

# Kettering Borough Council

Single Storey Extension and Refurbishment to 11 Valley Walk

Specification and Schedule of Works

January 2021



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### Client:

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**Project:** Single Storey Extension and  
Refurbishment to 11 Valley Walk

**Document Title:** Specification and Schedule  
of Works

**Issue Nr:** 1

**Date:** January 2021

**Authorised By:** Keith Butler; Partner

**Signature:**



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## **Section 1**

### Preliminaries

	THESE PRELIMS ARE AN ABBRIDGED VERSION. IF YOU REQUIRE THE FULL DOCUMENT PLEASE CONTACT THE CONTRACT ADMINISTRATOR	£	P
A10	<b>PROJECT PARTICULARS</b>		
110	<p>THE PROJECT</p> <ul style="list-style-type: none"> <li>Name: Extension and Refurbishment to 11 Valley Walk</li> <li>Nature: Single storey extension and refurbishment of a semi detached dwelling</li> <li>Location: 11 Valley Walk, Kettering NN16 0LY</li> <li>Length of contract: 12 weeks.</li> </ul>		
120	<p>EMPLOYER (CLIENT)</p> <ul style="list-style-type: none"> <li>Name: Kettering Borough Council</li> <li>Address: Municipal Offices, Bowling Green Road, Kettering, Northants NN15 7QX</li> <li>Contact: Bill Baker</li> <li>Telephone: 01536 410 333</li> </ul>		
130	<p>PRINCIPAL CONTRACTOR (CDM)</p> <ul style="list-style-type: none"> <li>Name: TBC</li> <li>Address: TBC</li> <li>Contact: TBC _____</li> <li>Telephone: TBC</li> <li>E-mail: TBC_____</li> </ul>		
140	<p><del>ARCHITECT</del>/ CONTRACT ADMINISTRATOR</p> <ul style="list-style-type: none"> <li>Name: Kettering Borough Council</li> <li>Address: Municipal Offices, Bowling Green Road, Kettering, Northants NN15 7QX</li> <li>Contact: Bill Baker</li> <li>Telephone: 01536 410 333</li> </ul>		
150	<p>PRINCIPAL DESIGNER</p> <ul style="list-style-type: none"> <li>Name: Focus Consultants 2010 LLP</li> <li>Address: Focus House, Phoenix Business Park, Nottingham, NG8 6AS</li> <li>Contact: James Garner</li> <li>Telephone: 0115 976 5050</li> <li>Email: n/a</li> </ul>		
160	<p>QUANTITY SURVEYOR</p> <ul style="list-style-type: none"> <li>Name: n/a</li> <li>Address: n/a</li> <li>Telephone: n/a</li> </ul>		
	To Collection £		

190	<p>CLERK OF WORKS</p> <ul style="list-style-type: none"> <li>Name: n/a</li> <li>Address: _____.</li> <li>Telephone: _____.</li> </ul>	£	P
<b>A11</b>	<b>TENDER AND CONTRACT DOCUMENTS</b>		
110	<p>TENDER DRAWINGS</p> <ul style="list-style-type: none"> <li>The Tender Drawings are: as per appendix A</li> </ul>		
120	<p>CONTRACT DRAWINGS</p> <ul style="list-style-type: none"> <li>The Contract Drawings are as per the tender drawings.</li> </ul>		
<b>A12</b>	<b>THE SITE/ EXISTING BUILDINGS</b>		
110	<p>THE SITE</p> <ul style="list-style-type: none"> <li>Description: Existing domestic dwelling, in vacant possession</li> </ul>		
120	<p>EXISTING BUILDINGS ON/ ADJACENT TO THE SITE</p> <ul style="list-style-type: none"> <li>Description: Dwellings.</li> </ul>		
200	<p>ACCESS TO THE SITE</p> <ul style="list-style-type: none"> <li>Is from the main traffic routes.</li> <li>Limitations: Car parking within the development may not be accessible.</li> </ul>		
210	<p>PARKING</p> <ul style="list-style-type: none"> <li>Restrictions on parking of the Contractor's and employees' vehicles: Parking provisions will be discussed prior to start but the employer cannot guarantee parking will be available on site.</li> </ul>		
220	<p>USE OF THE SITE</p> <ul style="list-style-type: none"> <li>General: Do not use the site for any purpose other than carrying out the Works.</li> </ul>		
230	<p>SURROUNDING LAND/ BUILDING USES</p> <ul style="list-style-type: none"> <li>General: Adjacent or nearby uses or activities are predominantly residential/ community.</li> </ul>		
240	<p>HEALTH AND SAFETY HAZARDS</p> <ul style="list-style-type: none"> <li>General: The nature and condition of the site/ building cannot be fully and certainly ascertained.</li> <li>Information: The accuracy and sufficiency of this information is not guaranteed by the Employer or the Employer's representative. Ascertain if any additional information is required to ensure the safety of all persons and the Works.</li> </ul>		
To Collection £			

250	<p><b>SITE VISIT</b></p> <ul style="list-style-type: none"> <li>Assessment: Ascertain the nature of the site, access thereto and all local conditions and restrictions likely to affect the execution of the Works.</li> <li>Arrangements for visit: James Garner – 0116 275 8315</li> </ul>	£	P
A20	<p><b>JCT MINOR WORK BUILDING CONTRACT (MW)</b></p> <p>JCT MINOR WORKS BUILDING CONTRACT</p> <ul style="list-style-type: none"> <li>The Contract: JCT Minor Works Building Contract with contractors design 2016 Edition.</li> <li>Requirement: Allow for the obligations, liabilities and services described as follows:</li> </ul> <p><b>THE RECITALS</b></p> <p>First - THE WORKS AND THE CONTRACT ADMINISTRATOR</p> <ul style="list-style-type: none"> <li>The work comprises: Lift replacement and associated works.</li> <li>Contract Administrator: See clause A10/140.</li> </ul> <p>Second - CONTRACT DOCUMENTS</p> <ul style="list-style-type: none"> <li>Contract drawings: As listed in clause A11/120.</li> </ul> <p>Contract documents: The following have been prepared which show and describe the work to be done: Specification and schedule of works</p> <p>Third – CONTRACTORS DESIGN PORTION</p> <ul style="list-style-type: none"> <li>The works include all design and construction and installation of new lift and all supporting requirements to facilitate the operation of the lift</li> </ul> <p>Fourth - PRICED DOCUMENTS</p> <ul style="list-style-type: none"> <li>Documents to be priced or provided by the Contractor: _____.</li> </ul> <p><b>THE ARTICLES</b></p> <p>3 - CONTRACT ADMINISTRATOR</p> <ul style="list-style-type: none"> <li>Contract Administrator: See clause A10/140.</li> </ul> <p>4 and 5 – PRINCIPAL DESIGNER/ PRINCIPAL CONTRACTOR</p> <ul style="list-style-type: none"> <li>n/a</li> </ul> <p><b>CONTRACT PARTICULARS</b></p> <p>Fourth Recital and Schedule 2 - BASE DATE</p> <ul style="list-style-type: none"> <li>Base date: two weeks prior to the date of tender return</li> </ul> <p>Fourth Recital and clause 4.2 - CONSTRUCTION INDUSTRY SCHEME (CIS)</p> <ul style="list-style-type: none"> <li>Employer at the Base Date is not a 'contractor' for the purposes of the CIS.</li> </ul> <p>To Collection £</p>		

<p>Fifth Recital - CDM REGULATIONS</p> <ul style="list-style-type: none"> <li>The project is not notifiable</li> </ul> <p><del>Sixth Recital - FRAMEWORK AGREEMENT</del></p> <p><del>• Framework agreement: _____.</del></p> <p><del>• Details:</del></p> <p><del>- Date: _____.</del></p> <p><del>- Title: _____.</del></p> <p><del>- Parties: _____.</del></p> <p>Seventh Recital and Schedule 3 - SUPPLEMENTAL PROVISIONS</p> <ul style="list-style-type: none"> <li>Collaborative working: Paragraph 1 Applies.</li> <li>Health and safety: Paragraph 2 Applies.</li> <li>Cost savings and value improvements: Paragraph 3 Applies.</li> <li>Sustainable development and environmental considerations: <ul style="list-style-type: none"> <li>Paragraph 4 Applies.</li> </ul> </li> <li>Performance indicators and monitoring: Paragraph 5 Applies.</li> <li><del>Notification and negotiation of disputes: Paragraph 6 _____.</del></li> <li><del>Where paragraph 6 applies, the respective nominees of the parties are:</del> <ul style="list-style-type: none"> <li><del>- Employer's nominee: _____.</del></li> <li><del>- Contractor's nominee: _____.</del></li> </ul> </li> <li><del>Or such replacement as each party may notify to the other from time to time.</del></li> </ul> <p>Article 7 - ARBITRATION</p> <ul style="list-style-type: none"> <li>Article 7 and Schedule 1 _____.</li> </ul> <p>Clause 1.1 - CDM PLANNING PERIOD</p> <ul style="list-style-type: none"> <li>3 weeks</li> </ul> <p><del>Clause 1.1 - CDM PLANNING PERIOD</del></p> <p><del>• Shall mean the period of _____ beginning on _____.</del></p> <p>Clause 2.2 - COMMENCEMENT AND COMPLETION</p> <ul style="list-style-type: none"> <li>Date for Commencement of the Works: mid 2021</li> <li>Date for Completion: 12 weeks from commencement</li> </ul> <p>Clause 2.8 - LIQUIDATED DAMAGES</p> <ul style="list-style-type: none"> <li>At the rate of £250 per week</li> </ul> <p>Clause 2.10 - RECTIFICATION PERIOD</p> <ul style="list-style-type: none"> <li>Period: 12 Months from the date of practical completion.</li> </ul> <p>Clause 4.3 - PERCENTAGE OF THE TOTAL VALUE OF THE WORK ETC.</p> <ul style="list-style-type: none"> <li>Percentage: 95%</li> </ul> <p>To Collection £</p>	£	P



<p>Clause 4.4 - PERCENTAGE OF THE TOTAL AMOUNT TO BE PAID TO THE CONTRACTOR</p> <ul style="list-style-type: none"> <li>Percentage: 97.5%</li> </ul> <p>Clause 4.8.1 - SUPPLY OF DOCUMENTATION FOR COMPUTATION OF AMOUNT TO BE FINALLY CERTIFIED</p> <ul style="list-style-type: none"> <li>Period: 30 days from the date of practical completion.</li> </ul> <p>Clause 4.11 and Schedule 2 - CONTRIBUTION, LEVY AND TAX CHANGES</p> <ul style="list-style-type: none"> <li>Clause 4.11 and Schedule 2 will be deleted.</li> </ul> <p>Clause 5.3.2 - CONTRACTOR'S INSURANCE – INJURY TO PERSONS OR PROPERTY</p> <ul style="list-style-type: none"> <li>Insurance cover (for any one occurrence or series of occurrences arising out of one event): £10m</li> </ul> <p>Clauses 5.4A, 5.4B and 5.4C - INSURANCE OF THE WORKS ETC – ALTERNATIVE PROVISIONS 5.4B applies</p> <p>Clauses 5.4A.1 and 5.4B.1.2 - PERCENTAGE TO COVER PROFESSIONAL FEES</p> <ul style="list-style-type: none"> <li>Addition: 15 per cent.</li> </ul> <p>Clause 7.2 - ADJUDICATION</p> <ul style="list-style-type: none"> <li>The Adjudicator is: President or a Vice president.</li> <li>Nominating body: Royal Institute of Chartered Surveyors.</li> </ul> <p>Schedule 1 paragraph 2.1 – ARBITRATION</p> <ul style="list-style-type: none"> <li>Appoint or of Arbitrator (and of any replacement): President or a Vice president of the: Royal Institute of Chartered Surveyors_____</li> </ul> <p><b>THE CONDITIONS</b></p> <p>SECTION 1: DEFINITIONS AND INTERPRETATION</p> <p>1.4 - RECKONING PERIODS OF DAYS</p> <ul style="list-style-type: none"> <li>Amendments: _____.</li> </ul> <p>1.7 - APPLICABLE LAW</p> <ul style="list-style-type: none"> <li>Amendments: _____.</li> </ul>	<p>£</p> <p>P</p>
<p>To Collection £</p>	

	<p>SECTION 2: CARRYING OUT THE WORKS</p> <p>SECTION 3: CONTROL OF THE WORKS</p> <p>SECTION 4: PAYMENT</p> <p>SECTION 5: INJURY, DAMAGE AND INSURANCE</p> <p>SECTION 6: TERMINATION</p> <p>SECTION 7: SETTLEMENT OF DISPUTES</p> <p>EXECUTION</p> <ul style="list-style-type: none"><li>The Contract: Will be executed as a deed_____.</li></ul> <p>CONTRACT GUARANTEE BOND</p> <ul style="list-style-type: none"><li>Contract Guarantee Bond: Not required.</li></ul>	£	P
	To Collection £		

To Collection £

A31	<b>PROVISION, CONTENT AND USE OF DOCUMENTS</b>	£	P
	<b>DEFINITIONS AND INTERPRETATIONS</b>		
160	<p><b>TERMS USED IN SPECIFICATION</b></p> <ul style="list-style-type: none"> <li>Remove: Disconnect, dismantle as necessary and take out the designated products or work and associated accessories, fixings, supports, linings and bedding materials. Dispose of unwanted materials. Excludes taking out and disposing of associated pipework, wiring, ductwork or other services.</li> <li>Fix: Receive, unload, handle, store, protect, place and fasten in position and disposal of waste and surplus packaging including all labour, materials and site equipment for that purpose.</li> <li>Supply and fix: As above, but including supply of products to be fixed. All products to be supplied and fixed unless stated otherwise.</li> <li>Keep for reuse: Do not damage designated products or work. Clean off bedding and jointing materials. Stack neatly, adequately protect and store until required by the Employer/ Purchaser or for use in the Works as instructed.</li> <li>Make good: Execute local remedial work to designated work. Make secure, sound and neat. Excludes redecoration and/ or replacement.</li> <li>Replace: Supply and fix new products matching those removed. Execute work to match original new state of that removed.</li> <li>Repair: Execute remedial work to designated products. Make secure, sound and neat. Excludes redecoration and/ or replacement.</li> <li>Refix: Fix removed products.</li> <li>Ease: Adjust moving parts of designated products or work to achieve free movement and good fit in open and closed positions.</li> <li>Match existing: Provide products and work of the same appearance and features as the original, excluding ageing and weathering. Make joints between existing and new work as inconspicuous as possible.</li> <li>System: Equipment, accessories, controls, supports and ancillary items, including installation, necessary for that section of the work to function.</li> </ul>		
170	<p><b>MANUFACTURER AND PRODUCT REFERENCE</b></p> <ul style="list-style-type: none"> <li>Definition: When used in this combination: <ul style="list-style-type: none"> <li>Manufacturer: The firm under whose name the particular product is marketed.</li> <li>Product reference: The proprietary brand name and/ or reference by which the particular product is identified.</li> </ul> </li> <li>Currency: References are to the particular product as specified in the manufacturer's technical literature current on the date of the invitation to tender.</li> </ul>		
	To Collection £		

200	<p><b>SUBSTITUTION OF PRODUCTS</b></p> <ul style="list-style-type: none"> <li>• Products: If an alternative product to that specified is proposed, obtain approval before ordering the product.</li> <li>• Reasons: Submit reasons for the proposed substitution.</li> <li>• Documentation: Submit relevant information, including: <ul style="list-style-type: none"> <li>- manufacturer and product reference;</li> <li>- cost;</li> <li>- availability;</li> <li>- relevant standards;</li> <li>- performance;</li> <li>- function;</li> <li>- compatibility of accessories;</li> <li>- proposed revisions to drawings and specification;</li> <li>- compatibility with adjacent work;</li> <li>- appearance;</li> <li>- copy of warranty/ guarantee.</li> </ul> </li> <li>• Alterations to adjacent work: If needed, advise scope, nature and cost.</li> <li>• Manufacturers' guarantees: If substitution is accepted, submit before ordering products.</li> </ul>	£	P
		To Collection £	

A33	<b>QUALITY STANDARDS/ CONTROL</b>	£	P
	<b>STANDARDS OF PRODUCTS AND EXECUTIONS</b>		
110	<b>INCOMPLETE DOCUMENTATION</b> <ul style="list-style-type: none"> <li>General: Where and to the extent that products or work are not fully documented, they are to be: <ul style="list-style-type: none"> <li>Of a kind and standard appropriate to the nature and character of that part of the Works where they will be used.</li> <li>Suitable for the purposes stated or reasonably to be inferred from the project documents.</li> <li>Contract documents: Omissions or errors in description and/ or quantity shall not vitiate the</li> <li>Contract nor release the Contractor from any obligations or liabilities under the Contract.</li> </ul> </li> </ul>		
120	<b>WORKMANSHIP SKILLS</b> <ul style="list-style-type: none"> <li>Operatives: Appropriately skilled and experienced for the type and quality of work.</li> <li>Registration: With Construction Skills Certification Scheme.</li> <li>Evidence: Operatives must produce evidence of skills/ qualifications when requested.</li> </ul>		
130	<b>QUALITY OF PRODUCTS</b> <ul style="list-style-type: none"> <li>Generally: New. (Proposals for recycled products may be considered).</li> <li>Supply of each product: From the same source or manufacturer.</li> <li>Whole quantity of each product required to complete the Works: Consistent kind, size, quality and overall appearance.</li> <li>Tolerances: Where critical, measure a sufficient quantity to determine compliance.</li> <li>Deterioration: Prevent. Order in suitable quantities to a programme and use in Appropriate sequence.</li> </ul>		
135	<b>QUALITY OF EXECUTION</b> <ul style="list-style-type: none"> <li>Generally: Fix, apply, install or lay products securely, accurately, plumb, neatly and in alignment.</li> <li>Colour batching: Do not use different colour batches where they can be seen together.</li> <li>Dimensions: Check on-site dimensions.</li> <li>Finished work: Without defects, e.g. not damaged, disfigured, dirty, faulty, or out of tolerance.</li> <li>Location and fixing of products: Adjust joints open to view so they are even and regular.</li> </ul>		
	To Collection £		

170	<p>MANUFACTURER'S RECOMMENDATIONS/ INSTRUCTIONS</p> <ul style="list-style-type: none"> <li>• General: Comply with manufacturer's printed recommendations and instructions current on the date of the Invitation to tender.</li> <li>• Changes to recommendations or instructions: Submit details.</li> <li>• Ancillary products and accessories: Use those supplied or recommended by main product manufacturer.</li> <li>• Agreement certified products: Comply with limitations, recommendations and requirements of relevant valid certificates.</li> </ul>	£	P
		To Collection £	

A34	<b>SECURITY/ SAFETY/ PROTECTION</b>	£	P
	<b>SECURITY, HEALTH AND SAFETY</b>		
130	<b>PRODUCT HAZARDS</b> <ul style="list-style-type: none"> <li>Hazardous substances: Site levels must not exceed occupational Exposure standards and maximum exposure limits stated in the current version of HSE document EH40: Workplace Exposure Limits.</li> <li>Common hazards: Not listed. Control by good management and site practice.</li> <li>Significant hazards: Specified construction materials include the following:</li> </ul>		
150	<b>SECURITY</b> <ul style="list-style-type: none"> <li>Protection: Safeguard the site, the Works, products, materials, and any existing buildings affected by the Works from damage and theft.</li> <li>Access: Take all reasonable precautions to prevent unauthorized access to the site, the Works and adjoining property.</li> </ul>		
170	<b>OCCUPIED PREMISES</b> <ul style="list-style-type: none"> <li>Extent: Existing buildings will be occupied and/ or used during the Contract as follows: <ul style="list-style-type: none"> <li>Works: Carry out without undue inconvenience and nuisance and without danger to occupants and users.</li> <li>Overtime: If compliance with this clause requires certain operations to be carried out during overtime, and such overtime is not required for any other reason, the extra cost will be paid to the Contractor, provided that such overtime is authorized in advance.</li> </ul> </li> </ul>		
210	<b>EMPLOYER'S REPRESENTATIVES SITE VISITS</b> <ul style="list-style-type: none"> <li>Safety: Submit details in advance, to the Employer or the person identified in clause A10/140, of safety provisions and procedures (including those relating to materials, which may be deleterious), which will require their compliance when visiting the site.</li> <li>Protective clothing and/ or equipment: Provide and maintain on site for the Employer and the person stated in clause A10/140 and other visitors to the site.</li> </ul>		
	<b>PROTECT AGAINST THE FOLLOWING</b>		
370	<b>ASBESTOS CONTAINING MATERIALS</b> <ul style="list-style-type: none"> <li>Duty: Report immediately any suspected materials discovered during execution of the Works. <ul style="list-style-type: none"> <li>Do not disturb.</li> <li>Agree methods for safe removal or encapsulation.</li> </ul> </li> </ul>		
	To Collection £		



371	<p><b>DANGEROUS OR HAZARDOUS SUBSTANCES</b></p> <ul style="list-style-type: none"> <li>Duty: Report immediately suspected materials discovered during execution of the Works. <ul style="list-style-type: none"> <li>Do not disturb.</li> <li>Agree methods for safe removal or remediation.</li> </ul> </li> </ul>	£	P
380	<p><b>FIRE PREVENTION</b></p> <ul style="list-style-type: none"> <li>Duty: Prevent personal injury or death, and damage to the Works or other property from fire.</li> <li>Standard: Comply with Joint Code of Practice 'Fire Prevention on Construction Sites', published by the Construction Confederation and The Fire Protection Association (The 'Joint Fire Code').</li> </ul>		
390	<p><b>SMOKING ON SITE</b></p> <ul style="list-style-type: none"> <li>Smoking on site: Not permitted.</li> </ul> <p><b>PROTECT THE FOLLOWING</b></p>		
510	<p><b>EXISTING SERVICES</b></p> <ul style="list-style-type: none"> <li>Confirmation: Notify all service authorities, statutory undertakers and/ or adjacent owners of proposed works not less than one week before commencing site operations.</li> <li>Identification: Before starting work, check and mark positions of utilities/ services. Where positions are not shown on drawings obtain relevant details from service authorities, statutory undertakers or other owners.</li> <li>Work adjacent to services: <ul style="list-style-type: none"> <li>Comply with service authority's/ statutory undertaker's recommendations.</li> <li>Adequately protect, and prevent damage to services: Do not interfere with their operation without consent of service authorities/ statutory undertakers or other owners.</li> </ul> </li> <li>Identifying services: <ul style="list-style-type: none"> <li>Below ground: Use signboards, giving type and depth;</li> <li>Overhead: Use headroom markers.</li> </ul> </li> <li>Damage to services: If any results from execution of the Works: <ul style="list-style-type: none"> <li>Immediately give notice and notify appropriate service authority/ statutory undertaker.</li> <li>Make arrangements for the work to be made good without delay to the satisfaction of service authority/ statutory undertaker or other owner as appropriate.</li> <li>Any measures taken to deal with an emergency will not affect the extent of the Contractor's liability.</li> </ul> </li> <li>Marker tapes or protective covers: Replace, if disturbed during site operations, to service authority's/ statutory undertakers recommendations.</li> </ul>		
To Collection £			

		£	P
	<b><u>COLLECTION</u></b>		
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	Page S1/2		
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	<b><u>TOTAL - SECTION 1 PRELIMINARIES</u></b>		
	<b><u>CARRIED TO FINAL SUMMARY</u></b>	£	

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## **Section 2**

### Trade Preambles

## **SECTION 2 - TRADE PREAMBLES**

### **GENERALLY**

Should the Contractor wish to insert values against any of the items contained within these Section Preambles he should include the total of such items against the Section Preambles heading on the Final Summary page, and provide a breakdown of the items together with their costs when submitting his priced Specification.

### **DEFINITIONS**

#### **SCOPE OF PREAMBLES**

Where items within these Section Preambles apply to work in more than one Section, such items shall apply equally to those works as if the items had been repeated within each Section.

#### **FIGURES**

Figures in descriptions are millimetres unless qualified by a unit of measurement or by a word or phrase indicating a reference, e.g. BS, pipe, grade.

#### **INCLUDED ELSEWHERE**

The term "included elsewhere" qualifying any part of a description means that provision is made elsewhere within this Specification for the part so qualified.

#### **FIXING BY BOLTING ETC**

The term "fixing by" used in connection with any method of fixing is a description of fixing method only and excludes the fixing devices.

#### **FIXING WITH BOLTS, SCREWS, ETC.**

The term "fixing with" used in conjunction with any method of fixing includes the fixing devices.

#### **HOLES**

The provision of holes shall be deemed to be included in work described to be fixed with screws.

#### **PLUGGING**

The term "plugging" means the provision and fixing of approved plugs or, with the Contract Administrator's approval, fixing by means of cartridge operated rivet gun or other approved mechanical means, plugging through applied finishes shall be executed to a depth sufficient to provide a secure fixing.

#### **PREPARATION OF SURFACES**

Descriptions of the finishing applied to the new surfaces are deemed to include the preparation of these surfaces to receive the finishing.

## **GENERAL**

### **GOOD PRACTICE**

Where and to the extent that materials, products and workmanship are not fully specified, they are to be suitable for the purposes of the Works stated in or reasonably to be inferred from the contract documents, and shall be in accordance with good building practice, including the relevant provisions of current British Standards Institution documents.

### **SAMPLES**

Where approval of products or materials is specified the Contractor shall submit, free of charge, samples, certificates or other evidence of suitability. Orders shall not be confirmed and materials shall not be used until approval has been obtained. Approved samples shall be retained on site for comparison with products and materials used in the Works, and they shall be removed when no longer required.

Where samples of finished work are specified the Contractor shall obtain approval of stated characteristic(s) before proceeding with the Works. Samples which are not part of the finished Works shall be removed when no longer required.

### **APPROVALS**

Where, and to the extent that products, material or work are specified to be approved, or the Contract Administrator instructs or requires that they are to be approved, the same shall be supplied and executed to comply with all other requirements and in respect of the stated or implied characteristic(s) either to the express approval of the Contract Administrator, or to match a sample expressly approved by the Contract Administrator as a standard for the purpose.

Inspection or any other action by the Contract Administrator shall not be taken as approval of materials, products, or work, unless the Contract Administrator so confirms in writing in express terms referring to:-

- (i) date of inspection
- (ii) part of the work inspected
- (iii) respects of characteristic(s) which are approved
- (iv) extent and purpose of approval
- (v) any associated conditions.

In addition, it shall be noted that the Contract Administrator wishes to approve the quality or standard of work carried out by Nominated/Named Sub-contractors, or materials supplied by Nominated/Named Suppliers.

### **SPECIFIED SUPPLIERS/MANUFACTURERS**

Where a specified supplier/manufacturer provides instructions as to how his materials are to be used or fixed, the Contractor shall comply strictly with such instructions.

## **WORKMANSHIP**

All work hereinafter mentioned shall be carried out in strict accordance with the relevant Code of Practice. Should any work described in these Section Preambles or shown on the drawings be at variance with the Code, such variance shall be brought to the notice of the Contract Administrator before commencing. If "accepted practice" is at variance with the Code, the Code of Practice shall be adhered to.

## **DEMOLITION/ALTERATION/RENOVATION**

### **QUALIFICATIONS OF THE RULES OF THE STANDARD METHOD OF MEASUREMENT**

The provisions Demolition/Alteration/Renovation shall apply equally to Site Works and Alterations in addition to those arising from Demolition/Alteration/Renovation.

## **OLD MATERIALS**

Shall be deemed to include old materials arising from Site Works and Alterations in addition to those arising from Demolition/Alteration/Renovation.

## **PLUMBING, ENGINEERING AND ELECTRICAL INSTALLATION**

The descriptions of demolishing structures shall be deemed to include sealing off and making safe the mains to the plumbing, engineering and electrical installations.

The descriptions of taking out equipment, appliances, ancillaries, fittings and accessories associated with plumbing, engineering and electrical installations shall be deemed to include disconnecting from the associated gutterwork, pipework, ductwork, conduits, cables and the like and for sealing off and making safe.

## **DEFINITIONS**

### **DIMENSIONS**

Dimensions given in item descriptions are nominal.

### **DESCRIPTIONS OF DEMOLITIONS**

The descriptions given of buildings etc to be demolished are intended as a guide to the general construction and situation. The Contractor shall be deemed to have visited the site and ascertained the full extent and nature of the demolitions and alterations.

### **REMOVING**

The term "Removing" shall be deemed to include the cutting into the structure and/or finishes in order to free the item, the removal of all fixings, such as plugs, bolts, cramps and the like and the making good as necessary of the structure and making good, unless otherwise described, finishes where such items and fixings have been removed.

### **STORING FOR RE-USE**

The term "storing for re-use" shall be deemed to include for removing to store on site in such a manner as to prevent damage and protecting.

### **STORING FOR EMPLOYER**

The term "storing for Employer" shall be deemed to include for removing to store on site in such a manner as to prevent damage and protecting.

### **REFIXING**

The term "re-fixing" shall be deemed to include for selecting, cleaning removing from store, making good any defects, or replacement with new material if so directed by the Contract Administrator, and fixing in new position.

### **OLD MATERIALS**

Unless specifically forbidden the Contractor will be permitted to re-use old materials in work measured as new provided either that the materials are of the same standard and quality as the new materials they replace, or that the Contract Administrator has given specific approval to their re-use.

### **CREDIT FOR MATERIALS**

Materials arising from the site works, demolitions and alterations and which are to be removed from the site, shall become the property of the Contractor, unless specifically described as otherwise. The Contractor, if required in the Specification, shall allow such credit as he deems fit.

### **FINISHINGS**

The term "finishings" as used in this section shall mean finishings applied to the structure e.g. plaster, tiles and the like and finishings integral with the structure e.g. faced brickwork, dressed stonework and the like. The term shall not include painting and decorating which are in all cases measured in accordance with the appropriate rules.

### **MAKING GOOD OR EXTENDING FINISHINGS**

The terms "making good" or "extending" used in conjunction with a described finish shall be deemed to include for removing any adjacent unsound finish, packings, dubbing out, arrises, angle beads, etc, and finishing with final surface matching and in alignment with adjacent existing surfaces, and flush jointing the new to existing.

### **REMOVING FITTINGS, FIXTURES OR THE LIKE**

The removing of fittings and fixtures (e.g. doors, windows, architraves, skirtings, shelves, fireplaces, mirrors) in the location of new openings, or attached to walls, floors, ceilings, etc. which are to be pulled down, are given separately from the items of cutting openings, pulling down etc.

The removing of fittings etc to structures which are to be demolished complete are only given where such fittings etc., are to be stored for re-use or for the Employer.

### **EXISTING BRICKWORK**

The term "cutting, toothing and bonding" shall be deemed to include for any additional costs caused by coursing to match existing.

### **REFORMING JAMBS**

The term "reforming jambs" shall be deemed to include for cutting out existing and cutting, toothing and bonding in new bricks.

### **MAKING GOOD**

All work in making good shall match adjoining work in every respect and shall be left to the entire satisfaction of the Contract Administrator.

### **STRUCTURAL/CARCASSING METAL/TIMBER**

#### **TIMBER GENERALLY**

The nomenclature of commercial timbers shall comply with BS 881 and 589. Timber, which in the opinion of the Contract Administrator is inferior in character or condition, or is not suitable for the requirements of the work because of the defects it contains, shall not be used and all timber that shrinks, splits, warps or winds, etc., through want of seasoning, unsoundness or bad workmanship shall be removed and replaced together with any work affected at the Contractors own expense.

#### **SEASONING**

The timber shall be either air seasoned or kiln seasoned and must be free from seasoning defects such as case hardening, honey combing, etc., at the time of delivery.

#### **TOLERANCES**

Tolerances shall be to BS 4471 Parts 1 and 2.

#### **STRUCTURAL TIMBERS**

Timber shall be stress graded in accordance with BS 5268 Part 2, 1984 grades SC1 or SC3 as specified.

Moisture content of timbers shall not exceed 18% at time of fabrication and erection and until completion and all materials shall be protected from the weather.

#### **JOINERY TIMBERS**

Softwood shall be European Redwood (Pinus Sylvestris) in accordance with BS 1186, Part 1, Appendix A with Class 1/3 exposed surfaces generally and Class CSH exposed surface for clear finish. Sap stain will be accepted, except in cases of "selected" timber.

Softwood for flooring shall comply with BS 1297; the dimensions of that used in making good, shall match the existing.



Hardwood shall be a light hardwood in accordance with BS 1186, Part 1, Appendix A or as specified by name and shall be the best quality obtainable with Class 1 exposed surfaces generally and Class CSH exposed surfaces for clear finish.

The variety of the unspecified hardwoods shall be approved by the Contract Administrator before preparatory work is commenced.

Where no specific hardwood is mentioned for lippings, beads and the like, a timber suitable for small sections shall be used and where a clear finish is specified it shall match the surface to which it is applied.

Moisture content of joinery timbers during manufacture and until completion shall be +/-2 of the average equilibrium moisture content per cent that it is expected to attain in service as specified below:-

External joinery	:	17% (+/- 2%)
Internal joinery	:	10% (+/- 2%) generally;
		8% (+/- 2%) where close proximity to heat

### **TIMBER PRESERVATIVE**

Timber to be treated shall be cut to its final dimensions before treatment.

Timber stated to be "pressure impregnated with Tanalith C" shall be vacuum/pressure impregnated with preservative to an average dry salt retention of 4kg of "Tanalith C" per cubic metre of timber.

Timber stated to be "Vac-Vac" treated shall be impregnated to an average absorption of 1.14 litres of "Vacsol" per 0.03 cubic metre of timber.

Both the above processes shall be carried out in plants approved by Hicksons Timber Impregnation Co. Ltd., Castleford, West Yorkshire. WF10 2JT and a certificate of treatment shall be provided.

### **ADHESIVES**

Adhesive generally shall be synthetic resin adhesives to BS 1204 Part 1 for Joinery with a paint finish and Part 2 for joinery with a clear finish, type INT/MR for internal use and WBP for external use.

### **FIXINGS**

Nails generally shall comply with BS 1202 Part 1 with anti-corrosive finish where used externally. Nails in external cedar boarding shall be aluminium and shall comply with BS 1202 Part 3.

Screws shall have an anti-corrosive finish where used externally, all heads, unless otherwise described, shall be slotted countersunk. Screws in hardwood shall be brass. Wood screws shall comply with BS 1210, machine screws with BS 4183 and self-tapping screws with BS 4174.

Hexagon bolts shall comply with BS 4190.

Timber connectors shall comply with BS 1579.

## **TIMBER MOISTURE CONTENT TEST**

When instructed by the Contract Administrator test timber for moisture content using an electric meter in accordance with the manufacturers recommendations. Test 5% but not less than ten lengths of each cross section in the centre of the length. Timbers where more than 10% of the values obtained are outside the specified values will be rejected. Keep and provide the Contract Administrator with records of this test.

## **STRUCTURAL TIMBERWORK**

Workmanship and jointing shall generally be in accordance with CP 112 Part 2 and all work shall be properly framed, assembled and fixed with all necessary screws, nails, bolts, wedges, brackets and glued joints, together with all necessary firrings and blockings.

In the process of assembly and construction the stress-graded softwood shall be selected so that no defect permitted by such grading prejudices the strength of the completed structure at bearings, joints and other assemblies, or the fixing of tiling battens, floorings, plasterboard or other linings. In particular no wane, knotholes or fissures are permitted which would prejudice such assemblies and no wane will be permitted which would prejudice such fixings.

Any piece which is bowed, sprung, twisted or cupped to an excessive extent, having regard to its end use, shall be rejected.

Subject to approval of the Contract Administrator, pieces rejected by application of the above clauses may be used for non-structural purposes, provided always that any defects or distortions do not prejudice the intended end-use.

## **WINDOWS/DOORS/STAIRS**

### **DEFINITIONS**

### **METHOD OF GLAZING**

The provision of glazing compounds and putties, sprigs, clips, distance pieces and setting blocks in appropriate materials, and other sundry fixings shall be deemed to be included with all items of glazing.

All descriptions within these Section Preambles referring to putty shall generally equally apply to mastic glazing compounds.

### **MATERIALS (NOT TO BE USED WITH NBS SPECIFICATION)**

### **TIMBER GENERALLY**

The nomenclature of commercial timbers shall comply with BS 881 and 589. Timber, which in the opinion of the Contract Administrator is inferior in character or condition, or is not suitable for the requirements of the work because of the defects it contains, shall not be used and all timber that shrinks, splits, warps or winds, etc., through want of seasoning, unsoundness or bad workmanship shall be removed and replaced together with any work affected at the Contractors own expense.

## **TOLERANCES**

Tolerances shall be to BS 4471 Parts 1 and 2.

## **JOINERY TIMBERS**

Softwood shall be European Redwood (*Pinus Sylvestris*) in accordance with BS 1186, Part 1, Appendix A with Class 1/3 exposed surfaces generally and Class CSH exposed surface for clear finish. Sap stain will be accepted, except in cases of "selected" timber.

Softwood for flooring shall comply with BS 1297; the dimensions of that used in making good, shall match the existing.

Hardwood shall be a light hardwood in accordance with BS 1186, Part 1, Appendix A or as specified by name and shall be the best quality obtainable with Class 1 exposed surfaces generally and Class CSH exposed surfaces for clear finish.

The variety of the unspecified hardwoods shall be approved by the Contract Administrator before preparatory work is commenced.

Where no specific hardwood is mentioned for lippings, beads and the like, a timber suitable for small sections shall be used and where a clear finish is specified it shall match the surface to which it is applied.

Moisture content of joinery timbers during manufacture and until completion shall be +/-2 of the average equilibrium moisture content per cent that it is expected to attain in service as specified below:-

External joinery	:	17% (+/- 2%)
Internal joinery	:	10% (+/- 2%) generally;
		8% (+/- 2%) where close proximity to heat

## **TIMBER PRESERVATIVE**

Timber to be treated shall be cut to its final dimensions before treatment.

Timber stated to be "pressure impregnated with Tanalith C" shall be vacuum/pressure impregnated with preservative to an average dry salt retention of 4kg of "Tanalith C" per cubic metre of timber.

Timber stated to be "Vac-Vac" treated shall be impregnated to an average absorption of 1.14 litres of "Vacsol" per 0.03 cubic metre of timber.

Both the above processes shall be carried out in plants approved by Hicksons Timber Impregnation Co. Ltd., Castleford, West Yorkshire. WF10 2JT and a certificate of treatment shall be provided.

## **PLYWOOD AND BLOCKBOARD VENEERS**

Where the faces of plywood are later described as being Grade 2 such faces shall be suitable for painting.

## **ADHESIVES**

Adhesive generally shall be synthetic resin adhesives to BS 1204 Part 1 for Joinery with a paint finish and Part 2 for joinery with a clear finish, type INT/MR for internal use and WBP for external use.

## **WINDOWS**

Windows shall be constructed from "Vac-Vac" treated softwood and are to be in accordance with the details on the Contract Administrator's drawings.

## **FIXINGS**

Nails generally shall comply with BS 1202 Part 1 with anti-corrosive finish where used externally. Nails in external cedar boarding shall be aluminium and shall comply with BS 1202 Part 3.

Screws shall have an anti-corrosive finish where used externally, all heads, unless otherwise described, shall be slotted countersunk. Screws in hardwood shall be brass. Wood screws shall comply with BS 1210, machine screws with BS 4183 and self-tapping screws with BS 4174.

Hexagon bolts shall comply with BS 4190.

Timber connectors shall comply with BS 1579.

## **METALWORK**

Metal straps, tie rods, bolts, etc., shall be in accordance with the relevant clauses in the Metalwork section.

## **PUTTY**

Putty shall be in accordance with BS 544.

## **GLASS**

Glass shall be in accordance with BS 952

## **WORKMANSHIP (NOT TO BE USED WITH NBS SPECIFICATION)**

### **MOISTURE CONTENT TEST**

When instructed by the Contract Administrator test timber for moisture content using an electric meter in accordance with the manufacturers recommendations. Test 5% but not less than ten lengths of each cross section in the centre of the length. Timbers where more than 10% of the values obtained are outside the specified values will be rejected. Keep and provide the Contract Administrator with records of this test.

### **STRUCTURAL WORK**

Workmanship and jointing shall generally be in accordance with CP 112 Part 2 and all work shall be properly framed, assembled and fixed with all necessary screws, nails, bolts, wedges, brackets and glued joints, together with all necessary firrings and blockings.

In the process of assembly and construction the stress-graded softwood shall be selected so that no defect permitted by such grading prejudices the strength of the completed structure at bearings, joints and other assemblies, or the fixing of tiling battens, floorings, plasterboard or other linings. In particular no wane, knotholes or fissures are permitted which would prejudice such assemblies and no wane will be permitted which would prejudice such fixings.

Any piece which is bowed, sprung, twisted or cupped to an excessive extent, having regard to its end use, shall be rejected.

Subject to approval of the Contract Administrator, pieces rejected by application of the above clauses may be used for non-structural purposes, provided always that any defects or distortions do not prejudice the intended end-use.

## **JOINERY WORK**

Workmanship and jointing shall generally be in accordance with BS 1186 Part 2. The defects known as "tearing out", "woolliness" and "chip bruising" will not be permitted and all arrises shall be eased. All joinery work shall be properly framed, assembled and fixed with all necessary screws, nails, bolts, wedges, brackets and glued joints.

All framed work shall be put together immediately upon commencement of the general work but shall not be glued or wedged up until joinery is prepared in readiness for fixing.

If the joints of any Joinery Work should give or open in the least before the end of the maintenance period, such defective work shall be taken down, refitted and redecorated or new joinery put in place of same. It is to be distinctly understood that in reinstating defects the Contractor shall be responsible for repairing any damage caused in the process.

All angles in skirtings, architraves and quadrants shall be mitred.

Trims, architraves, etc shall be, as far as possible, in un-jointed lengths between angles or ends of runs. Where heading joints are unavoidable the joints shall be splayed and the position acceptable to the Contract Administrator.

On all timber faces which will be visible in completed work, nail heads shall be punched below the surface and screws heads, other than those to be pellated, shall be countersunk 2mm below the surface. Screw heads in exposed faces of "selected" timber shall be countersunk 6mm and filled with grain matched pellats cut from matching timber, glued in and finished flush on face.

All sharp arrises exposed in the finished work shall be removed by rubbing down.

## **GLUED JOINTS**

Surfaces in contact in glued joints shall have a good sawn or planed finish. All cutting edges of tools shall be sharp to avoid "burnishing". The surfaces of plywood to be glued should be lightly dressed with sand or glass paper which must not be allowed to clog and cause "burnishing".

Members in construction to be joined by gluing shall be of similar construction and all surfaces to be glued shall be kept clean, free from dirt, dust, sawdust, oil and any other contamination. Adequate pressure should be applied to glued joints to ensure intimate contact and maintained whilst the glue is setting.

Mixing, application and setting conditions shall be in accordance with the glue manufacturer's instructions.

## **TOLERANCES**

Tolerances for window and door frames, screens and linings to be:-

Straightness in each 8 metres (not cumulative): 5mm

Length up to 2 metres: + or - 2mm

Height up to 3 metres: + or - 3mm

Squareness of frames/linings: 1mm in 500mm

Clearance between door leaf and frame: 2mm + 1mm - 0.5mm

## **TREATED TIMBERS**

Where crosscutting, notching or boring of "treated" timber cannot be avoided, all exposed surfaces must be liberally swabbed with "Ensele", in respect of "Tanalith C" treated timbers and "Vascele" in respect of "Vascol" treated timbers.

## **PRIMING AND OTHER SURFACE TREATMENT**

Joinery work such as fascias etc. shall be primed or sealed as specified and measured in the "Painting and Decorating" section on all faces before fixing. End grains shall be sealed before general sealer or primer is applied.

All other joinery work which includes in its description "one coat primer or one coat sealer etc" shall be primed or sealed as specified in the "Painting and Decorating" section on all faces before delivery to the site. The Contractor shall include for such priming or sealing in his prices for the joinery items so described and shall further include for protecting the faces.

## **STORAGE**

Do not deliver to site any joinery which cannot be immediately unloaded into suitable conditions of storage.

Joinery shall be stacked on bearers on level dry floors under cover. When stacking stagger components or separate with spacers to prevent damage by and to projecting ironmongery, beads, etc. Stack doors horizontally on not less than three level bearers at not more than 1 metre centres.

## **EASING AND ADJUSTING**

Ease and adjust all doors, windows, etc. and leave the whole of the Joiner's Work sound and in perfect order on completion.

## **GLAZING GENERALLY**

All glazing shall comply with BS 6262.

All glazing shall be wind and watertight upon completion.

All rebates and beads in wood shall be sealed or primed before glazing is commenced.

## **GLAZING WITH PUTTY**

Glazing in putty shall be executed with proper bed and back putties, sprigs, clips and splayed and mitred front putties. Back putties shall be trimmed off level with the tops of the rebates and the splayed front putties shall be finished 3mm back from the sight line to allow for sealing between glass and putty with paint.

## **GLAZING WITH BEADS**

Glazing fixed by beads shall have both glass and beads bedded and back puttied and the putty trimmed off flush.

## **INDICATORS**

Stuck-on or painted indicators shall not be used on solar control or coloured glass, whitewash may be used on ordinary glass but if so must be restricted to small central areas of panes.

## **PROTECTION**

The Contractor shall be responsible for the protection of the glass and on completion or as requested shall replace with new at his own expense all cracked, scratched, damaged or defective glass whether caused by his own workmen or by those of any Sub-contractor and shall leave all clean and perfect on completion.

## **SURFACE FINISHES**

## **QUALIFICATIONS OF THE RULES OF THE STANDARD METHOD OF MEASUREMENT**

Notwithstanding the provisions of the S.M.M.:-

## **RAKING AND CURVED CUTTING**

Raking and curved cutting is deemed included on all finishings.

## **PREPARATORY WORK**

Clause V3.1(c), preparatory work on new surfaces shall be deemed to be included with the descriptions of work on such surfaces and shall conform to the requirements given in WORKMANSHIP section of these preambles.

## **DEFINITIONS**

## **SELECTED**

The term "selected" shall be deemed to include keeping the material so described clean for transparent or similar finish.

## **SQUARE CUTTING**

Where units or sheets are described as "designed to be used without cutting" but square cutting of such units or sheets is necessary, such cutting is measured separately.

## **TEXTURED SURFACES**

The term "light textured" means plastics painted or the like surfaces.

The term "medium textured" means roughcast or the like surfaces.

The term "heavy textured" means pebble-dashed, exposed aggregate or the like surfaces.

## **PAINTING GENERALLY**

The rates for painting generally shall include for:-

- (a) Priming and painting one coat or sealing bottom edges of doors
- (b) Priming and painting one coat to all windows, transom lights, etc., before the glazing compound has hardened
- (c) Working behind pipes and radiators.

## **PAINTING UNDERCOATS/FINISHING COATS**

Rates for items described as two undercoats and one coat finish shall be deemed to include for one undercoat and two coats finish where this method of application is recommended by the manufacturer selected.

## **MATERIALS (NOT TO BE USED WITH NBS SPECIFICATION)**

### **WALL TILES**

Wall tiles shall be cushion edge and comply with BS 6431.

## **PAINTING GENERALLY**

The priming coat, undercoats and finishing coats in any one system shall be obtained from the same manufacturer.

The whole of the paints shall be delivered to the site in the manufacturer's original sealed containers.

The priming paints are to be "lead free".

The various priming paints shall be those recommended by the manufacturer as being particularly suitable for the surfaces to which they are to be applied and the subsequent undercoats.

All materials shall be stored in a clean dry area and protected from extreme temperatures.

## **KNOTTING**

Knotting shall be aluminium priming complying with BS 4756 Type 2.



## **PRIMERS**

Water based wood primer shall comply with BS 5082.

Calcium plumbate primer shall comply with BS 3698, Type A.

Aluminium wood primer shall comply with BS 4756, Type 2.

Zinc rich primer shall comply with BS 4652.

## **STOPPING**

Stopping for:-

- (a) Plasterwork shall be polyfilla or alabastine filler mixed with water paint
- (b) Internal woodwork and plywood shall be putty complying with BS 544 and shall be tinted to match the colour of the undercoat
- (c) External woodwork shall be genuine linseed oil putty complying with BS 544 or suitable exterior quality filler, and shall be tinted to match the colour of the undercoat.
- (d) Clear finished woodwork shall be a stopping tinted to match the surrounding woodwork.

## **LINSEED OIL**

Refined linseed oil, raw linseed oil and boiled linseed oil shall each comply with BS 6900.

## **WHITE SPIRIT**

White spirit shall comply with BS 245.

## **SIZE**

Size shall comply with BS 3357.

## **FUNGICIDES**

Unless otherwise described fungicides shall be of the type recommended by the paint manufacturers.

## **FLAME RETARDANT PAINTS**

Where to be used on walls and ceilings the flame retardant paint shall give not worse than Class 1 spread of flame as described in BS 476 Part 7.

## **PAPER/FABRICS**

Materials shall be of the same batch and shade numbers where appropriate.

## **ADHESIVES**

Adhesives for fixing wall papers shall be cellulose based paste, those for vinyl or plastic wall coverings shall be "Clam 143".

## **SPECIFIED SUPPLIERS**

### **PAINT, PRIMERS, EMULSION ETC.**

The whole of the paint, primers, emulsion, etc except where otherwise described, shall be obtained from one of the following manufacturers:

(see specification)

Alternative manufacturers will be considered, subject to the written approval of the Contract Administrator.

## **WORKMANSHIP (NOT TO BE USED WITH NBS SPECIFICATION)**

### **PLASTERWORK**

Internal plastering shall comply with BS 5492 and the following general requirements:-

- (a) All existing work and approaches shall be protected by means of boards, dust sheets, etc and all droppings on to finished work shall be cleaned off immediately
- (b) All plant and tools shall be kept clean and free from previous mixes
- (c) Adequately prepare backgrounds to provide key and remove projections, concrete fins, efflorescence, laitance, dirt, mould, oil, paint, grease, dust and other incompatible materials
- (d) All beads and stops shall be securely fixed plumb, square and true to line and level
- (e) All finished surfaces shall be to a true plane in correct line and level with angles plumb and square
- (f) All necessary precautions shall be taken to enable plastering to proceed without damage when the air temperature is below 3°C
- (g) All necessary precautions shall be taken to prevent premature drying out.

### **EXTERNAL RENDERING**

External rendering shall comply with BS 5262 and the general requirements specified for internal plastering.

### **WALL TILING**

Internal and external wall tiling shall comply with BS 5385.

### **WALLBOARD SHEET FINISHINGS - "DAB" FIXING**

The lining shall be fixed in accordance with British Gypsum's Thistle Bond method with 3mm wide joints. Wall faces to receive linings shall be true and level and prices shall include for any necessary packings.

### **WALLBOARD SHEETING FINISHINGS - "NAIL" FIXING**

The linings shall be fixed with 3mm - 6mm wide joints, which shall always occur over joists or studs. Linings shall be nailed to each joists or stud at 150mm centres, commencing in the centre and working outwards with 32mm x 14 SWG (for 9.5mm boards) and 38mm x 14 SWG (for 12.7mm boards) galvanised wire nails with small flat head and smooth shank. Nails shall be driven home firmly without fracturing the paper surface and the final hammer blow should leave a shallow depression to facilitate spotting. As a guide approximately 2.72kg of 32mm nails or 3.00kg of 38mm nails are required for 100 square metres of board.

### **WALLBOARD SHEET FINISHINGS - JOINTING**

The joints shall be made strictly in accordance with Messrs. British Gypsum Limited's instructions and as a guide the following is an abbreviated description.

The joints shall be flush seamless and work shall be carried out in the cleanest conditions possible and all mixing surfaces, containers and tools shall be free from contaminations of all descriptions to achieve blemish free joints. The jointing involves three distinct operations.

1. The joints shall be filled with Gyproc Joint Filler, mixed by stirring the powder into the water and left to stand ten minutes before using. Joint filler shall not be re-tempered after setting commences. Using a filling knife apply a thin band of filler into the trough of the tapered board and press home Gyproc joint tape onto the surface of the filler. Apply a further coating of filler over the tape to bring the surface flush with the board surface before the filler commences to stiffen wipe over with a jointing sponge to remove surplus filler from the edges of the joint. Any depressions after setting shall be filled with joint filler.
2. When the filler has set hard apply a thin layer of Gyproc joint finish in a broad band about 200mm to 250mm wide feathering out the extreme edges with a joint sponge using light circular strokes. After this has partially dried repeat the operation.
3. As soon as the final application of joint finish has dried dip the jointing sponge into a very thin slurry of Gyproc joint finish and distribute the slurry over the entire board surface using light circular strokes to even up the texture of the board and joint.

The Contractor is strongly recommended to refer to the various publications available from Messrs. British Gypsum Ltd, describing Gyproc wall board and methods of jointing.

### **WALLBOARD BASE**

The plasterboard shall be fixed to break joint as much as possible and with 3 mm space between the joints, with 32mm x 12 gauge galvanised nails with 9mm heads at 150mm centres one each bearing.

The joints shall be stemmed with neat plaster, at the same time applying a strip of plaster between all joints and into angles between walls and ceilings and with 100mm wide jute scrim cloth pressed in and trowelled as flat as possible.

### **HARDBOARD, PARTICLE BOARDS, ETC.**

Sheets shall be pre-drilled for screw or bolt fixings. Holes shall be not less than 13mm from edges and 32mm from corners of sheets.

### **EXPANDED METAL LATHING**

Metal lathing shall be lapped not less than 25mm and sheets tied together with Nr 18 SWG galvanised wire at 75mm centres.

### **VINYL TILES**

Vinyl tiles shall be laid in accordance with BS 8203 and shall not be laid until the screed or sub-floor is thoroughly dry.

Any cracks and hollows in the screed or sub-floor shall be filled with a compatible levelling compound.

Tiles shall be stored in the areas where they are to be laid for a period not less than 48 hours before laying.

All surplus adhesive shall be removed from the face of tiles laid on any other surface as the work proceeds.

### **PAINTING GENERALLY**

The whole of the work shall comply with BS 6150 and shall be executed in the most substantial and workmanlike manner and of the best class of workmanship throughout and a competent foreman shall at all times be employed. Sumps and drains shall not be used for the disposal of waste and dirty water.

### **STIRRING OF MATERIALS**

The contents of all cans and containers of all materials must be properly and thoroughly stirred before and during use and shall be suitably strained as and when necessary.

### **PREPARATION OF SURFACES**

The various surfaces shall be prepared strictly in accordance with the requirements of the paint manufacturers and the following is a general indication of what the Contractor shall allow in his rates for preparation:

#### **(a) Generally**

Remove all builder's splashes, nibs etc. and ensure that the surfaces are clean, dry and free from oil, grease, wax polish, rust and all loose and flaking material

#### **(b) Plaster, Brick and Concrete**

All cracks, blisters and other imperfections in wall and ceiling surfaces shall be filled in and made good and the whole of the surfaces shall be brushed down to remove dust and loose material. All traces of mould oil shall be removed from concrete surfaces by scrubbing with water and detergent and rinsing with clean water to remove all detergent.

(c) Steel and Ironwork

Remove all rust, mill scale, flaking paint, etc. by wire brushing, scraping, etc.

(d) Galvanised surfaces

Wash with white spirit.

(e) Copper and Aluminium

Wash with soap and water, roughen with abrasive paper and wash with white spirit.

(f) Plywood and Other Boards

Fill in imperfections, rub down and brush off dust etc. After priming, stop, rub down and brush off.

(g) Woodwork to be painted

All surfaces which will be visible after fixing shall be rubbed down and all knots and resin pockets shall be scorched back and coated with knotting. After priming and fixing, all nail holes and other imperfections shall be stopped and the whole surface shall be rubbed down and all dust brushed off.

The Contractor shall note that priming on timber which has been "Vac-Vac" processed shall not be executed within 48 hours of the timber being processed.

(h) Woodwork to receive Clear Finish

All holes and other imperfections shall be stopped with a matching filling and the whole surface shall be rubbed down and all dust brushed off.

(j) Pre-primed surfaces

Clean down surfaces, stop all holes and touch up primer with a similar primer where damaged.

## **BRUSH WORK**

Unless otherwise described all coatings shall be applied by brush. Written permission must be obtained from the Contract Administrator for the application of coatings by spray or roller where not so described and if permission is granted such application shall not result in extra costs to the Employer.

## **SUCCESSIVE COATS**

Successive coats of paint shall be thoroughly dry before subsequent coats are applied. Each coat shall be rubbed down with glass-paper or pumice stone and any surface imperfections with an approved hard stopping.

## **CONDITIONS FOR PAINTING**

No painting shall be carried out when the temperature is below freezing point, or to exterior work during wet or foggy weather.

Any painting blistered through the action of weather shall be thoroughly scraped and repainted to the satisfaction of the Contract Administrator.

No external painting shall be carried out more than four months before the appropriate section of works can reasonably be expected to be complete and handed over.

No painting shall be carried out on internal work unless the room is practically free from dust.

### **HANGING PAPER AND OTHER COVERINGS**

Hanging shall not be commenced until all work affecting surfaces and surrounding areas has been completed, surfaces to be covered have dried out, and efflorescence has ceased. All nail and screw heads shall be touched with metal primer and stopped.

Remove all items, which can reasonably be removed, and replace.

Lining papers shall be hung with butt or slightly open joints, never with overlap.

Wall papers and coverings shall be checked for colour match before hanging.

Wall papers and coverings shall be hung with correct alignment and accurate matching of patterns.

All wall papers and coverings upon completion shall be secure and smooth, free from bubbles, wrinkles, gaps, tears, adhesive marks and other stains.

Spare rolls or part rolls shall be retained and handed to the Contract Administrator upon completion without charge.

### **PROTECTION**

The Contractor shall cover up, provide the necessary dust sheets to protect all floors, fittings and fitments and be held responsible for any damage whatsoever to same. The whole of the works shall be left clean and free from splashes and stains.

### **BUILDING FABRIC SUNDRIES**

#### **DEFINITIONS**

#### **SERVICE TRENCH WIDTHS**

The measurement of hardcore or the like in filling to service trenches, excavating below normal water level, excavating unstable ground or for breaking up obstructions and surface finishings; is based upon the following trench widths:

for single pipes or cables not exceeding 150mm nominal diameter – 600mm wide

for single pipes or cables not exceeding 225mm nominal diameter – 690mm wide

for single pipes or cables not exceeding 300mm nominal diameter – 770mm wide

## **DISPOSAL SYSTEMS**

### **GENERALLY**

The whole of the plumbing shall be executed in accordance with the rules and regulations of the Local Water Authority. Service and distribution pipework shall comply with BS 6700.

### **PVC SOIL WASTE AND OVERFLOW PIPES**

“O” ring joints shall be used in preference to welded joints wherever practicable.

### **COPPER PIPES**

All copper pipe ends shall be prepared for fittings by cleaning off burrs from cut ends of pipes. Pipes shall be inserted for the full depth of the seating shoulder or fittings.

### **BRACKET SPACING**

The facing of pipe supports shall be as shown on the detail drawings or in the manufacturer’s instructions, but in any event shall not exceeding the spacing shown below:

Pipe Material	Nominal/ Max Spacing in Metres		
	Bore	Vertical	Horizontal
Copper	15mm	1.8	1.2
	22mm	2.4	1.8
	28mm	2.4	1.8
	35 and 42mm	3.0	2.4
	54mm	3.0	2.7
P.V.C.	17mm	1.1	0.6
	22mm	1.2	0.6
	27mm	1.4	0.7
	34mm	1.5	0.8
	42mm	1.7	0.8
	48mm	1.8	0.9
	55, 75 and 100mm	1.25	0.75
Galvanised mild steel	76mm	4.6	3.7

All pipework shall be supported so as to permit movement due to thermal expansion and contraction.

### **TESTING**

The whole of the water services shall be tested as required by the Local Water Authority, and all soil waste and ventilating pipework shall be tested with an air test at a pressure equal to 38mm water gauge, which shall remain constant for a period of not less than three minutes.

## **GAS INSTALLATION**

### **GENERAL**

The Contractor is referred to the Trades Preambles for Plumbing Installations.

The installation shall comply with the requirements of the appropriate local Gas Board.

### **TESTING**

All pipework under floors shall be tested by an air test at a pressure of not less than twice the working pressure and shall be held without any drop in pressure for a period of not less than one minute. The test shall be carried out prior to covering over and any leaks repaired.



## **Section 3**

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### Schedule of Works

	<b><u>MEASUREMENT</u></b>		<b>£</b>	<b>p</b>
A	Quantities stated within the specification items are for the guidance of the contractor in pricing. However, the contractor will be aware that this is not a quantities based contract and, as such, he will be deemed to have visited the site to ascertain the full extent and nature of the various works described and indicated on the contract drawings.			
B	No claims shall be considered which results from lack of knowledge and discrepancy from information reasonably obtained from on-site investigations.			
D	Unless stated otherwise the Contractor is to allow for the supply of all material associated with the works.			
E	Wherever possible the Contractor shall recycle waste material.			
F	Site inspection to be undertaken with Contract Administrator within two working days of date of possession to agree extent of works to be exposed/ removed prior to stripping.			
	<b><u>WORKS SEQUENCING</u></b>			
G	The Contractor must ensure the working site is left in a safe, clean and liveable condition at the end of each working day. Works which if left incomplete would leave the property in a position of increased security risk must only be commenced if the task can be completed within the same working day.			
H	The Contractor shall be responsible for all day-to-day liaisons with customers to co-ordinate the required works, to ensure satisfactory completion before the end of the contract period. Customer satisfaction notices should be obtained on completion of the works.			
	<b><u>ACCESS AND ATTENDANCES</u></b>			
J	Allow for the provision of all access equipment necessary for the safe undertaking of the works. The Contractor shall be responsible for all liaison with statutory authorities to seek approvals and consents for any access equipment and the like which may need a licence.			
	<b><u>COMPLETION</u></b>			
K	On completion provide a full builders clean of the property; remove any debris from the site; provide all manufacturer warranty information to the Contract Administrator.			

			£	p
	<b><u>ASBESTOS</u></b>			
A	The contractor is to commission adequate asbestos reports to undertake the works.			
B	Allow a provisional sum of £1000.00 for asbestos removal works.			
	<b><u>PROTECTION</u></b>			
C	Access to the property is available from the front and side elevation.			
D	The contractor should take any necessary steps to ensure the surrounding roads and pavements as well as adjacent property is not damaged during the course of these works.			
E	The contractor should taken necessary measures to protect the existing property from damage during the works.			
F	Contractor is to allow for secure protection to the site for the duration of the project.			
	<b><u>STRIPPING OUT</u></b>			
G	Carry out demolition, clearance and stripping out works as soon as possible following possession and site setup to enable further inspection by the Contract Administrator, as required. Unless specifically stated otherwise Contractors are to allow for removal and disposal of all debris away from site			
H	Prepare the building to receive the new works. Break out concrete paving around the building, clear vegetation from around the building, remove redundant shed and fencing, remove existing external doors and windows, remove fascia and rainwater goods, remove existing kitchen, bathroom, heating and electrical system, remove all loft insulation from the building and dispose of all arisings off site.			
J	Hack off existing plaster to all internal walls and ceilings and prepare to receive new. Dispose of all arisings off site			
	<b><u>GROUNDWORKS/EXCAVATIONS/ BELOW GROUND DRAINAGE</u></b>			
K	Foundations, floor slab and excavations are to be to the contractors design contractor should include for any costs involved with ground investigations and any structural calculations required.			
L	Excavate and construct adequate foundations to support the new above ground works.			

	<b><u>GROUNDWORKS/ EXCAVATIONS/ BELOW GROUND DRAINAGE</u></b> <b><u>CONT'D</u></b>		<b>£</b>	<b>p</b>
A	Excavate to reduce levels and install new insulated concrete ground bearing slab. Design and construction is to contractors design. Remove all arisings from site.			
B	Create new drainage and inspection chamber in order to cater for additional drainage requirements from new extension include for adjusting existing below ground drainage to suit. Lay drainage in suitably prepared trench, using gravel etc to meet building regulations.			
C	Allow a provisional sum of £1,500.00 for builders work in connection with below ground drainage.			
	<b><u>BRICKWORK/BLOCKWORK</u></b>			
D	Construct new cavity walls as indicated on the drawings; to comprise 7kn 100mm lightweight concrete blockwork outer leaf; 100mm 7kn lightweight concrete blockwork inner leaf; 100mm cavity with 100mm thick insulation to achieve a U-value of 0.28 W/m²k or better; complete with all stainless steel wall tiles at recommended centres.			
E	Connect new work to existing using fir fix wall starters and form compressible joint at junction filled with mastic sealant; brickwork to be laid stretcher bond with bucket handle joint in 1:6 cement/sand mortar. Brickwork below DPC to be in class B engineering bricks pointed in 1:4 cement/sand mortar; Hi-load continuous DPC to be incorporated 150mm above ground level and lapped/taped into DPM.			
F	Form openings in new work for windows and doors as indicated on the drawings; closing cavities with Thermabate (or similar approved) closers; inserting Catnic insulated lintels (GG50/100) over new opening and all temporary support works finished incorporating weep holes and vents.			
G	Extend existing opening for kitchen door to form window aperture; allowing to make good to all disturbed finishes; allow for new Catnic lintel/s over opening if required and all temporary support works. Extend plaster finish to suit. Lintel design to be Contractors responsibility and approved by CA prior to commencement on site.			
H	Form new blockwork walls to create a partition between new bedrooms and bathroom. To be constructed of 100mm lightweight blockwork.			
J	Infill existing kitchen window with brickwork, ensure it is adequately fixed to existing.			

	<b><u>EXTERNAL WALL INSULATION &amp; RENDER</u></b>		<b>£</b>	<b>p</b>
A	To area of walls to existing property which will not be affected by the extension Temporarily remove all external fixtures and fittings (telephone cables; satellite dishes, etc) to facilitate the works and reinstall on completion; include the installation of suitable pattresses to enable secure fixings through any new insulated render.			
B	Install SBS envirowall external insulation to all existing elevations, all in accordance with the manufacturer's recommendations.			
C	Apply SBS envirowall 'acrylic topcoat' render system to all external walls to include for stop beads and the like required to complete the works.			
	<b><u>ROOFING</u></b>			
D	To new extension construct new timber mono pitched roof using treated softwood rafters, rafters to be hung on proprietary stainless steel joist hangers existing wall side and 150 x 50mm continuous treated softwood wall plate to the other and be strapped to new masonry using proprietary stainless steel twisted straps; 5mm thick at recommended centers. Form areas around existing windows on first floor to allow for adequate tile pitch.			
E	Contractor is responsible for ensuring timbers are in accordance with Building Regulations Approved Document Part A.			
F	Fix 38mm x 25mm treated timber battens across rafters; install concrete tiles to closely match existing in accordance with manufacturers recommendations. Install code 4 lead flashings at junctions and to where windows intersect roof line, chase in to joints and mastic point.			
G	To existing roof include to replace 20nr broken or damaged tiles.			
	<b><u>PLASTERWORK</u></b>			
H	Supply and fix single layer 12.5mm moisture resistant plasterboard to ceiling areas within existing and proposed bathrooms; apply 3mm skim coat.			
J	Supply and fix single layer 12.5mm plasterboard to ceilings to all other rooms within existing and new parts' apply 3mm skim coat.			
K	Apply render and skim coat traditional plaster finish to all new and existing masonry walls.			
L	Apply 3mm skim coat plaster to all stud walls.			

			£	p
	<b><u>RAIN WATER GOODS</u></b>			
A	Supply and fit new uPVC rainwater goods to include guttering and downpipes to the entire property. Include for new brackets, stop ends, swan necks etc. and connect to existing drainage. All rainwater good to be black uPVC.			
	<b><u>FASCIA AND SOFFIT BOARDS</u></b>			
B	Supply and install new UPVC, Eurocell (or similar approved product to conform with a BS EN 1501:2000 accredited system) 18mm standard smooth fascia board; size to match existing; colour to match existing			
C	Supply and install new UPVC, Eurocell (or similar approved product to conform with a BS EN 1501:2000 accredited system) 9mm hollow vented soffit board; width to match existing; colour to match existing			
	<b><u>WINDOWSAND DOORS</u></b>			
D	Manufacture, supply and install new UPVC windows; incorporating white profiles; 28mm (4mm-20mm-4mm) low E glass sealed units, internally beaded; galvanised reinforcement to frame, and trickle vents to meet the requirements of Approved Document E of the Building Regulations. Finish with suitable mastic pointing at all perimeters. Complete with all ironmongery cills, window boards; colour to be white. New bathroom windows to be obscure glazing.			
E	To main entrance. Supply and install new GRP Composite door and frame (or similar approved); door to be fitted with lever handle, multi point locking system; anti-bump europrofile cylinders, low thresholds, butt hinges (open in); letter plate; doors to meet the requirements of BS675 / PAS024. New frames are to match existing i.e. external sills etc. Residents at each property to have design and colour choice option, colour to be white internally.			
F	To rear entrance. Supply and install new UPVC 60mm 2XG door and frame (or similar approved); door to be fitted with lever handle, winkhaus STV2 hook bolt locking system; anti-bump europrofile cylinders, low thresholds, doors to meet the requirements of PAS 2342. Ensure level threshold is installed.			
	<b><u>JOINERY</u></b>			
G	Supply and fix internal flush finish hollow core doors to all new openings within the extension. Include for architraves, frames and ironmongery etc.			
H	Supply and fit new softwood skirting boards throughout the entire property.			

	<b><u>JOINERY CONT'D</u></b>		<b>£</b>	<b>p</b>
A	To fire place within dining room block opening, include for ventilation grill as required and prepare for decoration.			
B	PROVISIONAL ITEM – Remove internal doors to the existing property and widen openings to allow for a clear opening of 850mm. Supply and fix internal flush finish hollow core doors to all widened openings. Include for architraves, frames and ironmongery etc			
	<b><u>ELECTRICAL</u></b>			
C	<p>Full rewiring (to 18th Edition of the IEE Regulations) of complete house and extension; works to include the removal of all existing cable infrastructure, containment, fittings, and the like back to the meter position; new works shall comprise: -</p> <ul style="list-style-type: none"> <li>• New lighting circuits at ground and first floor levels</li> <li>• New small power circuits at ground and first floor levels</li> <li>• New circuit for electric cooker outlet (kitchen)</li> <li>• New ceiling pendant fittings to rooms with associated switching</li> <li>• New sealed light fitting to bathroom with pull cord</li> <li>• New fluorescent strip lights (2Nr) to kitchen</li> <li>• 1Nr external light with PIR sensor</li> <li>• New 12-way split load consumer unit (Crabtree or equal and approved) with switch 100DP isolator; 80A 30Ma RCDs; with a minimum of 10 MCBs</li> <li>• New switched double socket outlets (15Nr at ground floor level; 7Nr at first floor level). Position to be agreed on site</li> <li>• Extract fan to kitchen; Enviro Vent model reference EFHT25 (complete with all electrical connections, and associated builders work)</li> <li>• Extract fan to bathrooms, shower room and WC; Ventaxia CF20 or equal and approved (complete with all electrical connections and associated builders work)</li> <li>• Low level single socket outlets with switched, fused spur connections to kitchen (3Nr)</li> <li>• New fused spur connections to boiler and other heating/hot-water controls</li> <li>• 3Nr Grade D LD3 smoke alarms (hallway in existing and extension as well as landing); in accordance with BS 5839 pt 6</li> <li>• Making good to wall and ceiling areas disturbed</li> <li>• Provision of all design, installation and commissioning certification</li> </ul>			

	<b><u>PLUMBING</u></b>		<b>£</b>	<b>p</b>
A	Supply and install new plumbing system complete for both hot and cold water services as well as heating system.			
B	Boiler to be new Ideal Logic Combi (or equal approved). Size to be determined by contractors heating engineer.			
C	Fix Barlo radiators complete with fitted air cocks, lockshield valves and ACL RT212, thermostatic control valves sized as determined by contractors heating engineer. Positions to be agreed.			
D	Install new Controls/programmer from Danfoss (or equal approved)			
E	All pipework to be copper with soldered joints			
F	Fill installation, flush out with pre-commission cleaner liquid, refill and test for leaks.			
G	Introduce anti-corrosion inhibitor into central heating system in accordance with BS5449 and BS7593.			
H	A CP12 (Landlords Gas Safety Inspection) must be completed upon commissioning of any installed gas appliance. The CP12 must include all the gas appliances in the property, therefore undertaking the required safety checks and required servicing for the appliance. Any certificate must show all appliances in the property and indicate “no further appliances” where there are no more gas appliances present.			



	<b><u>BATHROOM – GROUND FLOOR</u></b>		<b>£</b>	<b>p</b>
A	Supply and install close coupled WC to bathroom, Armitage Shanks Sandringham 21 range; complete with cistern, mechanism, seals etc, and waste connection into soil pipe.			
B	Supply and install vitreous china wash basin and pedestal; Alcona by Twyford to bathroom.			
C	Lever pillar taps with metal heads, plug, chain and stay, pvc waste connection.			
D	Break out floor, supply and fit AKW Tuff form 1800 x 1000 former.			
E	Supply and fix AKW Luda shower and Luda M17 pack with tuff formed gravity waste and white rail, including for all associated plumbing, electrical works, pull cord isolator switch, testing, commissioning etc.			
F	Supply and fix padded shower seat, with arms, legs etc.			
G	Supply and fix 2 Nr grab rails, location to be agreed on site.			
H	Supply and fix screen, to be a rigid lower with curtain upper. Include for screen to be around one long and one short side of the former.			
J	Connect all sanitary ware to hot and cold feeds and trapped wastes, previously prepared. (Include for service valves to each item). Include for earthing connections as necessary.			
	<b><u>BATHROOM AND SEPARATE WC ON – 1<sup>st</sup> FLOOR</u></b>			
K	Connect all sanitary ware to hot and cold feeds and trapped wastes, previously prepared. (Include for service valves to each item). Include for earthing connections as necessary.			
L	Supply and install close coupled WC to bathroom, by Armitage Shanks Sandringham 21 range; complete with cistern, mechanism, seals etc, and new waste connection into soil pipe.			
M	Supply and install vitreous china wash basin and pedestal; by Armitage Shanks Sandringham 21 range to bathroom.			
N	Lever mixer taps with metal heads, plug, chain and stay, pvc waste connection.			

	<b><u>BATHROOM AND SEPARATE WC ON – 1<sup>st</sup> FLOOR CONT'D</u></b>		<b>£</b>	<b>p</b>
A	Supply and fix bath, by Armitage Shanks Sandringham 21 range; 2.9 mm heavy gauge porcelain enamelled spur steel bath; 1700 x 700 mm, 2 Nr tap holes, hand grips, plug chain and stay; side and end panels; curtain rail and curtain; PVC waste connection into new PVC waste connection. Taps to be chromium plated lever action mixer taps.			
B	Supply and fix Mira Jump Multi-Fit (9.5kw) shower, including for all associated plumbing, electrical works, pull cord isolator switch, testing, commissioning etc.			
C	Connect all sanitary ware to hot and cold feeds and trapped wastes, previously prepared. (Include for service valves to each item). Include for earthing connections as necessary.			
	<b><u>SHOWER ROOM</u></b>			
D	Connect all sanitary ware to hot and cold feeds and trapped wastes, previously prepared. (Include for service valves to each item). Include for earthing connections as necessary.			
E	Supply and install vitreous china wash basin and pedestal; by Armitage Shanks Sandringham 21 range to bathroom.			
F	Lever mixer taps with metal heads, plug, chain and stay, pvc waste connection.			
G	Supply and fix shower tray, by Armitage Shanks; Acrylic capped ABS Lightweight Stone Resin; 800 x 00 mm, curtain rail and curtain; PVC waste connection into new PVC waste connection.			
H	Supply and fix Mira Jump Multi-Fit (9.5kw) shower, including for all associated plumbing, electrical works, pull cord isolator switch, testing, commissioning etc.			
J	Connect all sanitary ware to hot and cold feeds and trapped wastes, previously prepared. (Include for service valves to each item). Include for earthing connections as necessary.			

	<b><u>KITCHEN</u></b>		<b>£</b>	<b>p</b>
A	Supply and fit new kitchen units from the Senator Eco range produced by Senator. Colours to be confirmed by client.			
B	Kitchen to be designed by supplier. Contractor is to include for costs associate with this service. Final design to be agreed with client.			
C	Supply and fit Laminate 40mm thick post-formed worktops above all base units and appliances as indicated on drawings. Where worktop is cut for sink all cut edges to be sealed. Cut down to suit where necessary, to include for removable sections, jointing strips, plinths, end caps, support legs, support ends, etc for a full and satisfactory installation.			
D	Provide new gas cooker supply in Kuterlux plastic sheathed copper pipe; complete with all fittings.			
E	Stainless steel inset single drainer; complete with chromium plated lever mixer tap, 38mm waste connection and trap connected into new hot and cold water service., plug, chain, trapped waste etc, all connected into existing hot and cold water and waste connections.			
F	Supply and fix pair of chromium plated washing machine taps; plugged and screwed to wall, including new PVC waste outlets.			
G	Supply and fit new stopcock.			
	<b><u>TILING</u></b>			
H	Supply and fix 150 x 150 x 5 mm ceramic wall tiles, using waterproof adhesive and grouting with white waterproof grout, all exposed edges (including underside) are to be finished with edging trims and all junctions sealed with mastic.			
J	2 Nr courses above wash-hand basins.			
K	Full height in shower areas.			
L	3nr courses above worktops			
M	Colour of tiles to be white.			

		£	p
	<p><b><u>DECORATION</u></b></p> <p>A Apply one mist and two full coats vinyl matt emulsion to all ceilings and walls Ceilings to be white in colour; wall colour to be confirmed.</p> <p>B Apply one coat primer; one undercoat and two coat gloss to all new and existing internal joinery. (Colour: white).</p> <p>C Apply one under coat and one coat gloss to all exposed pipe work and radiators. (Colour: white).</p> <p><b><u>FLOORING</u></b></p> <p>D To bathroom on ground floor, apply latex levelling screed to perimeter of bathroom supply and lay new 2mm Polysafe Hydro floor vinyl in accordance with manufacturers guidance (colour to be confirmed). Allow for flooring to be taken up wall. Form coved skirtings. Include for all capping strips and cove formers etc. Colours to match that of floor. Floor gradient, 1:40 minimum fall to allow drainage (contractor to ensure installation meets manufacturer's recommendations).</p> <p>E To bathroom, WC and shower room on the first floor, lay plywood over exiting floorboards to create a level surface, supply and lay new 2mm Polysafe Hydro floor vinyl in accordance with manufacturers guidance sealing all perimeters with white Dow Corning (or similar approved by CA).</p> <p>F To kitchen apply latex levelling screed to perimeter of floor and lay new Polysafe Wood FX 2 mm vinyl sheet in accordance with manufacturers guidance sealing all perimeters with white Dow Corning (or similar approved by CA).</p>		

		£	p
	<p><b><u>EXTERNAL WORKS</u></b></p> <p>A Cut back hedges to the front and side elevation to a height of 1.8m. Thin out so that they are no thicker than 500mm.</p> <p>B Lay new pc paving slabs, on suitable hardcore base, and bedded on a bed of 1:3 cement/sand mortar, allow for cutting of slabs to suit to front side and rear of the property as shown on the drawing. Ensuring even levels throughout. Area of car parking is to remain as concrete hard standing as existing.</p> <p>C Prepare lawn where disturbed due to new extension and reseed, include for turning over and new topsoil as required.</p> <p><b><u>FENCING</u></b></p> <p>D To the side elevation, the midway point by the corner and around the parking area Install new fencing. To be formed from slot in laped timber panels inset into concrete fence posts with gravel boards below. Total height of fence to be 1.8m.</p> <p>E To the gate positions indicated on the drawing supply and fit new ledged and braced timber gates (3nr). Include for ironmongery and posts required.</p> <p>F Timbers to be pressure treated against rot and have an expected life span of 10 years. Concrete posts and gravel boards to be securely fixed into the ground.</p>		

		£	p
<b><u>COLLECTION</u></b>			
Page 3/1			
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<b><u>TOTAL – SECTION 3</u></b>			
<b><u>CARRIED TO FINAL SUMMARY</u></b>		£	

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## **Section 4**

### Contingency

			£	p
	<b><u>CONTINGENCY SUM</u></b>			
A	Include a contingency sum of £2,500.00 (Two Thousand Five Hundred pounds) for expenditure against unforeseen items. Such expenditure will only be authorised following approval by the Contract Administrator.		2,500	00
	<b><u>TOTAL – SECTION 4 – CONTINGENCY SUM</u></b>			
	<b><u>CARRIED TO FINAL SUMMARY</u></b>			
		£		



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## **Section 5**

### Final Summary

			£	p
	<b><u>FINAL SUMMARY</u></b>			
	SECTION ONE – PRELIMINARIES			
	SECTION TWO – PREAMBLES			
	SECTION THREE – SPECIFICATION			
	SECTION FOUR – CONTINGENCY			
	SECTION FIVE – FINAL SUMMARY		2,500	00
	<b><u>TOTAL</u></b>			
	<b><u>CARRIED TO FORM OF TENDER</u></b>	£		

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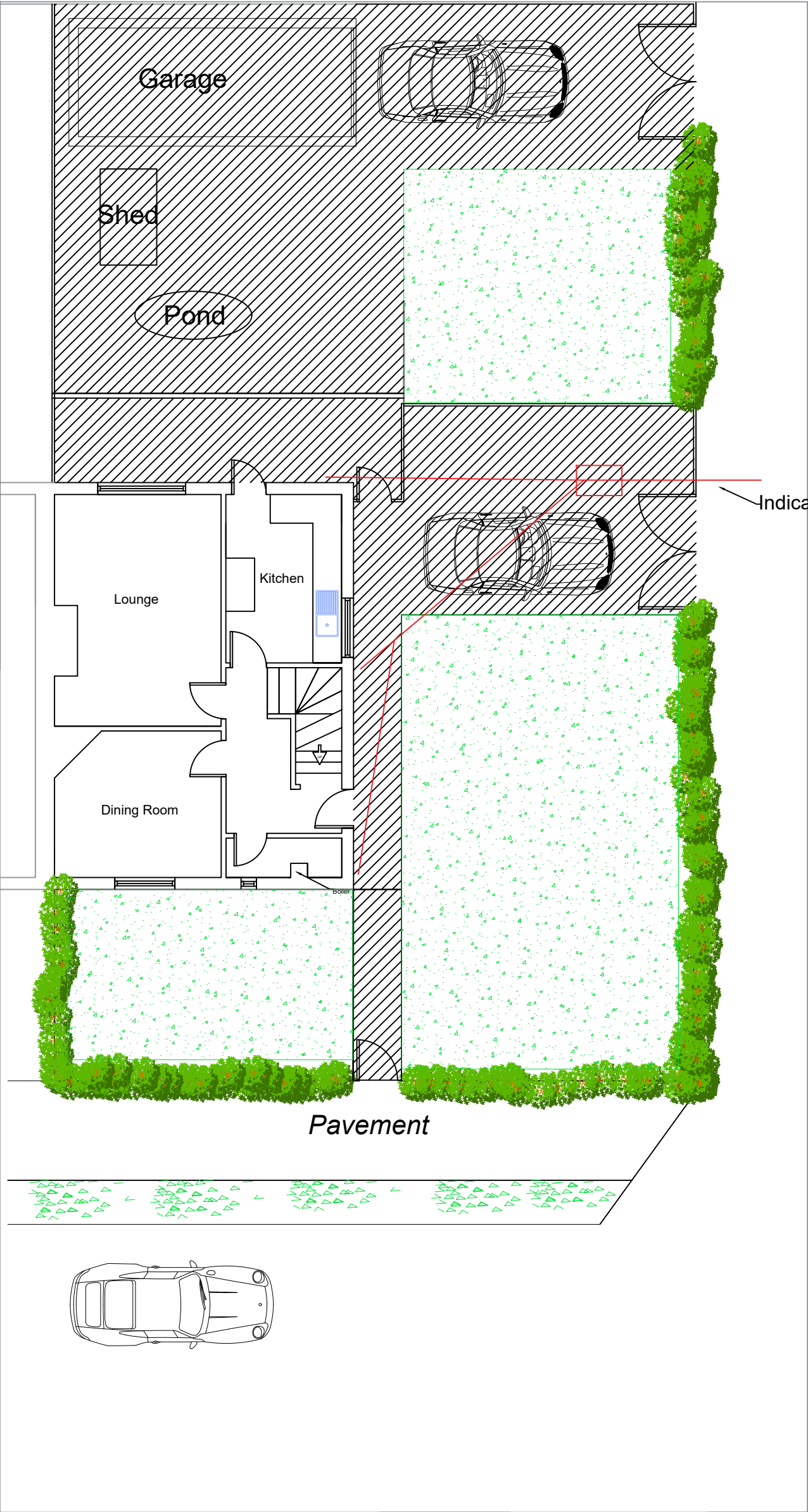
## **Appendix 1**

### Drawings

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Figured dimensions shall be taken in preference to scaled dimensions and any discrepancies or errors are to be referred to the Designer. Contractors, sub-contractors and suppliers must verify all dimensions on site before commencing work or making any fabrication drawings.

Existing



Proposed



**Drawing Issue Notes:**

Rev	Issue Date	Revision Notes:
A		Add hedge to front and side of proposed Drwg

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Email: [enquiries@focus-consultants.com](mailto:enquiries@focus-consultants.com)

**Project**  
11 Valley Walk

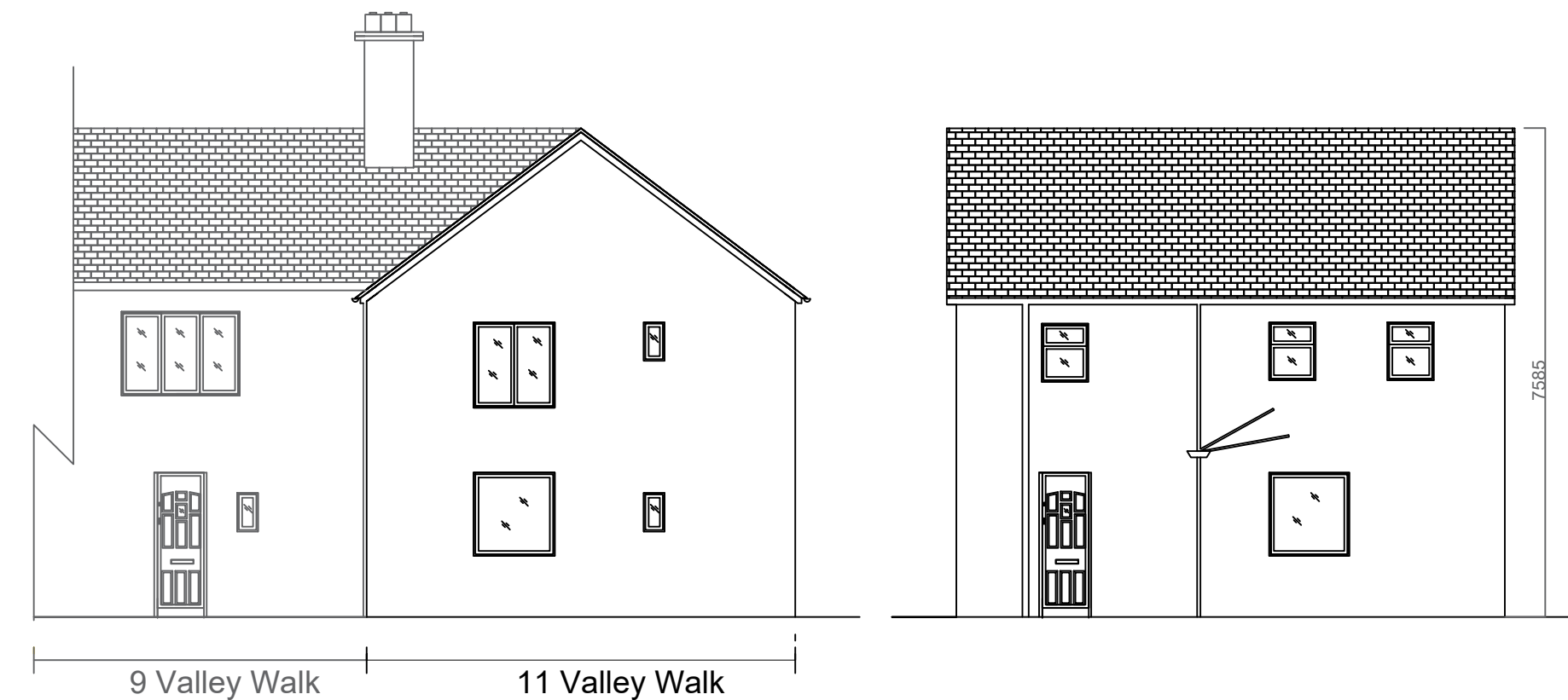
**Client**  
Kettering Borough Council

**Drawing Title**  
Existing and proposed layouts

Revision	A	Date	August 2020
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Drawing No.	R2145-006-0		
Drawn	CC		
Checked			

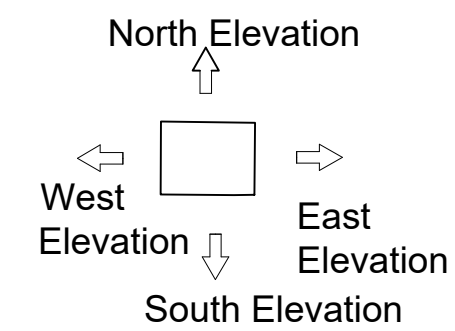
Preliminary	For Approval	
Planning Issue	Building Reg. Issue	
Tender Issue	Construction Issue	
As Built		

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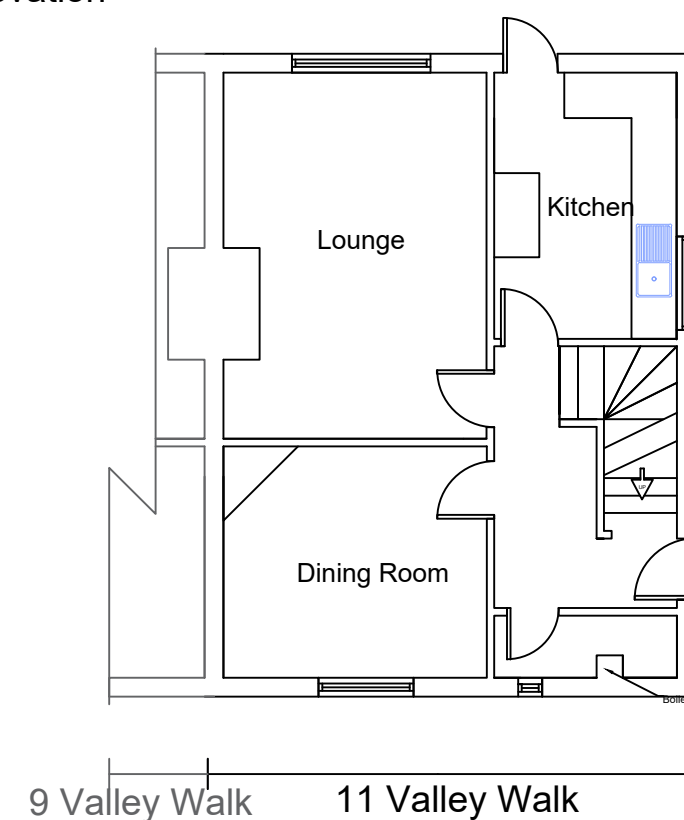


North Elevation

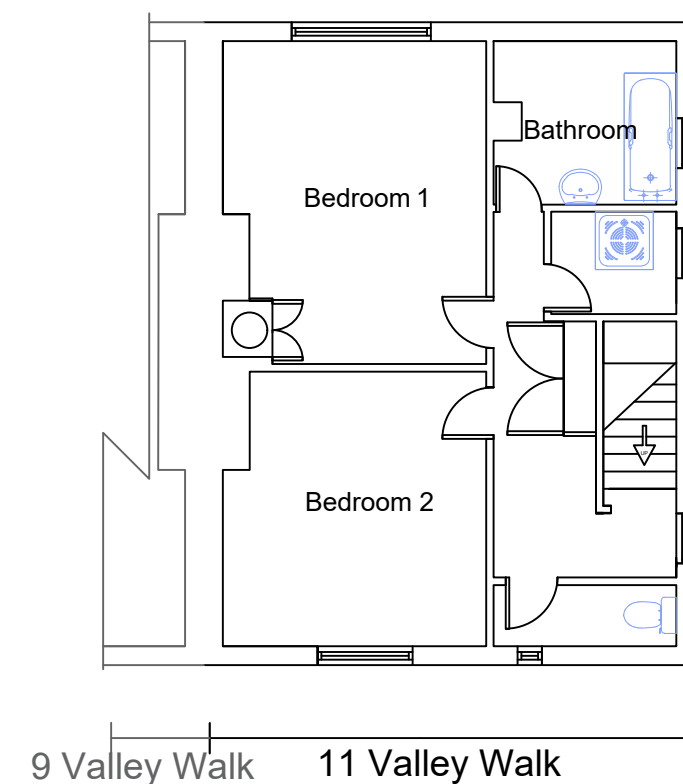
East Elevation



South Elevation



Ground Floor



First Floor

**Drawing Issue Notes:**

Rev	Issue Date	Revision Notes:
0		

**Focus Consultants 2010 LLP**  
Focus House, Millennium Way West,  
Phoenix Business Park,  
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**Project**  
11 Valley Walk - Extension and Refurbishment

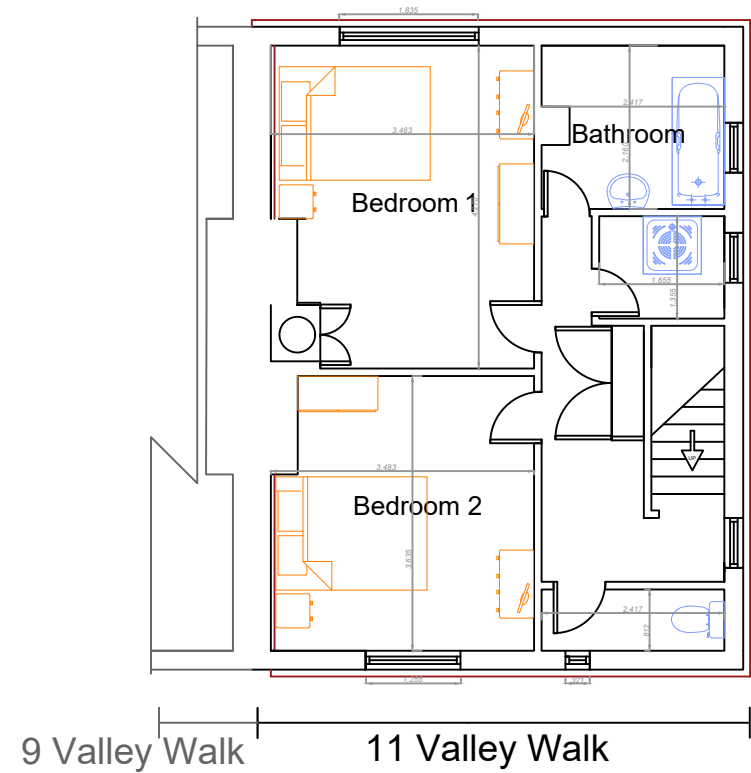
**Client**  
Kettering Borough Council

**Drawing Title**  
Existing Plans and Elevations

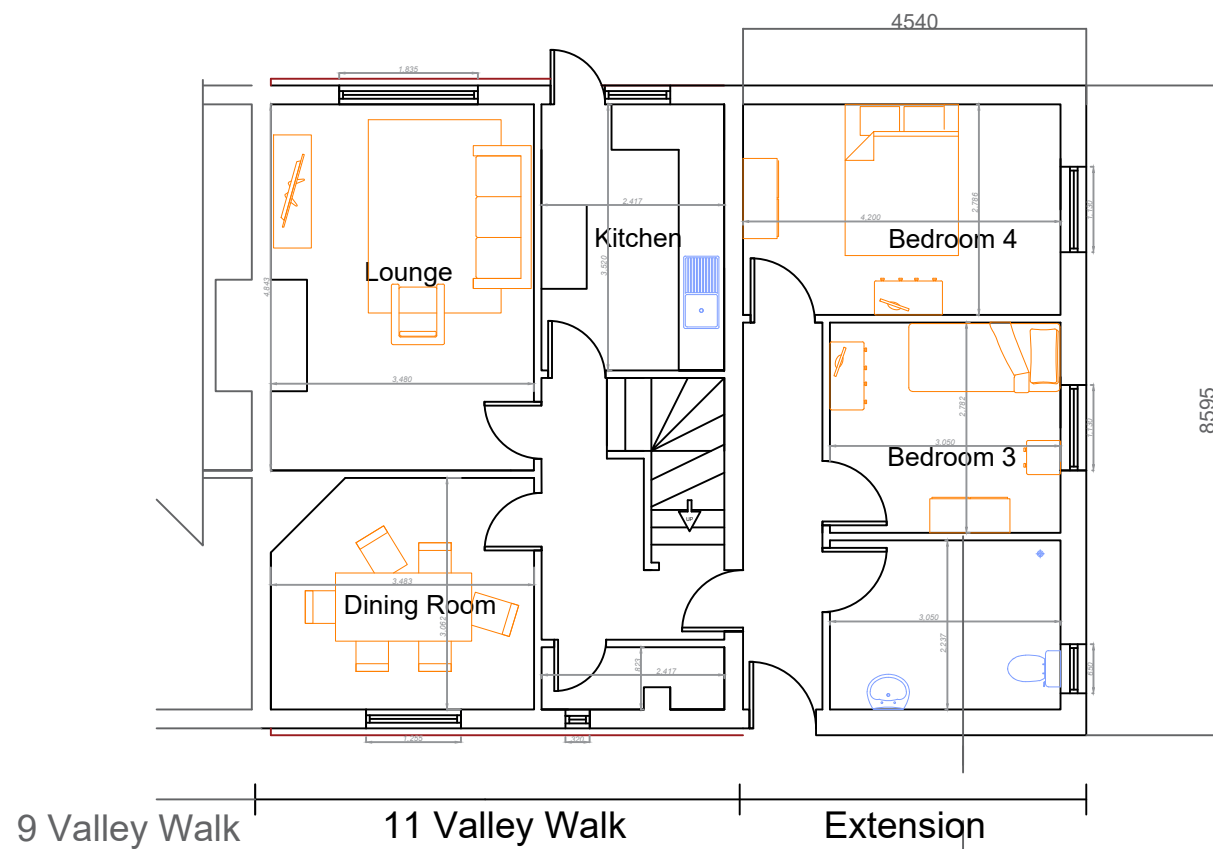
Revision	Date
1	September 2020

Scale	1:100 @ A2
Drawing No.	CC
Checked	

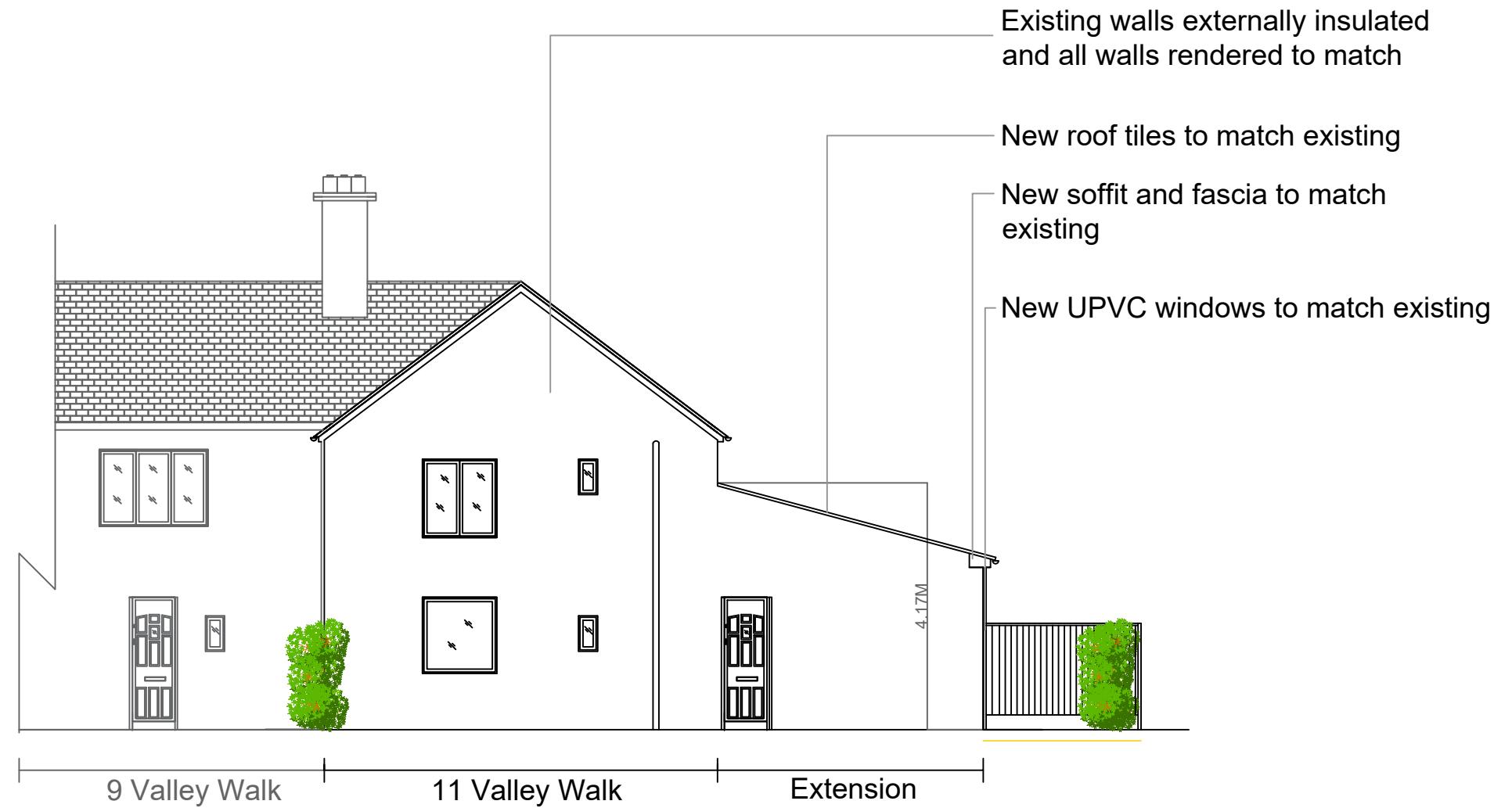
Preliminary	For Approval
Planning Issue	Building Reg. Issue
Tender Issue	Construction Issue
As Built	



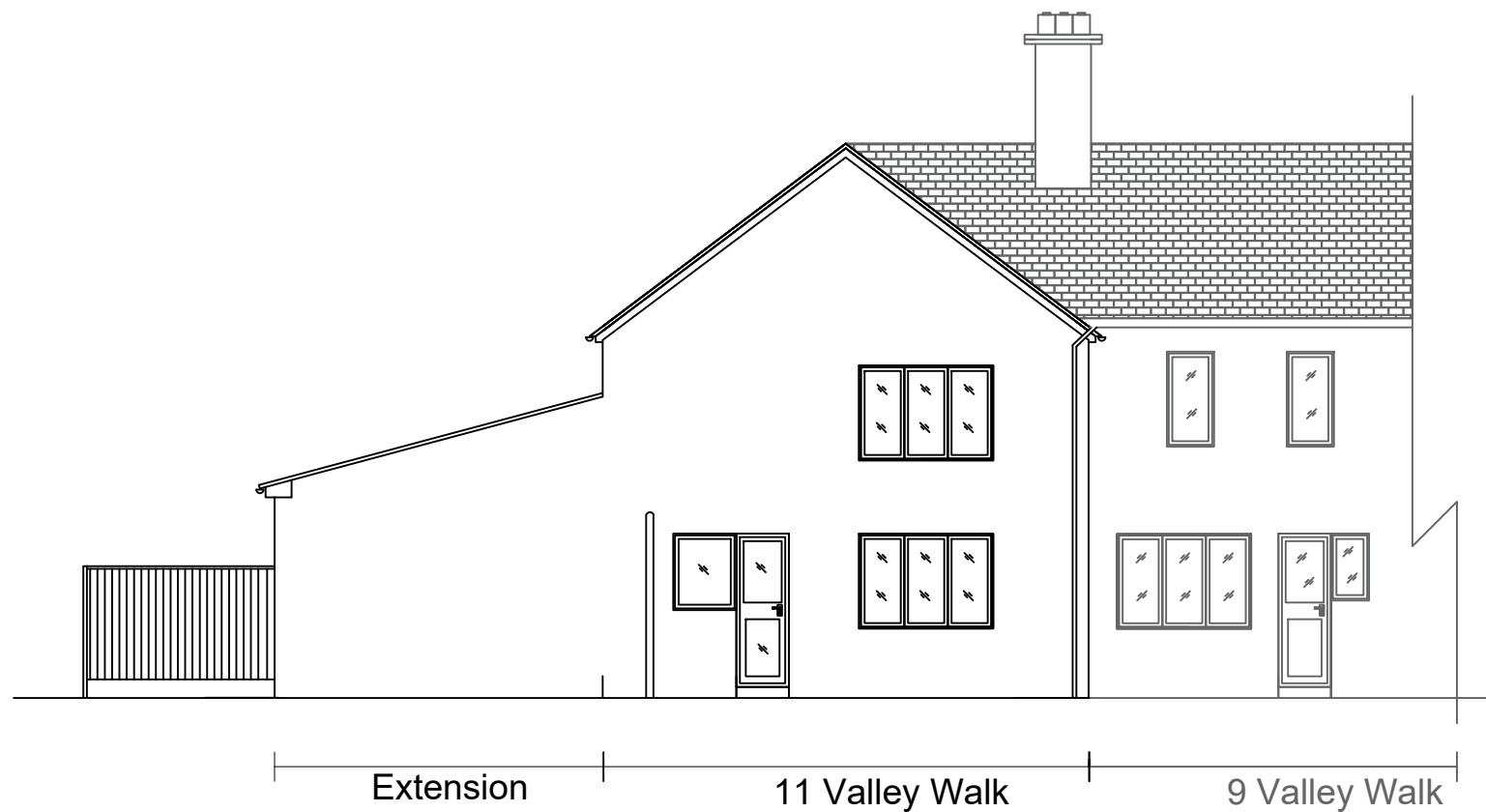
First Floor



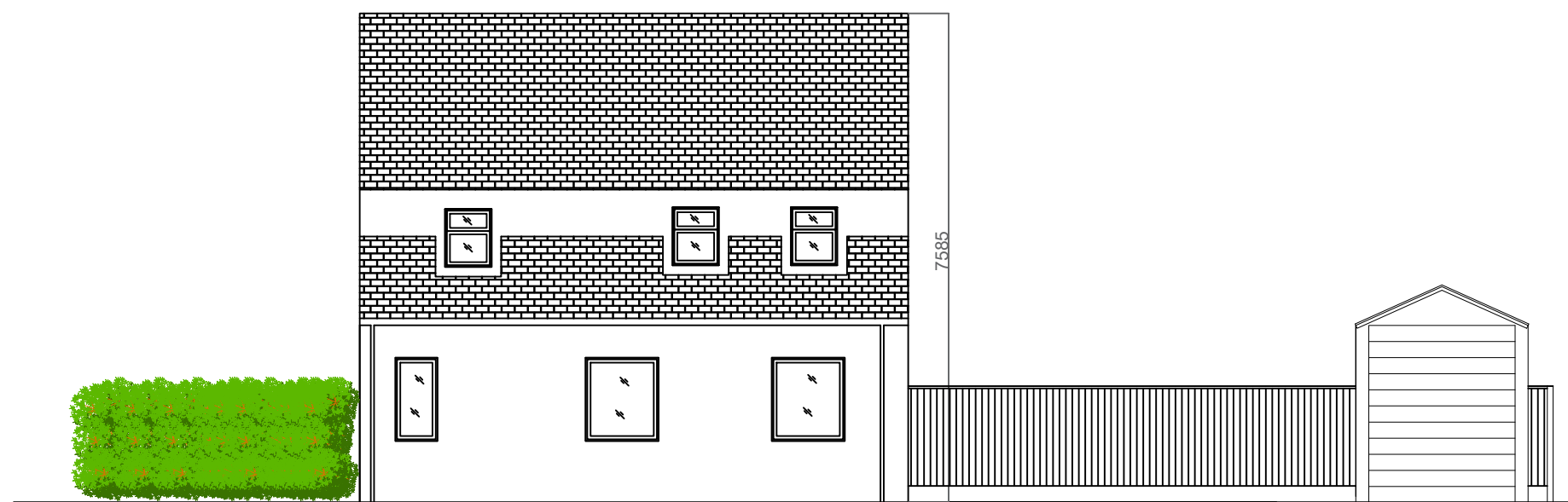
Ground Floor



North Elevation



South Elevation



East Elevation

Drawing Issue Notes:

Rev	Issue Date	Revision Notes:
0		

**Focus Consultants 2010 LLP**  
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**Project**  
11 Valley Walk - Extension and Refurbishment

**Client**  
Kettering Borough Council

**Drawing Title**  
Proposed Plans and Elevations

Revision	Date
1	September 2020

Drawing No.	Drawn	Checked
R2145-006-2	CC	

Preliminary	For Approval
Planning Issue	Building Reg. Issue
Tender Issue	Construction Issue
As Built	

