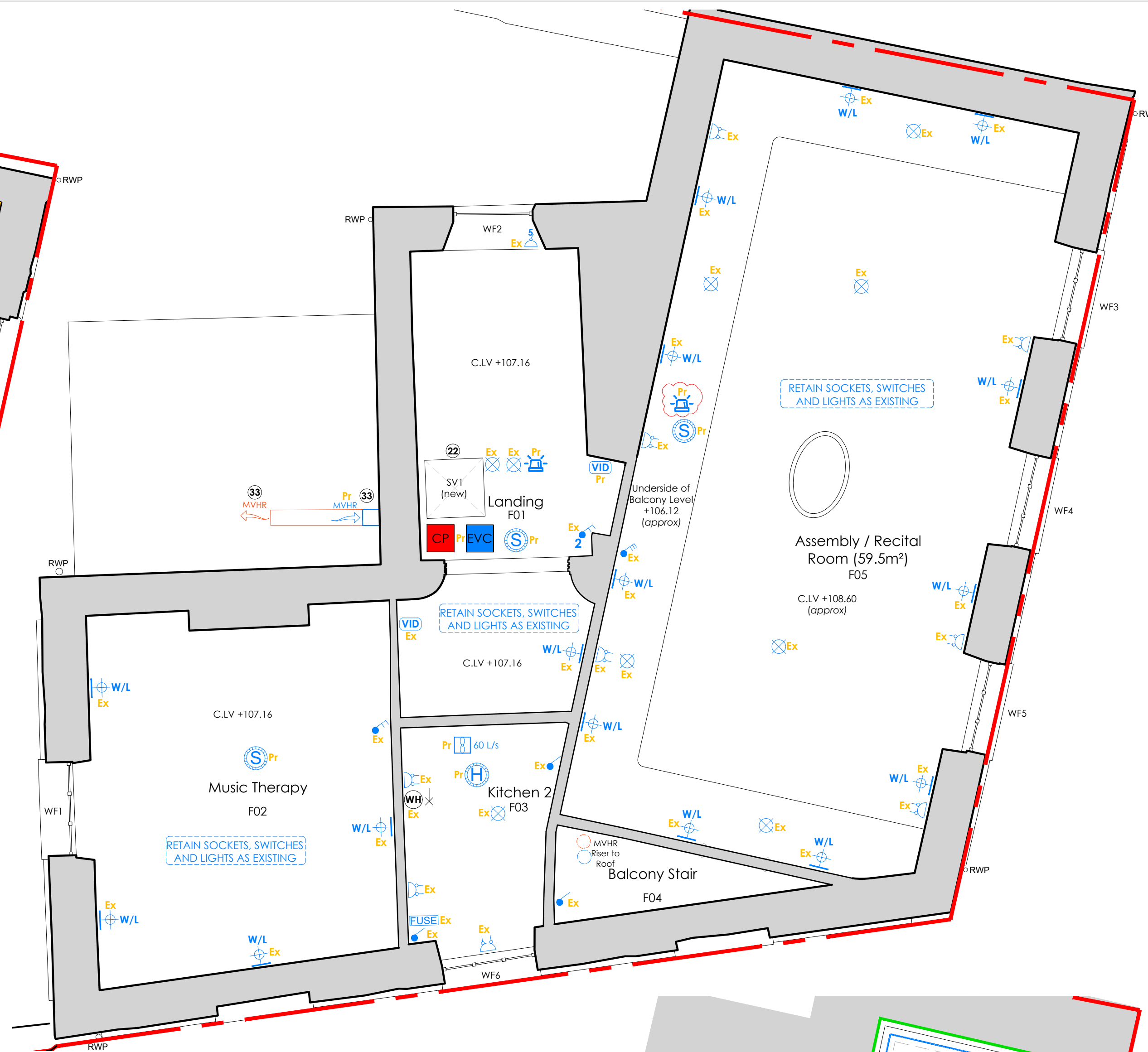
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Ceiling over Ground Floor showing M & E scale 1:50



Ceiling over First Floor showing M & E scale 1:50



Ceiling over Basement Floor showing M & E scale 1:50

ELECTRICS / PLUMBING KEY	
Ex or Pr	Existing or Proposed Element
Spotlight LEDs	
Recessed Kitchen Unit/ Skirting LEDs	
Surface mounted lighting	
Bathroom mirror lighting	
Feature pendant lighting	
Fluorescent Strip light	
Emergency Lighting to BS 5266	
Ceiling extract fan	
Through the wall extract fan	
PIR Sensor	
CCTV Camera	
Video Link : Screen Provided by others.	
Intercom	
HDMI & CAT 6 or 5e as necessary for TV provider	
Television aerial outlet	
Telephone socket	
Double 13 amp socket outlet above counter	
13 amp socket outlet above counter	
Double 13A power outlet : Flush Mounted	
Single 13A power outlet : Flush Mounted	
5A power outlet	
Fused Spur	
External socket outlet with cover	
Front door push & bell	
Light switch : Flush Mounted	
2 or 3 way switching : Flush Mounted	
Pull Cord switch	
Smoke Detector	
Heat Detector	
Carbon Monoxide	
FUSE	Fuse Board

FIRE ESCAPE STRATEGY KEY	
Emergency Lighting to BS 5266	
Refuge point - Clear Space min 900x1400mm as per Part 8.	
Call Point	
Emergency Voice Communication Point	
Fire Escape	
Fire Alarm Control Panel	
Assembly point	
Escape signage to BS 5499 Brass or Brass Effect Backplate	
Fire Alarm	
Fire Extinguisher	
Access points to building	
Fire Door	
FDa Fire Damper / Acoustic Baffle	

Consumer Unit	
Thermostat	
Lighting Circuit and Room Circuit no.	
Air Handling Unit for MVHR	
MVHR Air Extract Location and ducting	
MVHR Air Input Location and ducting	
Ceiling Vent / Wall Vent	
Existing / Proposed Radiator	
Heated Towel Rail	
Cold Water Tap	
Water Heater	
Water Meter	

KEY TO CEILINGS	
New ceiling fixed to underside of existing joists	
New suspended ceiling	
New Cornice to match existing	

HOSE DISTANCES FOR FIRE SERVICE	
A : 28m - Basement to Exit (incl. vertical of 3.7m)	
B : 16.7m - Ground Floor to Exit	
C : 23.9m - First Floor to Exit (incl. vertical of 4.7m)	

**NOTES:**  
**DIMENSIONS**  
 - All drawing dimensions are for pricing purposes only, contractor to provide wiring and installation diagrams.

**ELECTRICS**  
 Extend existing electrical system. All electrical work required to meet the requirements of Part P must be designed, installed, inspected and tested by a competent person. Prior to completion the council should be satisfied that Part P has been complied with. This may require an appropriate BS7671 certificate to be issued for the work by a competent person.

**WIRING**  
 New wiring to all new sockets, lights and switches generally. Indicative light circuits shown. Existing to be kept wiring to be checked and tested and replaced if sub-standard.

**SOCKETS**  
 New or replacement Sockets to be flush mounted with white UPVC cover plates, screws to have head covers to match plate. Pipe to terminate 900mm above window head height with mesh cowl or as illustrated on drawings.

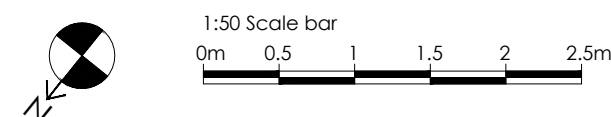
**SWITCHES**  
 New switches to be flush mounted and have brass cover plates with brass flat head screws.

**LIGHTS**  
 New light fittings to be brass, brass effect and or heritage style. All light fittings to be approved by client / architect.

**MVHR**  
 System to be designed and installed by specialist such as SouthWest Ventilation.

**PLUMBING / DRAINAGE**  
 Connect to existing septic tank with new Inspection Chambers (IC) and pipework as shown.

- Shower to have minimum 40mm ø UPVC waste pipes with 75mm deep sealed traps.
- Basins to have minimum 32mm ø UPVC waste pipes with 75mm deep sealed traps.
- WC's to have 100mm ø waste pipes.
- All bends in pipes to have 75mm min. Radius. All right angle bends to have access points.
- 110mm upvc syp to be taken up through the roof with proprietary flashing & upstand, uPVC storm collar over upstand.
- All fitted with 75mm DEEP SEAL TRAPS as required, all plumbing goods in uPVC to comply with BS.4514-1978, and installed in accordance with BS.5572-1978 and section 1 of part H 1 of the building regulations.
- Ensure that rodding access is provided at all changes in direction of pipe runs.
- Soil vent pipes are to be 110mm DIA and are to rise to open air in positions shown, soil vent pipes are to terminate away from any opening refer to Diagram 6 of section H1 of the building regulations.
- Stub stacks are to be 110mm DIA and are to be fitted with AIR ADMITTANCE VALVES 900mm above finished floor level, air admittance valve to B.S. 5415-1983, to be Agreement certified.
- Waste pipes from basins to join stack 200mm below centreline of WC pipe entry.



Reflected Ceiling Plans showing M & E

scale 1:50

## A1 Sheet Size

**NOTES**  
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Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Revisions for BC Plan Check (Clouded).
C	21.02.2025	Revisions for BC Plan Check (Clouded).
D	19.05.2025	Revisions for BC Plan Check/Scope changes.
E	28.07.2025	Issued for Tender.

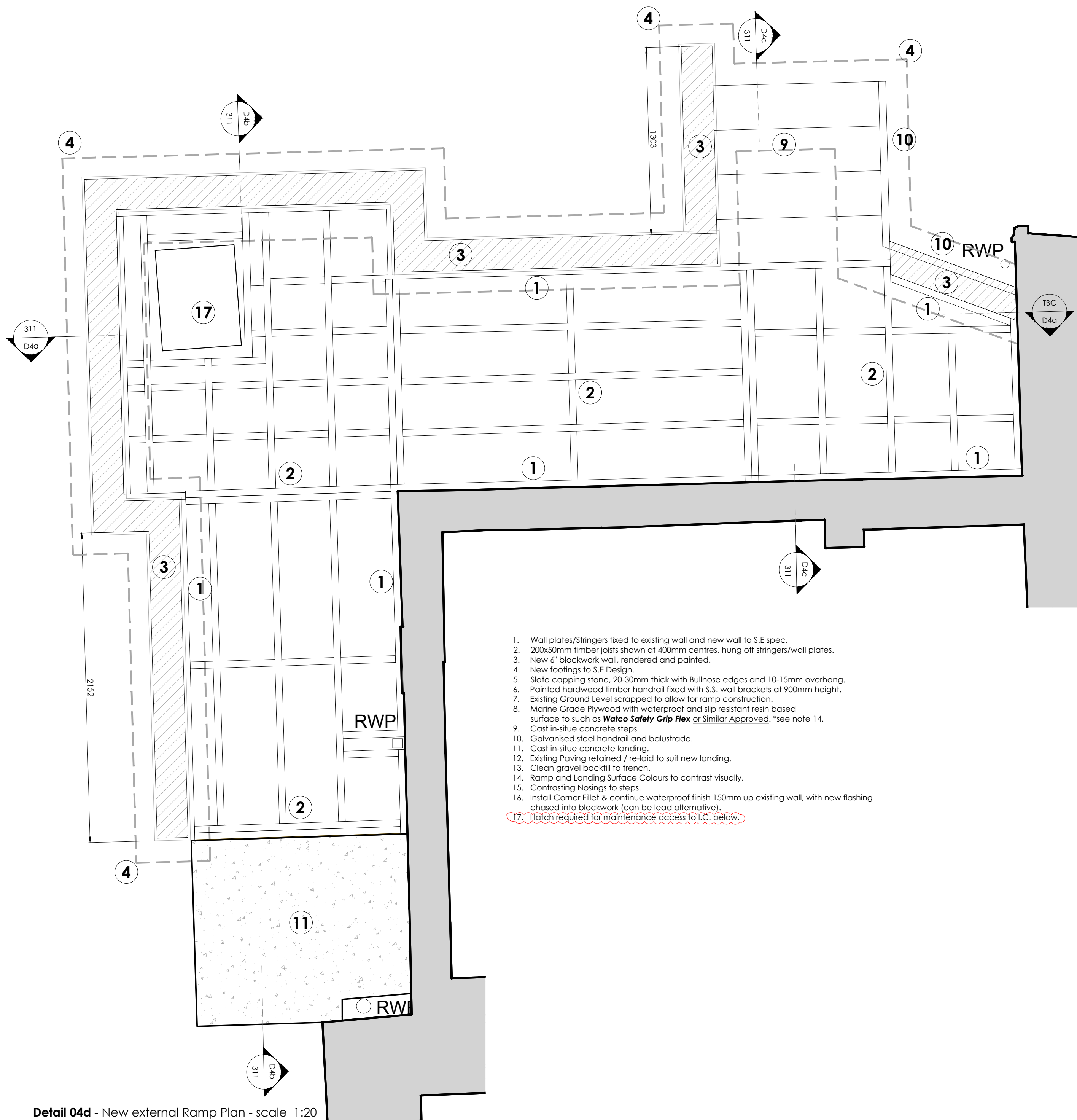
## BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Reflected Ceiling Plans showing Mechanical & Electricals		
Scale	1:50 @ A1	Drawn by	AJL
Date	13.12.2024		
Drawing Number	251/350	Revision	E

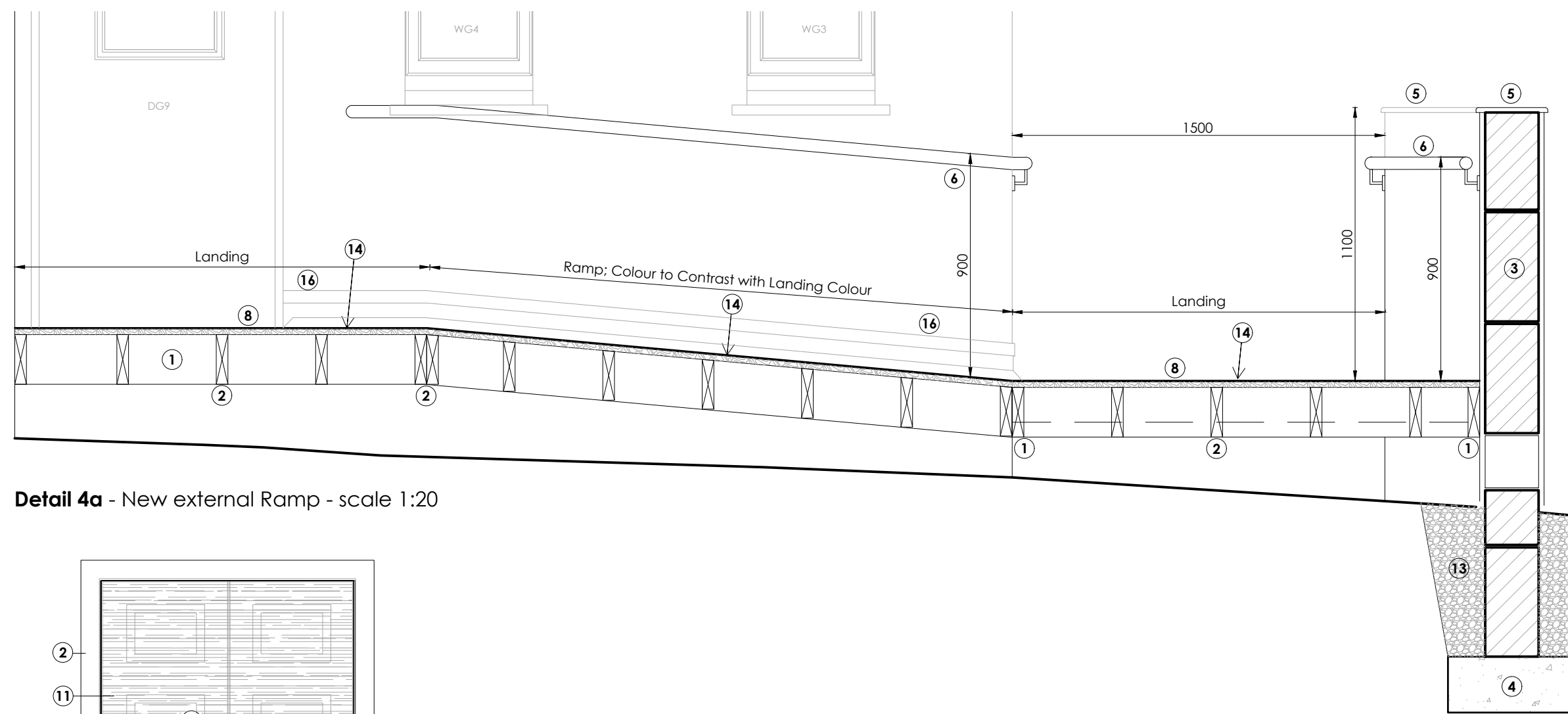
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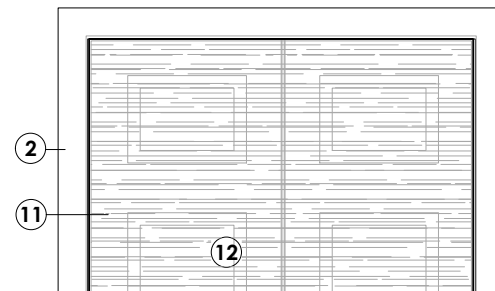




Detail 04d - New external Ramp Plan - scale 1:20

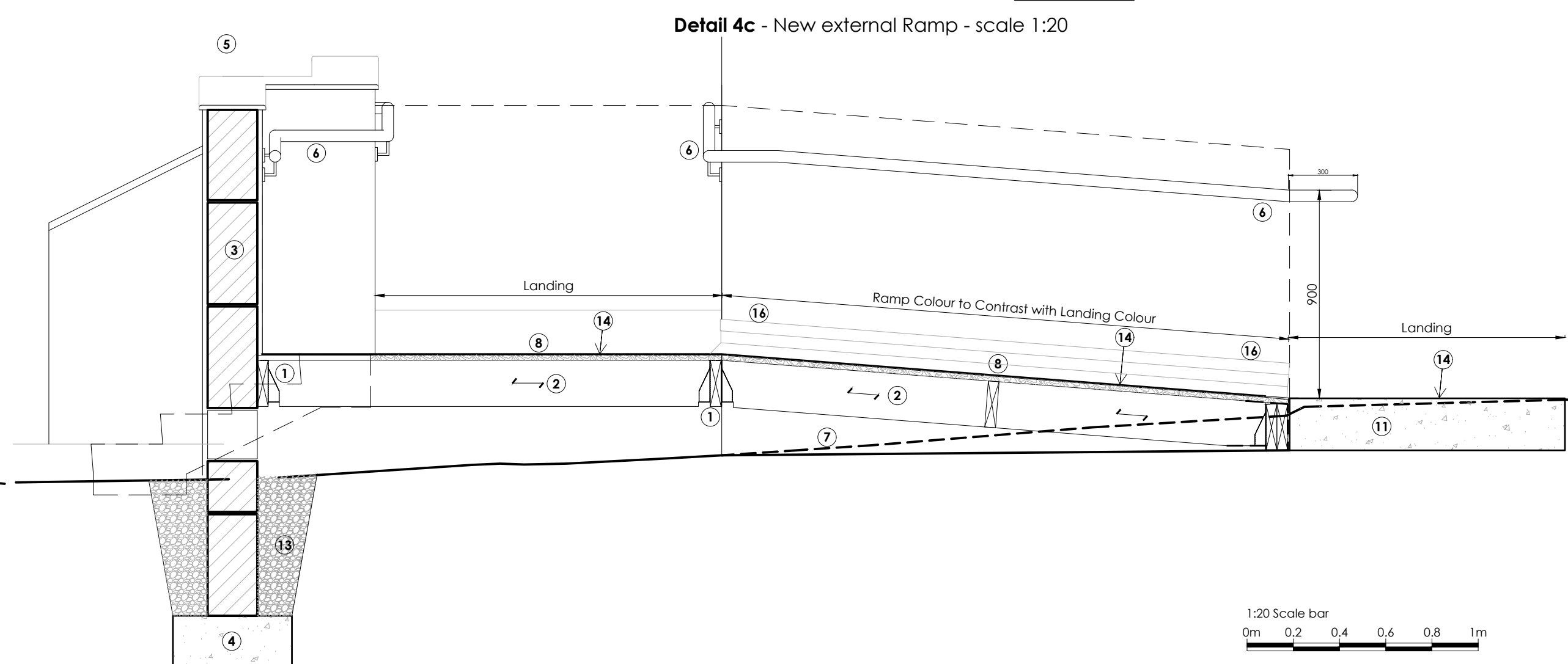


Detail 4a - New external Ramp - scale 1:20

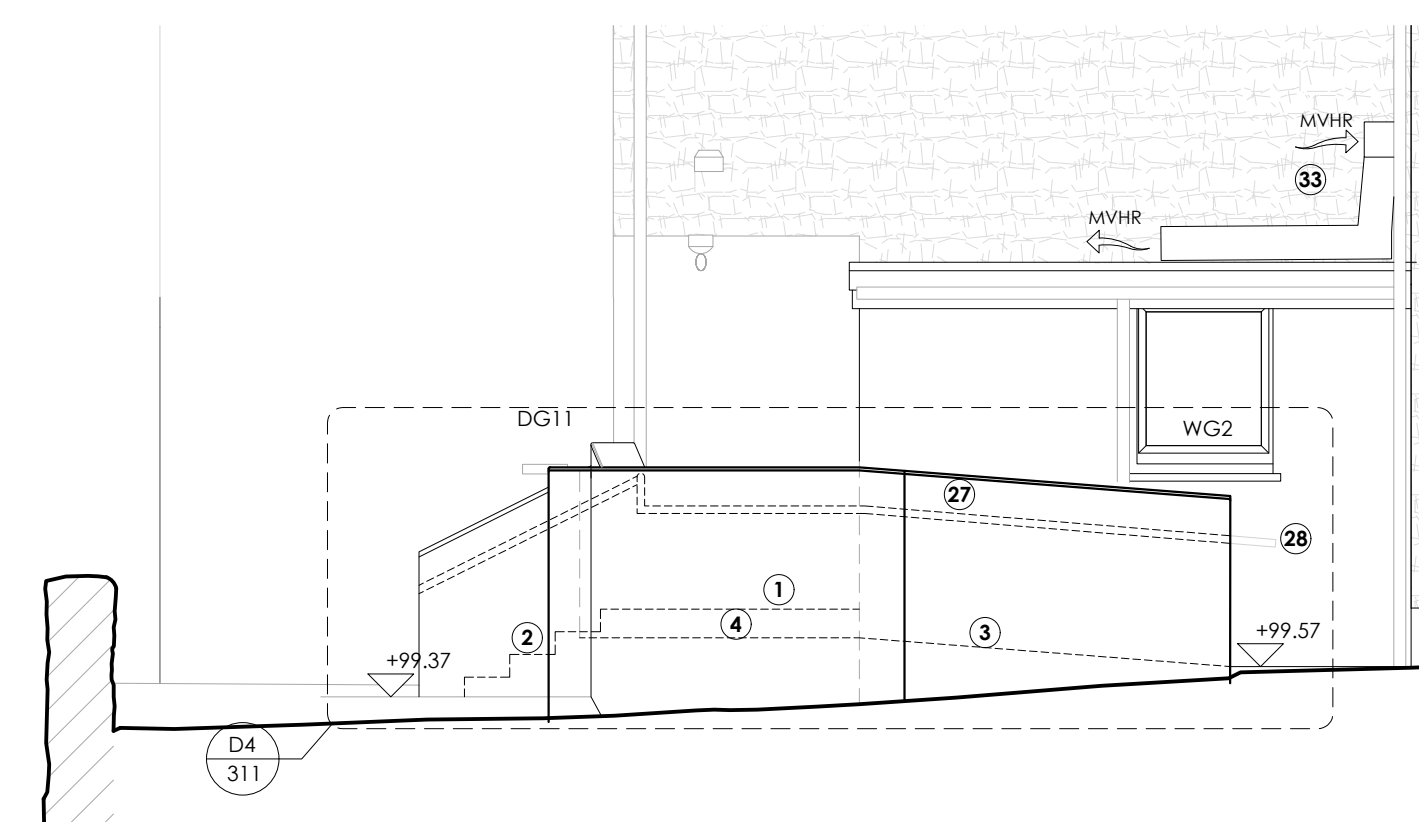


Proposed Ramp Details

various scales

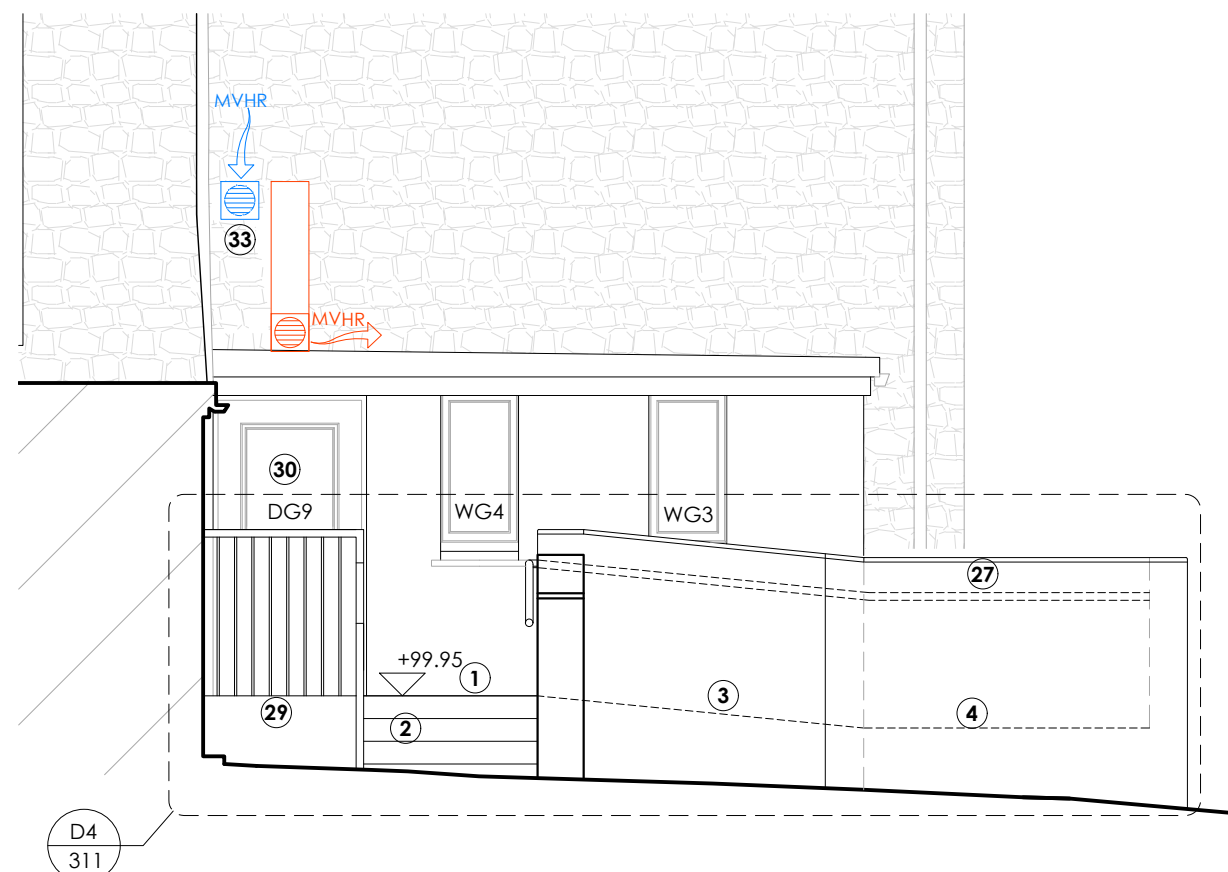


Detail 4b - New external Ramp - scale 1:20



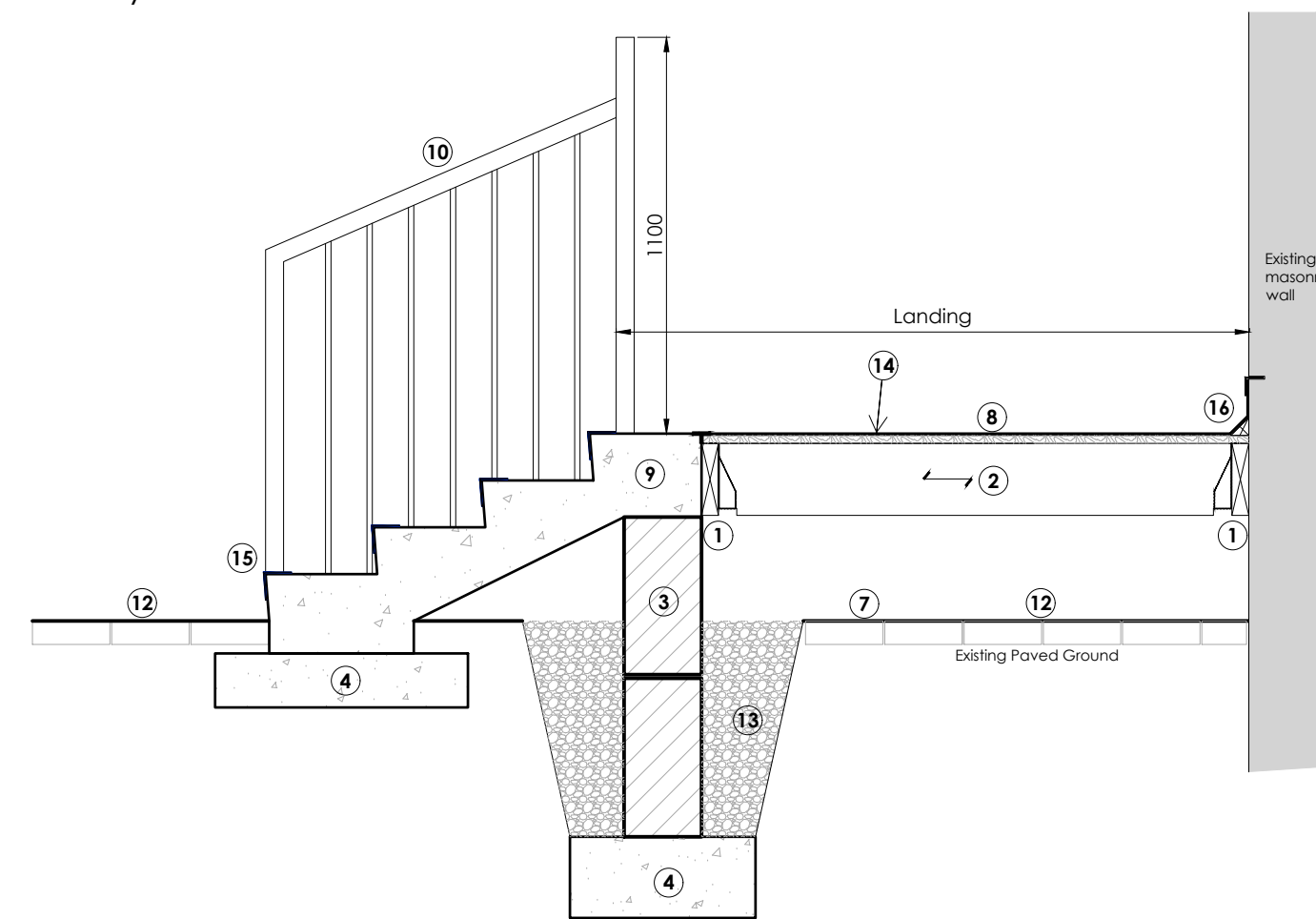
Proposed North East Elevation 1:50

\*see drawing 310 for key to notes



Proposed South East Elevation 1:50

\*see drawing 310 for key to notes



Detail 4c - New external Ramp - scale 1:20

A1 Sheet Size

NOTES

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Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Design altered to allow for Drain Chamber.
C	21.02.2025	Design altered to allow for Drain Chamber.
D	28.07.2025	Issued for Tender.

Status

BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Details Sheet 1 External Ramp		
Scale	1:50 / 1:20 @ A1	Drawn by	AJM
Date	13.12.2024		
Drawing Number	251/400	Revision	D

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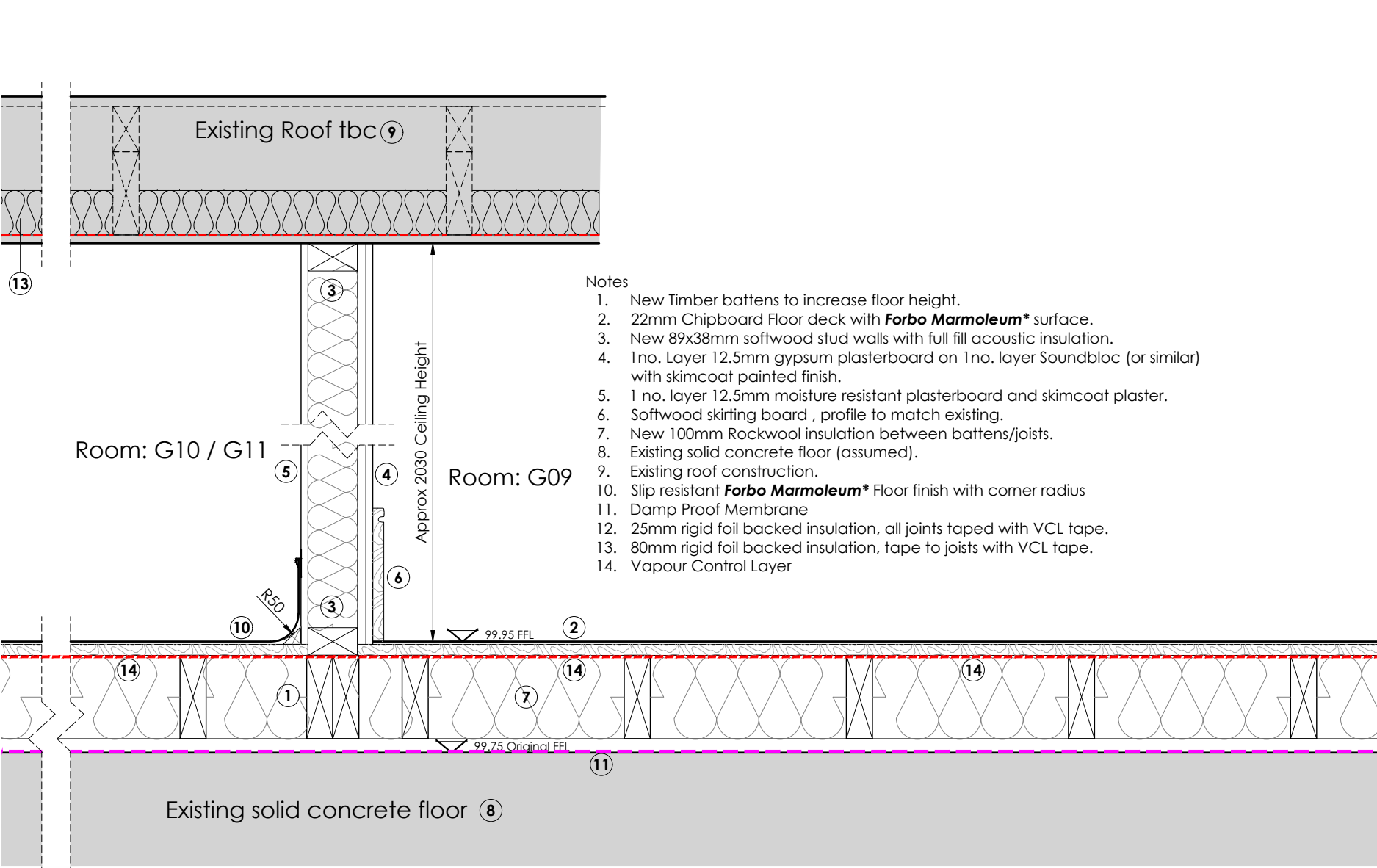
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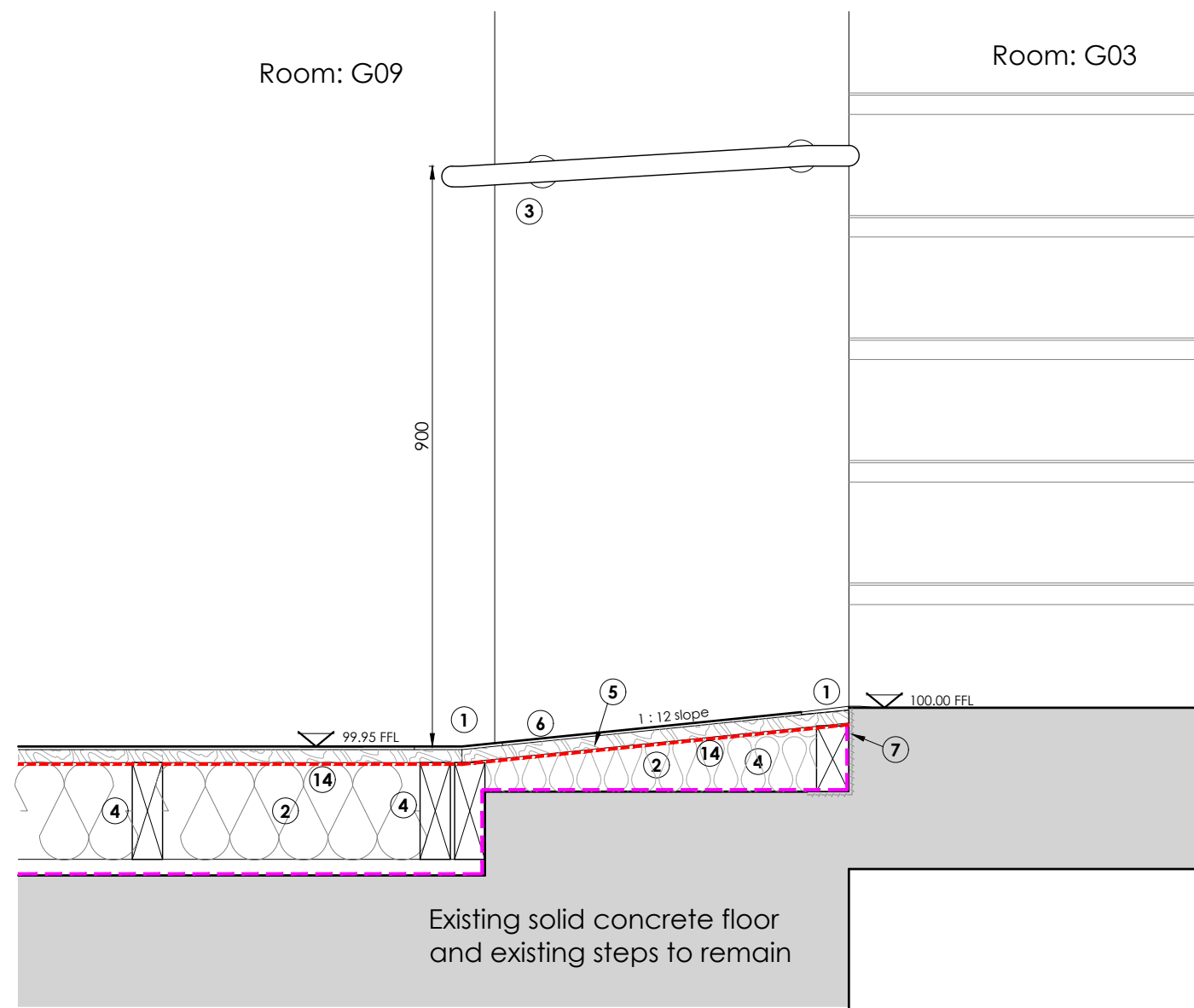
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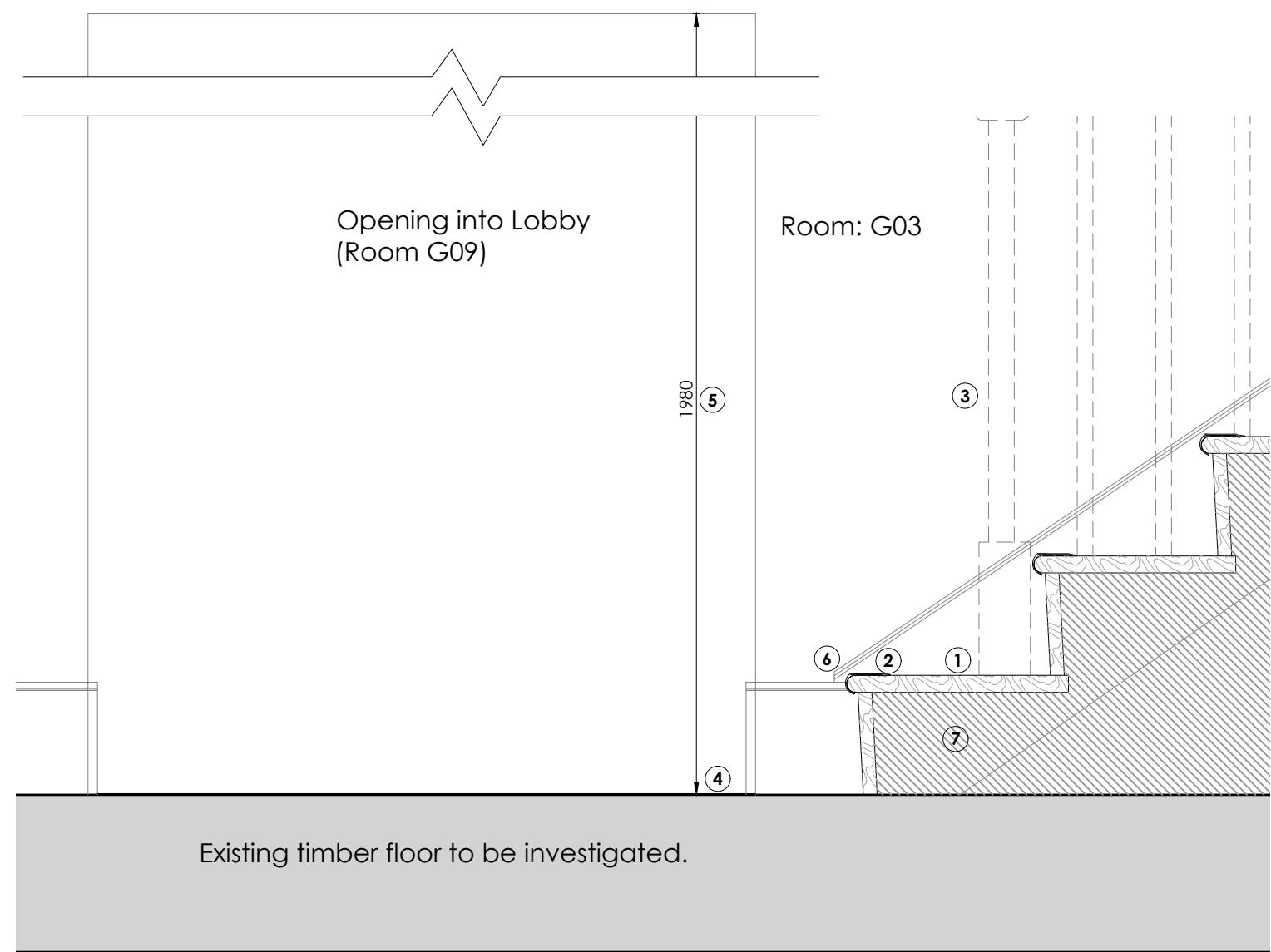




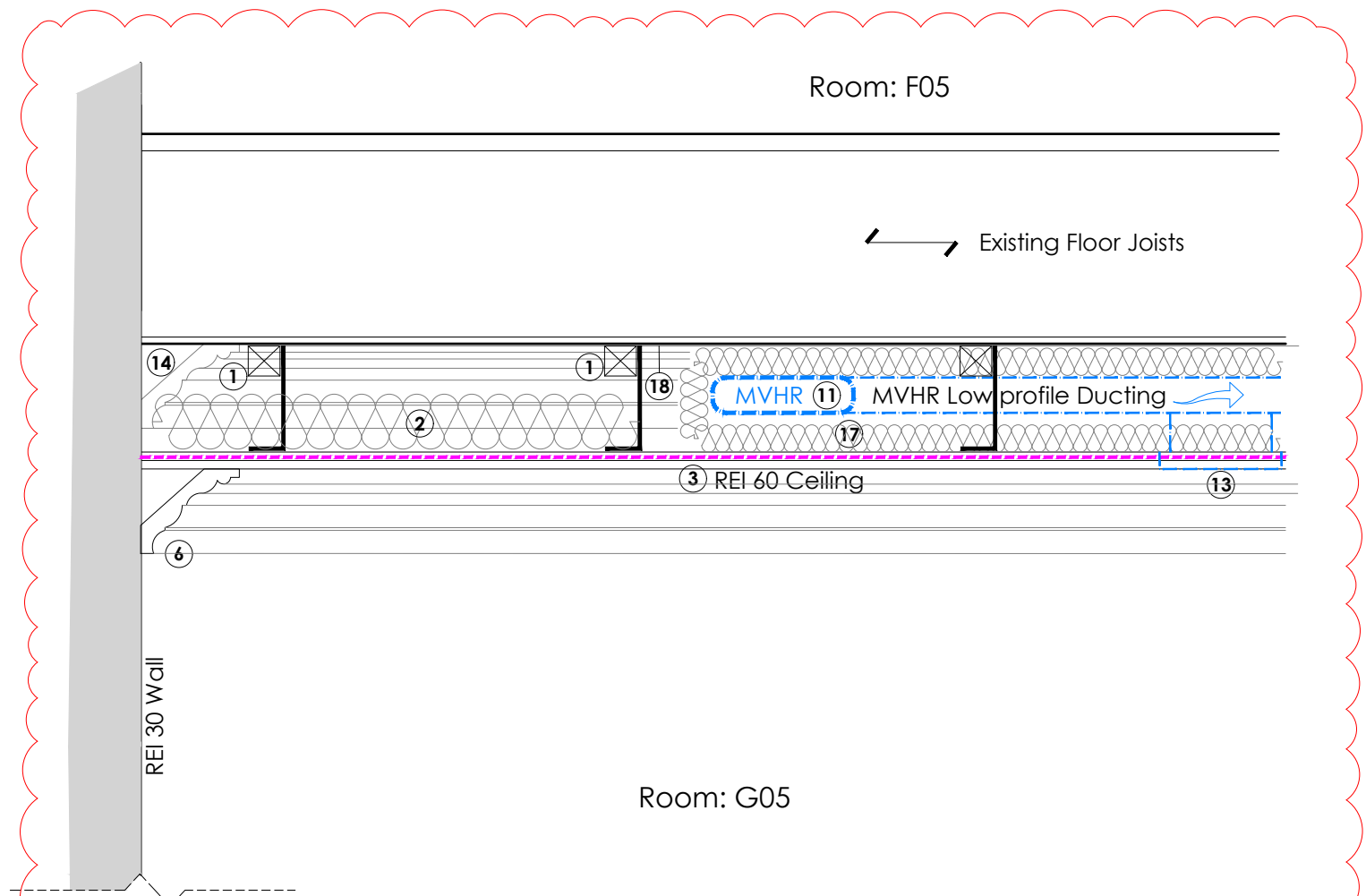
Detail 1 - New Lobby Floor and Internal Walls - scale 1:10



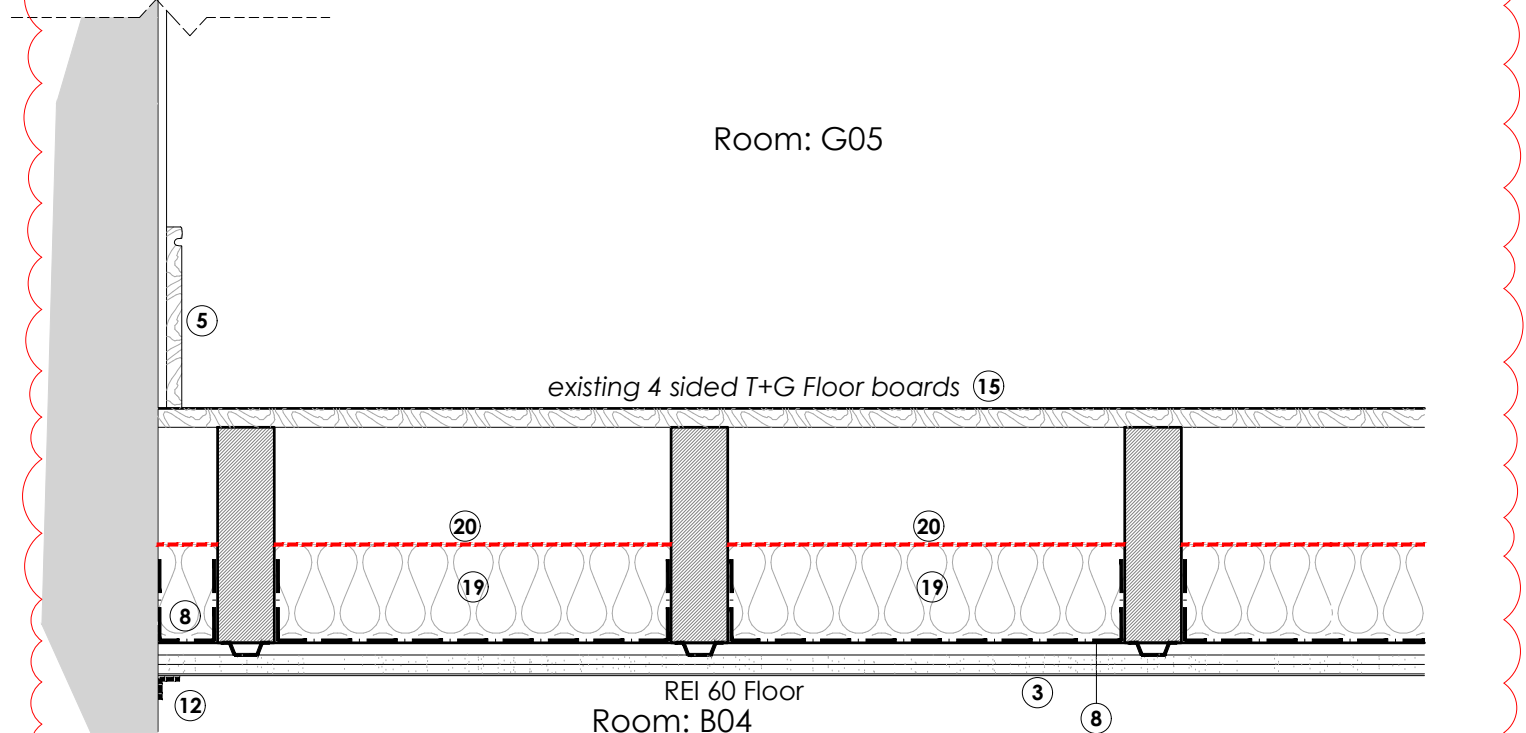
Detail 2 - New Internal Ramp over steps - scale 1:10



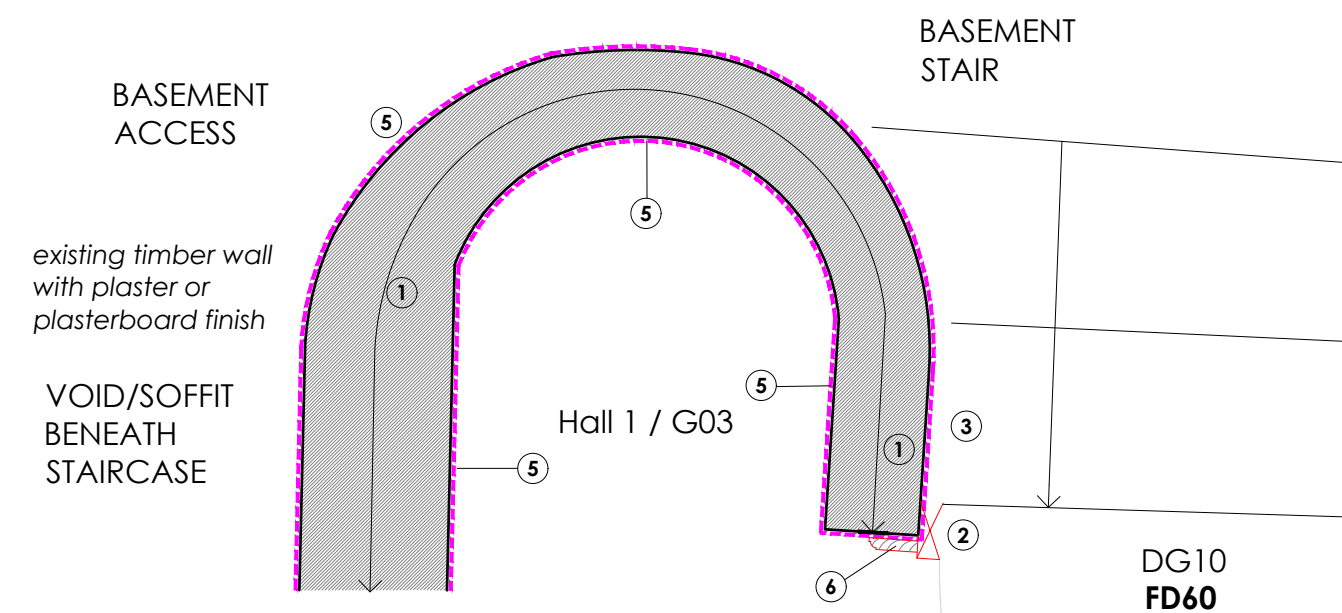
Detail 3 - Re-furbish existing stairs - scale 1:10



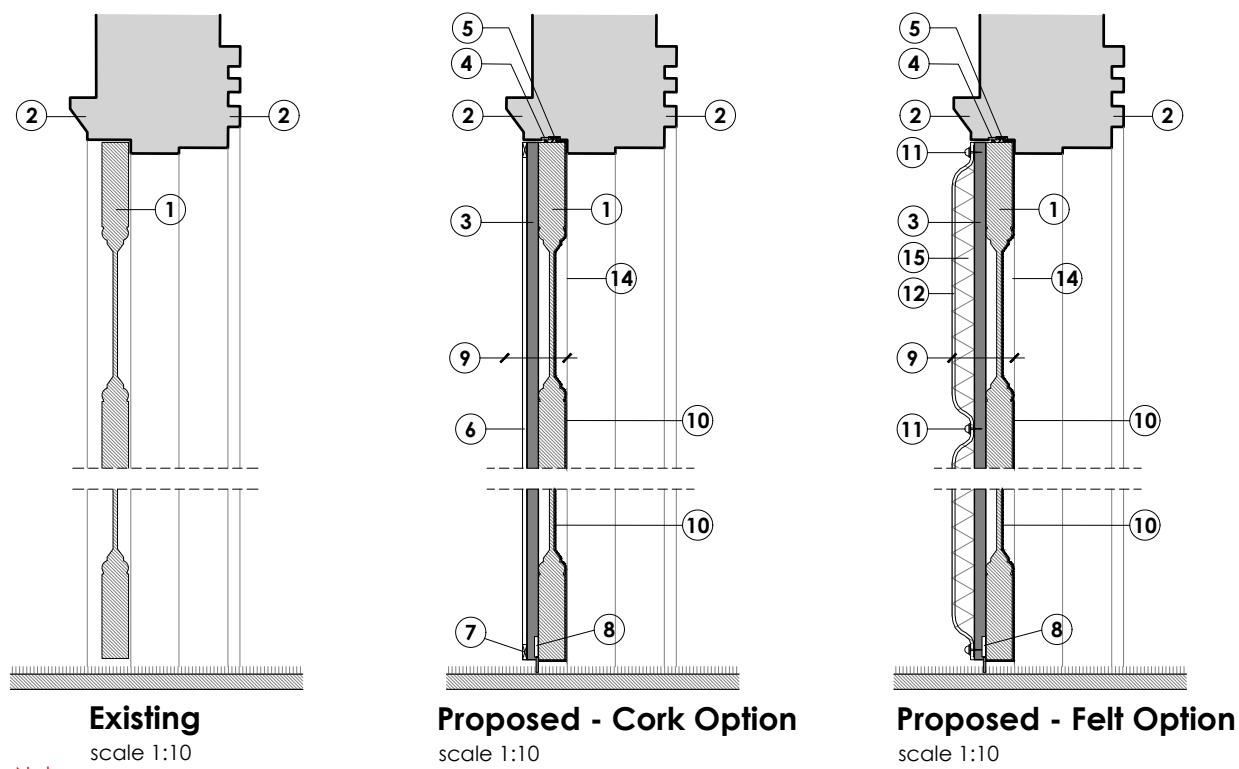
Detail 4 - New Suspended Ceiling in G05 - scale 1:10



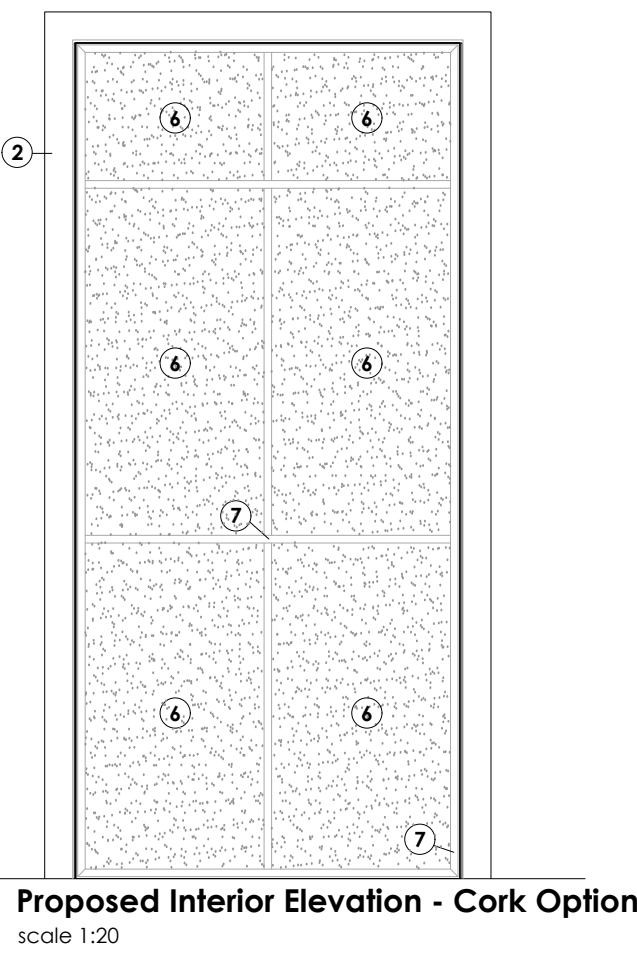
Detail 5 - New REI 60 Compartment Floor - scale 1:10



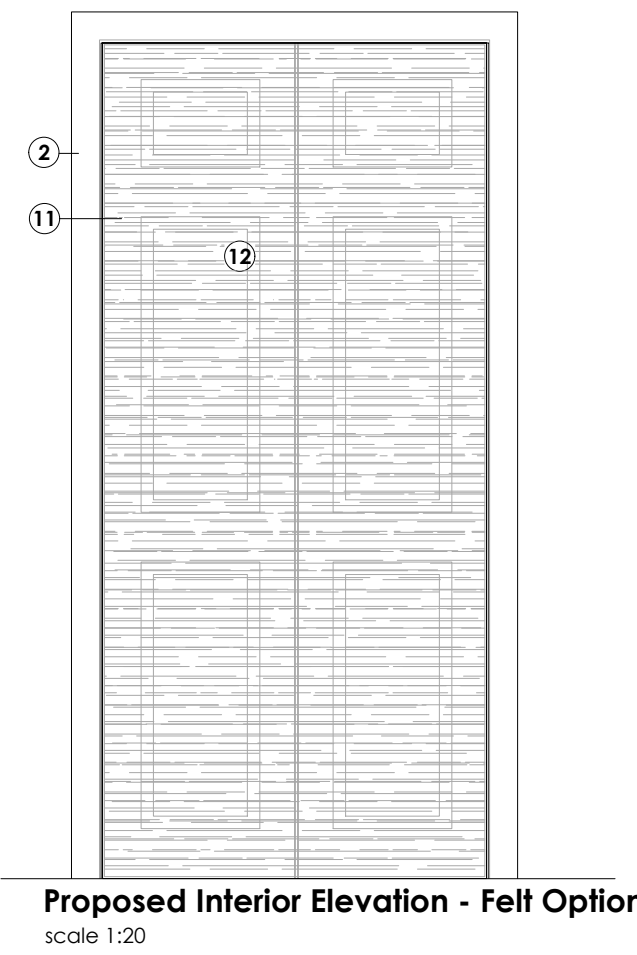
Detail 6 - Upgrade Existing Wall and Stair soffit - scale 1:10



Detail 7 - Upgrade Existing Door to Fire Door - scale 1:10 & 1:20



Proposed Interior Elevation - Cork Option - scale 1:20



Proposed Interior Elevation - Felt Option - scale 1:20

## A1 Sheet Size

- NOTES
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Rev	Date	Notes
A	10.01.2025	Issued for Tender.
B	12.02.2025	Revisions for BC Plan Check (Clouded).
C	21.02.2025	Revisions for BC Plan Check (Clouded).
D	20.05.2025	New detail 9 ; door upgrade. Revisions for BC Plan Check (Clouded).
E	28.07.2025	Issued for Tender.

## BUILDING CONTROL/TENDER

Client MusicAbility Foundation CIO

Project MusicAbility Foundation  
10 Parade Street  
Penzance

Title Proposed Details  
Sheet 2  
Internal Details

Scale 1:10 @ A1 Drawn by AJM

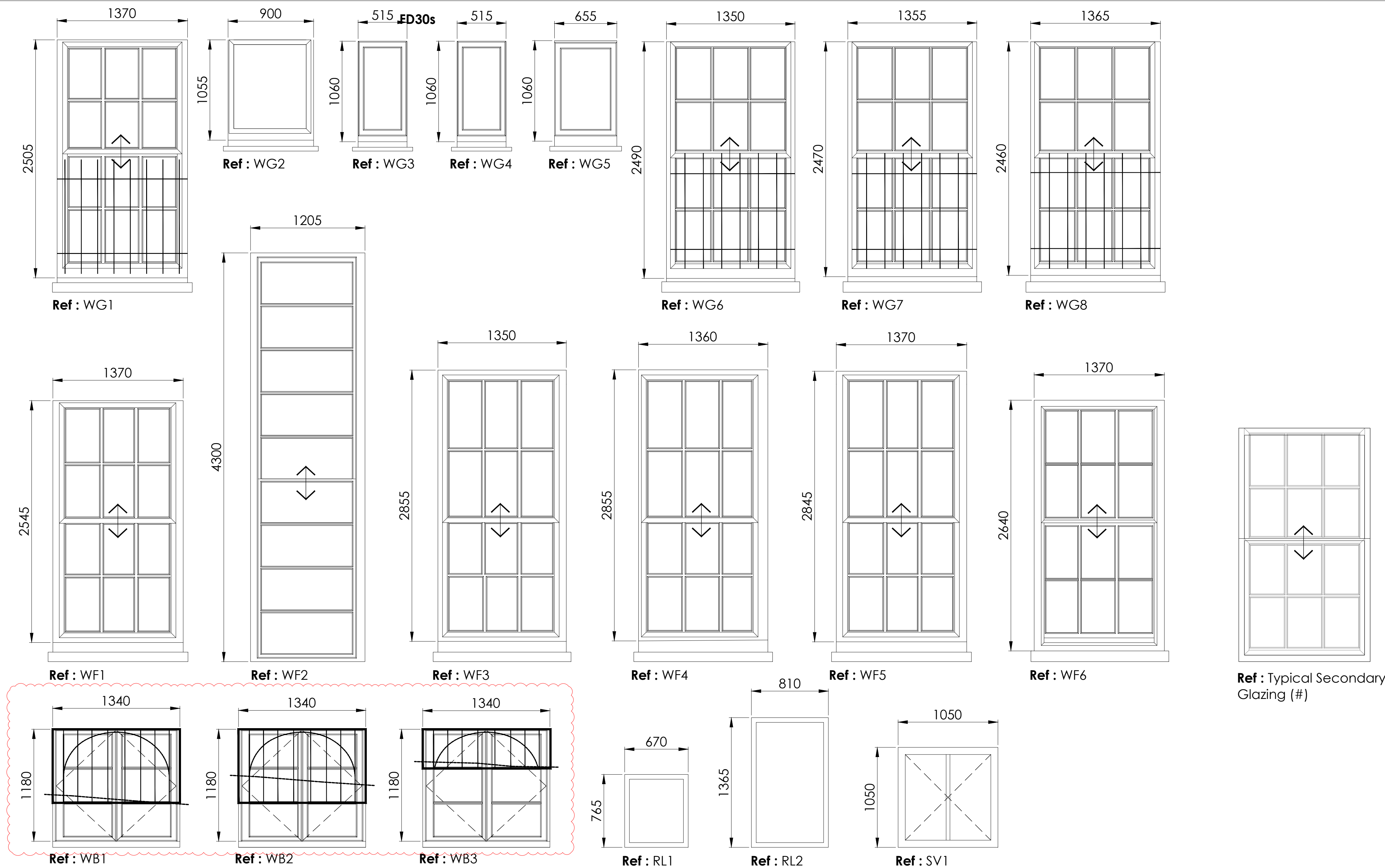
Date 13.12.2024

Drawing Number 251/401 Revision E

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**NOTES:**  
**DIMENSIONS**  
-All drawing dimensions are for pricing purposes only, Elevations from outside unless noted otherwise.  
-All dimensions shown to be checked on site prior to manufacture. Manufacture's drawings to be provided for comment and checking prior to manufacture and construction.

**SECONDARY GLAZING\*#**  
**Window Refs: WG1, WG6, WG7, WG8, WF3, WF4, WF5, WF6.**  
Install New Secondary glazing; Metal, Vertical Sash (or Casement), Single glazed with Acoustic rated Trickle Vents (45dB).  
Inspect, make good and re-decorate all woodwork associated with installation of secondary glazing.  
# Typical Secondary Glazing is based on Selectagglaze, Slimline 20(VS), 6.8mm low E glazing.

**INTERNAL SHUTTERS\***  
**Window Refs: WG1, WG6, WG7, WG8**  
Shutters to window WG1 are currently operational. These should be folded back and fixed into the reveal in the open position to match the other windows WG6, WG7 & WG8. Existing handles and brass fasteners to remain in place. Shutters to windows WG6, 7 & 8 are to remain as existing. Secondary glazing will be installed to the inside of all four windows in accordance with drawings 251/122 (Listed Building Consent Dwg) and 251/500 (Building Control Dwg).

**SMOKE VENT**  
**Window Ref : SV1**  
Install conservation style Smoke Vent Rooflight. To be an Electric, automatically operated Smoke Vent, connected to the fire alarm; in roof above staircase. 1m² free area required.

**EXTERNAL BARS\***  
**Window Refs: WG1, WG6, WG7, WG8.**  
Inspect all existing external iron window bars. Make good where necessary.  
**New External Bars - Window Refs: WB1, WB2, WB3.**  
Source and Install new window bars to windows **WB1, WB2 & WB3** at Basement Level above existing floor grilles only. See Schedule of Works 17.6 for further information.

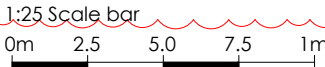
**IRONMONGERY**  
**Window Refs: (ALL WINDOWS) WG1, WG2, WG3, WG4, WG5, WG6, WG7, WG8, WF1, WF2, WF3, WF4, WF5, WF6, WB1, WB2, WB3**  
-Inspect existing ironmongery is fully operational and repair/replace like for like where necessary.

**OPERATION**  
Inspect and repair windows WG6, WG7 and WG8 to a fully operational state. Ease and adjust as required.

**DECORATION**  
Inspect, prepare and decorate all woodwork and associated beading and putty.

**IRONMONGERY FOR WINDOWS WITH NEW SECONDARY GLAZING.**  
**Window Refs. WG1, WG6, WG7, WG8, WF2, WF3, WF4, WF5, WF6. (TBC : WB1, WB2, WB3)**  
-New sash pulls to be compatible with secondary glazing system.  
-Style and Finish to match existing.

**REPLACEMENT WINDOWS WF2, WB1, WB2, WB3**  
Replace with Timber Frame windows to match existing. DGU with toughened safety glazing to critical areas. Inspect, make good and re-decorate all woodwork associated with installation. U-Value to be 1.6w/m²k or better.



A1 Sheet Size

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A	10.01.2025	Issued for Tender.
B	12.02.2025	Revisions for BC Plan Check (Clouded).
C	21.02.2025	Revisions for BC Plan Check (Clouded).
D	19.05.2025	WG2 secondary glazing omitted.
E	28.07.2025	Issued for Tender.

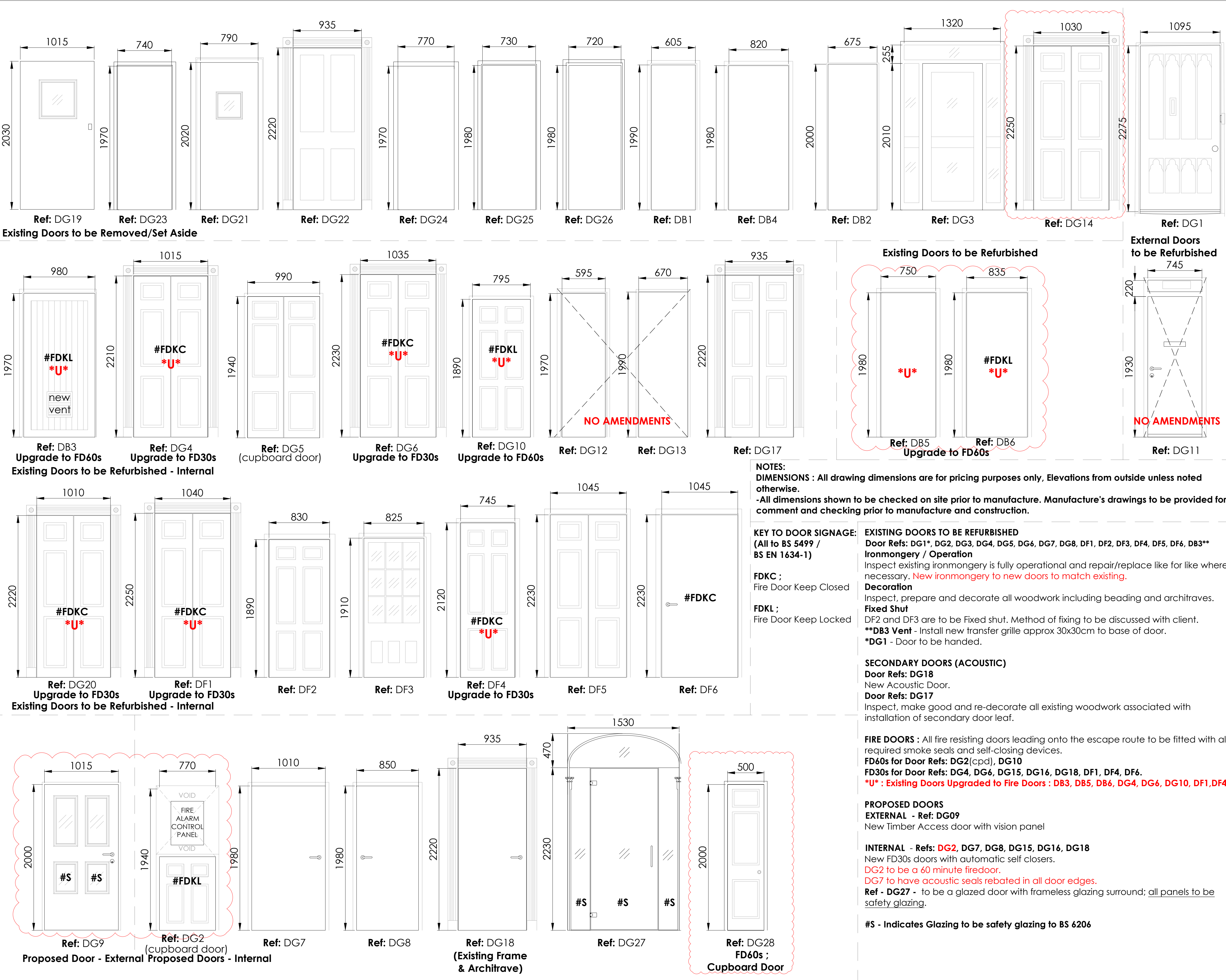
STATUS BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Window Schedule		
Scale	1:25 @ A1	Drawn by	AJL
Date	13.12.2024		
Drawing Number	251/500	Revision	E

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A1 Sheet Size

NOTES

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C	21.02.2025	Revisions for BC Plan Check (Clouded).
D	19.05.2025	Revisions for BC Plan Check (Clouded).
E	28.07.2025	Issued for Tender.

Status

BUILDING CONTROL/TENDER

Client	MusicAbility Foundation CIO		
Project	MusicAbility Foundation 10 Parade Street Penzance		
Title	Proposed Window Schedule		
Scale	1:25 @ A1	Drawn by	AJL
Date	13.12.2024		
Drawing Number	251/501	Revision	E

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1:25 Scale bar  
0m 2.5 5.0 7.5 1m

Proposed Door Schedule

scale 1:25 @ A1