

4.0 Flood Risk Statement

4.3 The Sequential Test

The Sequential Test is used to justify the use of this site over other sites under the control of Bovey Tracey Town Council which are in areas of lower flood risk.

The new community hub will provide library, information and Town Council services both to the local community and, more importantly, to tourism and leisure visitors to Bovey Tracey. The proposal site is ideally located to provide such a use, located on the main street through Bovey Tracey and adjacent to one of the town car parks. The Local Plan identifies this area as the 'town centre' and in policy 'S19 - Bovey Tracey', notes:

- e) support town centre enhancements including improvement to public realm, improved traffic management, creation of a town square, and a new Information Centre and public toilets;

The other site available to Bovey Tracey Town Council is land to the east, off the B3344 (Le Molay-Littry Way), see map below. While this site is in an area of lower flood risk, it is not considered an appropriate location for the proposed building use, being away from the town centre and suitable car parking.

The proposal site offers opportunities to enhance the town centre in the following ways:

Regeneration

The proposed site will provide an opportunity for a key site within the centre of the town to be brought back into use for the community. The site is currently vacant and an eye-sore on the Western approach into the town. The proposal will bring together key local services within the town, leading the regeneration of the area as a whole.

The site lies within the defined 'Town Centre' zone boundary for Bovey Tracey. With the development being centrally located and close to the primary shopping streets as well as the Devon Guild, the site presents a highly sustainable location for the siting of the tourist and community facilities, including public WC provision. It is important for local services to be centrally located and easily accessible to all. The proposed site is close to bus routes and other services within the town, with easy access to parking and cycle routes.

Tourism

The site and proposal will further improve the tourist offer within Bovey Tracey, providing a gateway building and meeting place as well as a centre for information and local merchandise.

As such, it is considered this site is the most appropriate of those available to Bovey Tracey Town Council for the development of the new Community Hub, and is in line with policies set out in the Teignbridge Local Plan 2013 - 2033.

Flood Zones	Flood Risk Vulnerability Classification				
	Essential infrastructure	Highly vulnerable	More vulnerable	Less vulnerable	Water compatible
Zone 1	✓	✓	✓	✓	✓
Zone 2	✓	Exception Test required	✓	✓	✓
Zone 3a †	Exception Test required †	✗	Exception Test required	✓	✓
Zone 3b *	Exception Test required *	✗	✗	✗	✓*

Key:

✓ Development is appropriate

✗ Development should not be permitted.

Figure 28: Flood Risk Diagram

4.4 Appropriate Development for Flood Zone 3a

Having demonstrated this site is the most reasonable available for the proposed development, the proposed uses need to be suitable for this area of flood risk.

In the Teignmouth Local Plan 2013 - 2033, 'Zone 3a High Probability' is defined as follows:

'The water-compatible, less vulnerable uses of land are appropriate in this zone. The highly vulnerable uses should not be permitted in this zone. The more vulnerable and essential infrastructure uses should only be permitted in this zone if the Exception Test is passed. Essential infrastructure permitted in this zone should be designed and constructed to remain operational and safe for users in times of flood.'

Planning practice guidance published by the Department for Communities and Local Government (DCLG) published online (page 'Flood risk and coastal change' <https://www.gov.uk/guidance/flood-risk-and-coastal-change>, first published 6 March 2014, referenced March 2017), the same Zone is described as follows:

'Land having a 1 in 100 or greater annual probability of river flooding; or Land having a 1 in 200 or greater annual probability of sea flooding.'

In the above mentioned DCLG online guidance, the following table is published showing flood risk vulnerability and Flood Zone 'compatibility'.

With the Flood Zone confirmed as being Zone 3a, the vulnerability of the proposed uses needs to be determined to establish whether an Exception Test is required, refer to the table left.

4.0 Flood Risk Statement

A summarised list of flood risk vulnerability classification, taken from the DCLG online guidance (page 'Flood risk and coastal change' <https://www.gov.uk/guidance/flood-risk-and-coastal-change>, first published 6 March 2014, referenced March 2017), defines Less Vulnerable uses as:

- Police, ambulance and fire stations which are not required to be operational during flooding.
- Buildings used for shops; financial, professional and other services; restaurants, **cafes** and hot food takeaways; **offices**; general industry, storage and distribution; non-residential institutions not included in the 'more vulnerable' class; and **assembly and leisure**.
- Land and buildings used for agriculture and forestry.

As all the proposed uses are classed as being 'less vulnerable', an Exception Test is not required and the uses are considered appropriate for the flood zone in which the building is located.

4.5 Mitigation Measures

A review of flood risk data from the Environment Agency shows the area is at risk from the River Bovey, but also from storm water running off Dartmoor to the River Bovey, in particular water running along Station Road passing the front of the site during extreme events, refer to plan, right.

The proposed building includes a number of design features to address the identified flood risk:

- Raised floor level to a height recommended by the Environment Agency as appropriate to alleviate risk (29.20 AOD).
- The use of resilient materials below ground floor level.
- A raised terrace fronting Station Road to help channel water past the building during extreme events.

High Risk - Flood velocity

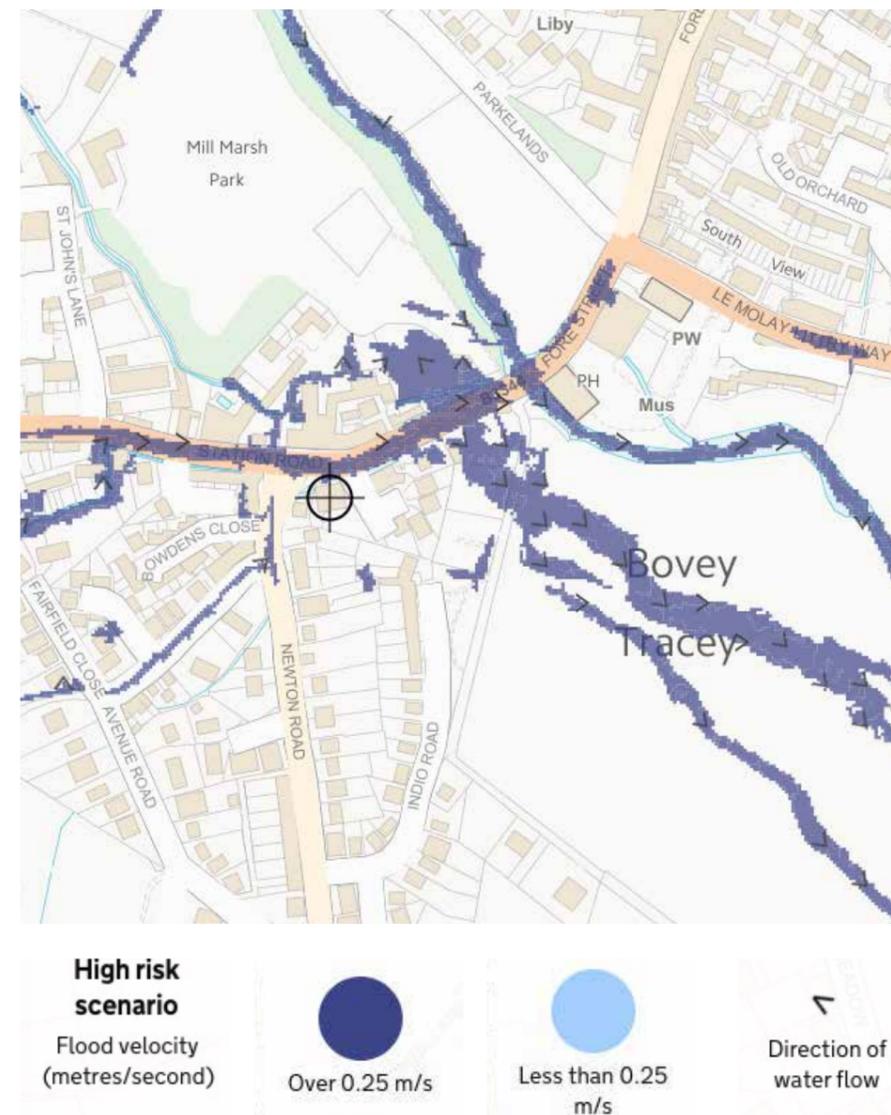


Figure 29: Flood Risk Diagram

4.6 Conclusion

The proposed community centre development on the Old Thatched Inn site on Station Road will bring a number of benefits to the town of Bovey Tracey. The regeneration of a prominent town centre site for the beneficial use of the community and tourists alike, coupled with the highly sustainable proposed location for a number of key local services is considered to far outweigh any potential impact from flooding.

The proposed uses identified, along with the alleviation measures introduced will result in a low vulnerability to potential future flooding events to users, occupants and facilities contained within the proposal.

5.0 Heritage Statement

5.1 Statutory Designations

The site is located within the vicinity of the following listed buildings and structures:

The Devon Guild of Craftsman	Grade II
The Dolphin Hotel	Grade II
Bovey Bridge	Grade II

The site of the former Old Thatched Inn was previously listed as Grade II, but following a fire that destroyed the property, the site has since been de-listed with Historic England.

5.2 Conservation Area

The site of the former Old Thatched Inn lies within the Bovey Tracey Conservation Area as defined within the Adopted Teignbridge Local with the appraisal and management document approved and adopted in 2008. The site lies within the Town Centre Conservation Area

The conservation area (and the town of Bovey Tracey in general) is described as being influenced by not only farming, but the quarrying and mining which has made a significant contribution towards the town's fortunes.

The potteries form an integral part of the development of the town with clay from the Bovey Basin being shipped to the Staffordshire potteries. Most of the potteries were located outside of the town at Bovey Heathfield, but one was discovered on Fore Street in the 1930's.

The site lies just within the conservation area but forms part of the southern boundary. The site is included within the conservation area due to the listing of the former building upon the site and the site being within the vicinity of a number of important listed buildings and structures within the area. The conservation area boundaries have not been reviewed since the 2008 adoption of the current appraisal.



Figure 30: Extract from Historic England Listing Search showing location of listed buildings and structures with the vicinity of the site.



Figure 31: Western elevation of Devon Guild of Craftsmen (Riverside Mill) taken from Bovey Bridge

5.3 Architecture

Bovey Tracey's origins as a town are as recent as the late 18th / 19th century. The majority of buildings that line its streets are typical of those found in a country town of that age - mainly 2 storey in height with a limited few 3 storey centred around the main square.

5.4 Historic Buildings

Devon Guild of Craftsmen (Riverside Mill)

Formerly the stables of Bridge House, which is now the Riverside Inn, later used as telephone and cable works. The structure was built in 1854, with granite and slatestone rubble with red and yellow brick dressings. The roof is covered in slate with clay ridge tiles. The structure is built around four sides of a courtyard. The building is said to have been saved from demolition in the 1950s by public subscription. The structure forms an important group with Bovey Bridge and Riverside Inn.

Bovey Bridge

Bridge over the River Bovey at the South West of Fore Street. Believed to have been built in 1642 and widened in 1852. The bridge is constructed of stone and partially rubble. The bridge consists of two segmental arches, with a central pier and cutwater.

Dolphin Hotel

Located to the north side of Station Road, the structure is a hotel built in 1850-60, with stuccoed stone on brick. There is a hipped slate roof. The structure is double fronted, 2 storeys with a symmetrical 5 bay front.

Text adapted from English Heritage listing details

Heritage Statement

5.5 Materials & Finishes

The town is characterised by slated roofs aligned parallel with the street front, rendered or brickwork elevations, and taller than wider, vertically sliding sash windows.

Render:

Rendered elevations are prevalent throughout much of the conservation area.

Brick:

Brick is considered a relative newcomer to the town (latter 19th Century) when a number of new houses and other buildings of that time were constructed along Station Road and Fore Street. Both Red and Yellow brick was utilised, with Red favoured along Station Road.

Stone:

Exposed stonework is utilised on a number of buildings within the conservation area.

Slate:

Slate as a wall covering is considered very rare within the area, usually only utilised to protect highly exposed gable ends.

Roofs:

Until the 19th Century, thatch represented the predominant roofing material in the area. Since then, this has been replaced with slate roof tiles, initially from South Devon quarries but later from Wales and Cornwall.



Figure 32: Bovey Bridge from South side of Station Road, taken from Station Road Carpark



Figure 33: North side of Station Road looking East towards site, with Devon Guild in background

5.6 Conclusion

In light of the defined historic importance of the surrounding buildings, the proposed development on the old Thatched Inn site will seek to carefully mitigate impact on the defined surrounding character of the site.

Pre-application advice has been sought with the Teignbridge District Conservation Officer on two occasions. At the initial pre-app meeting in June 2017 and the at the second meeting following the public consultation process. These discussions have brought forward a number of comments and therefore alterations to the proposed design. These have been addressed to ensure the defined historic character of the setting is enhanced with any development proposals on the site.

Details of the proposed design and its development are included within the design section (section 6) of this document.

We believe the developed design represents a proposal that will enhance the character of the conservation area and respond positively to the immediate historical surroundings.

6.0 Design Development

This section briefly summarises the design development undertaken up to the submission of the planning application.

6.1 Site, Form & Layout

The building follows a simplified diagram of a central main hall overlooking Station Road (red block), with ancillary spaces and services located to the rear (grey block). This allows the main event (the shared public space) to be the central defining feature of the building and within the site.

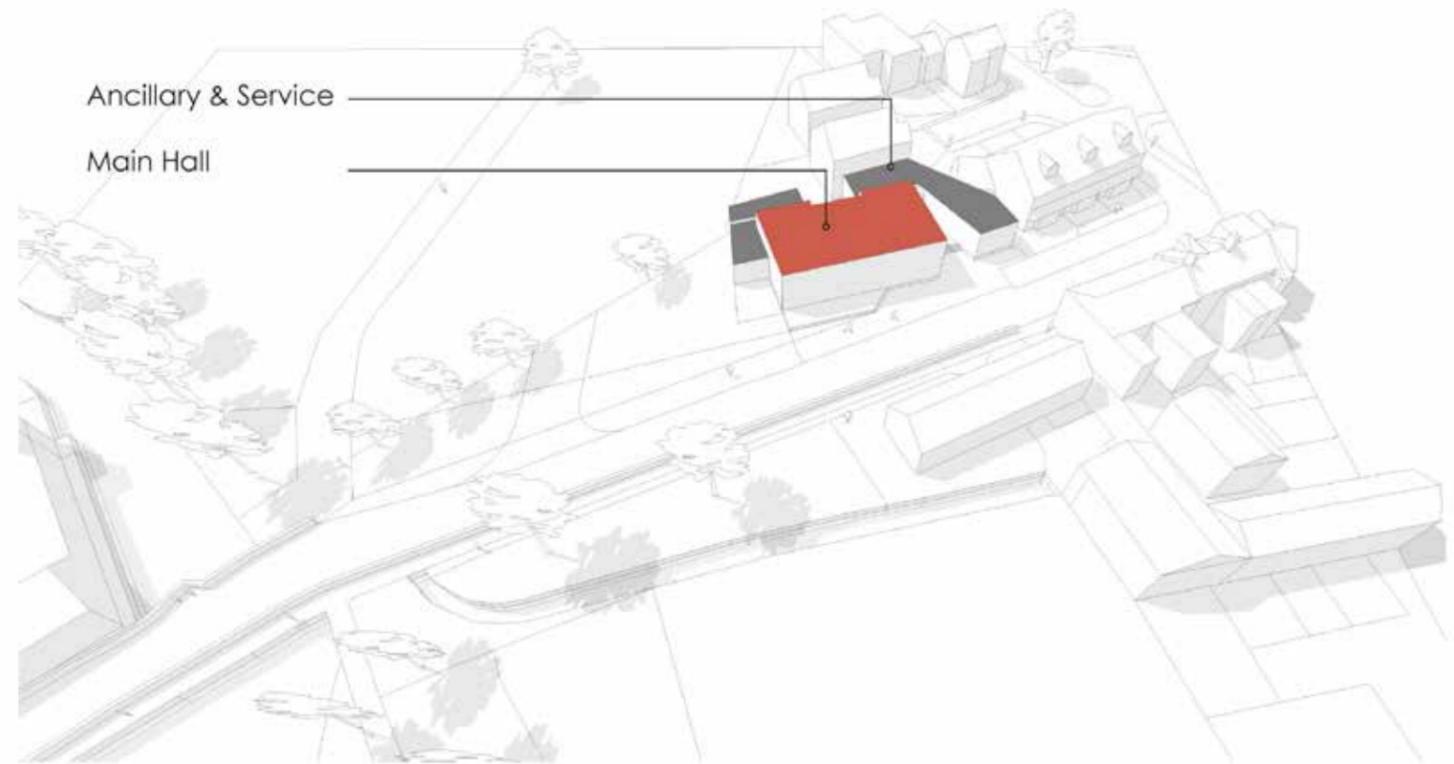


Figure 34: Site form and layout 3d visual

6.2 Heritage Influences

The form and mass of the building was developed from the initial study of the heritage influences in the area. With Bovey Tracey being known for both the potteries and craft centred around the Devon Guild, a narrative of heritage fused with craft and decoration has developed.

A design referencing the pottery kilns was initially developed, but was felt to be too literal.

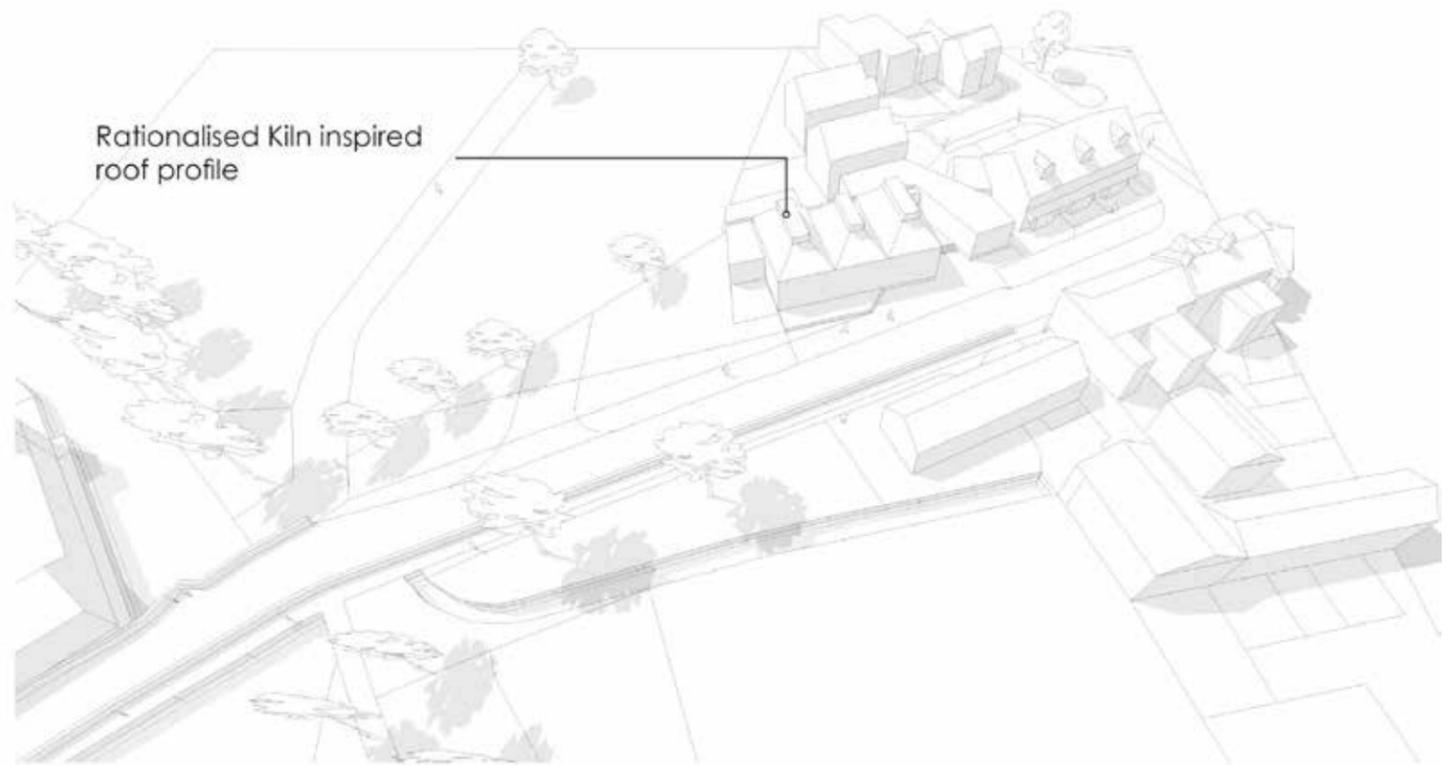


Figure 35: 3d visual showing form and mass options

Design Development

6.3 Industrial Influences

A more regular roof form was developed as the design progressed. The form references the industrial past with the saw-tooth ridge lines dividing the roof scape.

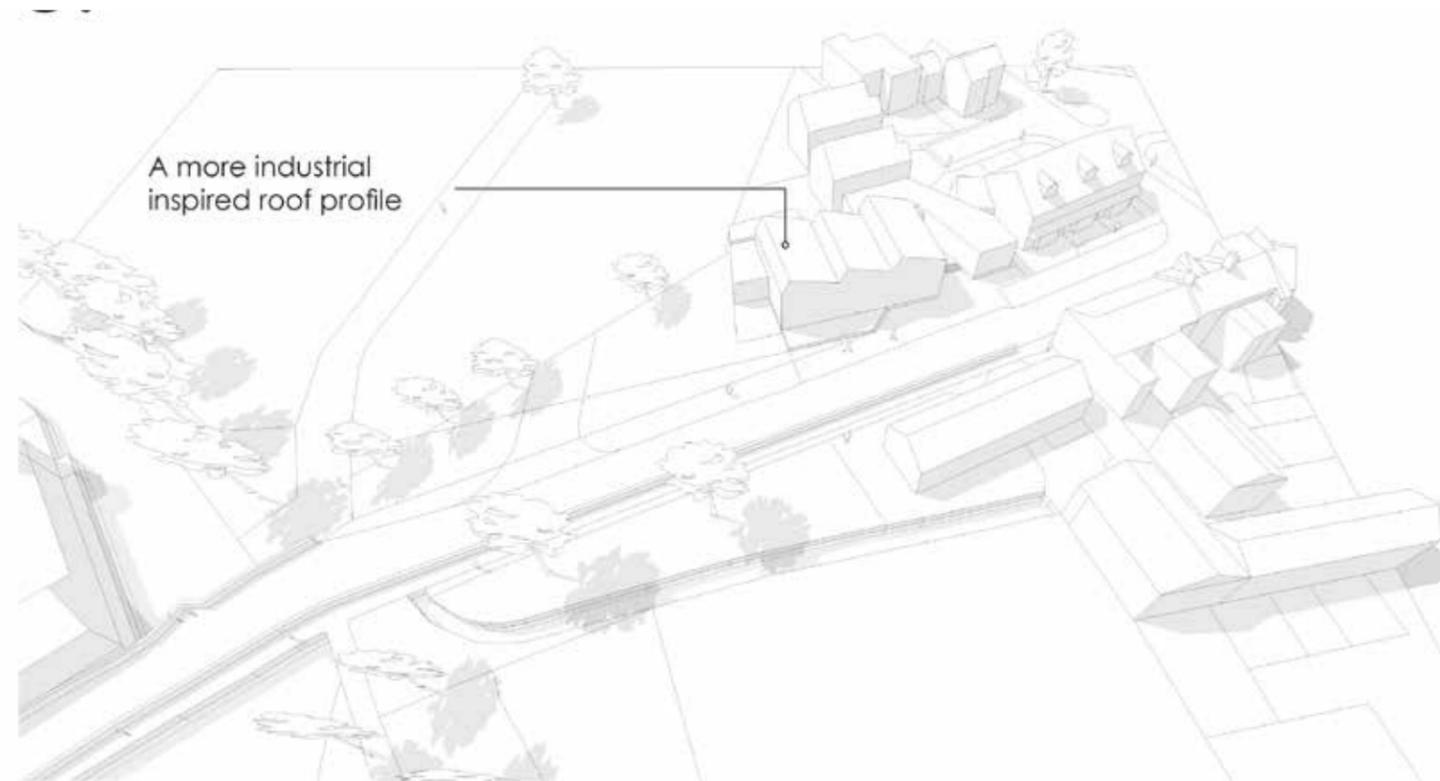


Figure 36: 3d visual showing building form and mass development

6.4 Form Evolution

An alternative version of the saw-tooth roof was developed with the ridge lines set at an angle across the building. This created an interesting form, softened to the outside with a more dynamic space internally. After discussion with the Town Council Steering Group, this was the form which was adopted and developed further.

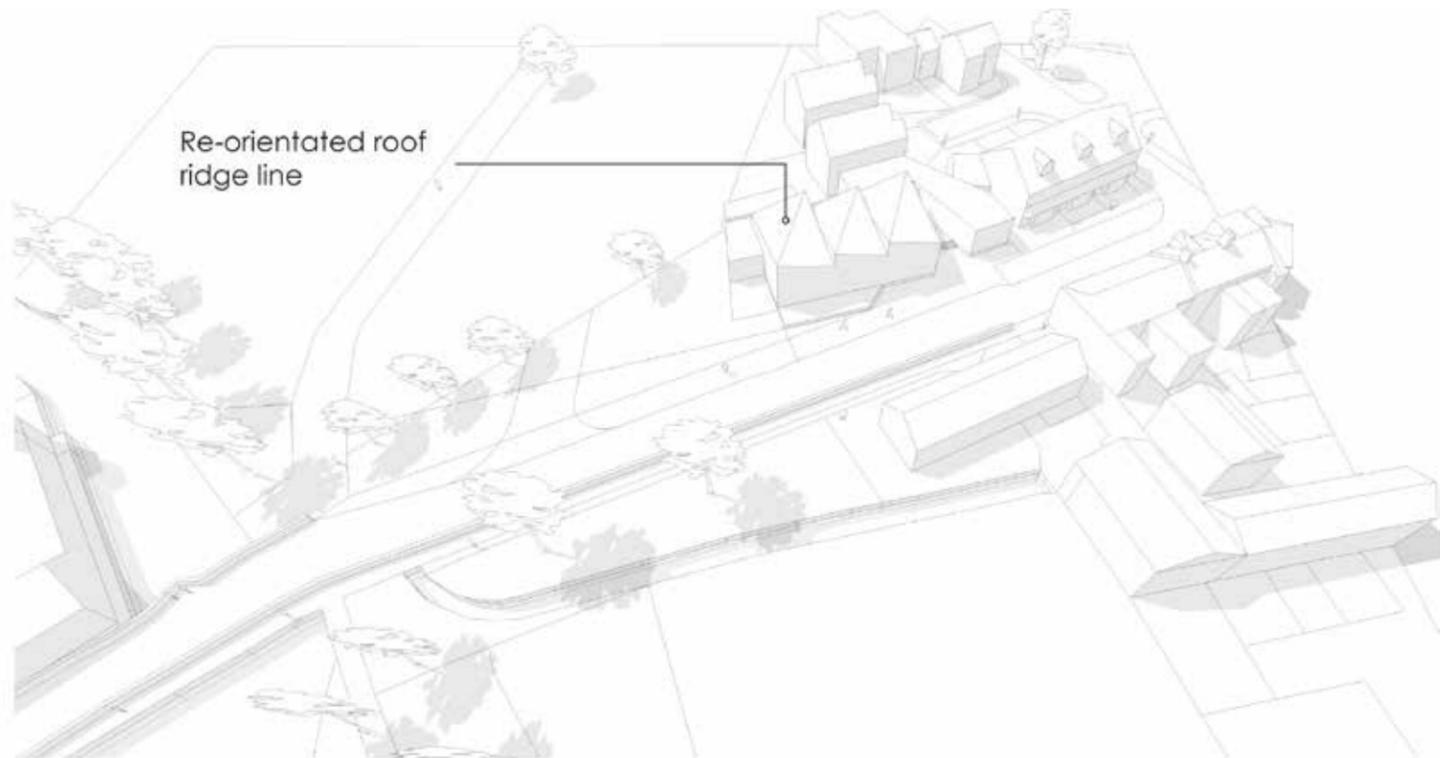


Figure 37: 3d visual showing building form and mass development

Design Development

6.5 Design Development

Further development of the model begins to highlight the positioning of windows and doors. The mass and materiality of the main space and service 'wrap around' are explored further, highlighting how the diagonal ridge line seeks to emphasise the main public entrance to the building.

The structure in its current form would require the 'doubling up' of some key structural frame components to successfully detail the joint between falling and ascending roof planes.



Figure 38: 3d visual showing design development

6.6 Resolving the Roof Form

The faceted design of the roof eradicates the difficult joint of roof planes of the previous iteration. With all roof planes repeated throughout and a falling gradient to all valley style gutters provides a more robust and efficient design. A more traditional dual pitch to the rear presents a softened and more familiar roof scape to the nearby residential properties. The gable ends provide an opportunity to utilise high level windows to naturally light the main hall space throughout the day.



Figure 39: 3d visual showing design development - form of building at time of public consultation

Design Development

6.7 Public Consultation

A public consultation was carried out over two weeks from Thursday 27th July until Thursday 10th August 2017. 8 presentations boards were displayed in the town library, with members of the steering group and design team available to answer queried at 3 separate sessions during the two week period. In between those sessions, the community were able to drop-in at the library during opening hours to view the boards and leave feedback on supplied forms.

The event and the feedback was recorded by Devon Communities Together and is covered in the separate report titled 'Bovey Tracey Community Centre Design – Community Feedback Report' which also accompanies this application.

6.8 Post Consultation Changes

The building plan was generally well received across all responses, whether generally for or against the proposals. There were minor queries raised which related to the brief which were addressed with the Steering Group.

The main queries related to the appearance of the building. The form of the building drew strong opinion, both in support and against, but most of the comments received refer to the amount of brick, the roof materials and the lack of window openings.

This feedback was taken on board and options were presented to the Steering Group to address this concerns to varying degrees, and following debate and a vote, changes to materials and windows were agreed, including the following:

- Less brick to the front elevation
- More glazing generally to the front, including larger and more windows to the main hall space
- The use of slate instead of clay tiles and a roof material

6.9 Further Consultation with the Planners

The proposals developed after the Public Consultation meeting were presented to the Planners for final Pre-Application guidance prior to making the planning application.

The proposals were well received, though comments were raised regarding the Town Council offices located to the west of the building. The feeling was these offices extend too far to the north and obscure views of the main hall from the west as people approach on Station Road. In response to these comments, a final iteration of the plan was developed to tighten the planning of the offices and open up the hall to views from the west.



Figure 40: Street view as presented at the Public Consultation



Figure 41: Street view as developed from the Public Consultation feedback

7.0 Design Statement

7.1 Use

It is proposed for the existing site to be re-developed as a new Community Centre facility providing new homes to key local services within the Town. The building will also benefit from a number of ancillary uses including a small business hub, flexible events space and new provision of public conveniences.

The site is located next to the Station Road Car Park and surrounded by a mixture of residential, commercial and tourist destinations as well as public green space. The site presents an opportunity to provide a gateway building into the town of Bovey Tracey.

7.2 Amount

The existing site consists of the cleared remains of the Old Thatched Inn on a site of approximately 0.28 acres. The build form will occupy an area of approximately 498 sqm of the total 1090 sqm of site area (including the area to be adopted from Teignbridge District Council as part of the proposals.

The proposed design seeks to accommodate the necessary schedule of areas as defined in the brief from the steering group along with the flexibility of design to allow for a number of additional community uses when required.

The proposal consists of an entrance foyer accessed off a ramped access from Station Road, through to the main hall space. This will be an open plan space shared between the Information Centre, Library and Council Chambers. Off this space and wrapping around the rear (south and west) of the site a series of ancillary spaces comprising: fully accessible public conveniences (1 changing places); a kitchen servery, external courtyard space and storage for Information Centre & Library.

To the West of the main hall an additional entrance will serve the Town Council offices and the proposed business hub, with accommodation consisting of: an entrance foyer; breakout space and kitchenette; 4 No. business hub offices; Town Council Offices and the plant/ services room.

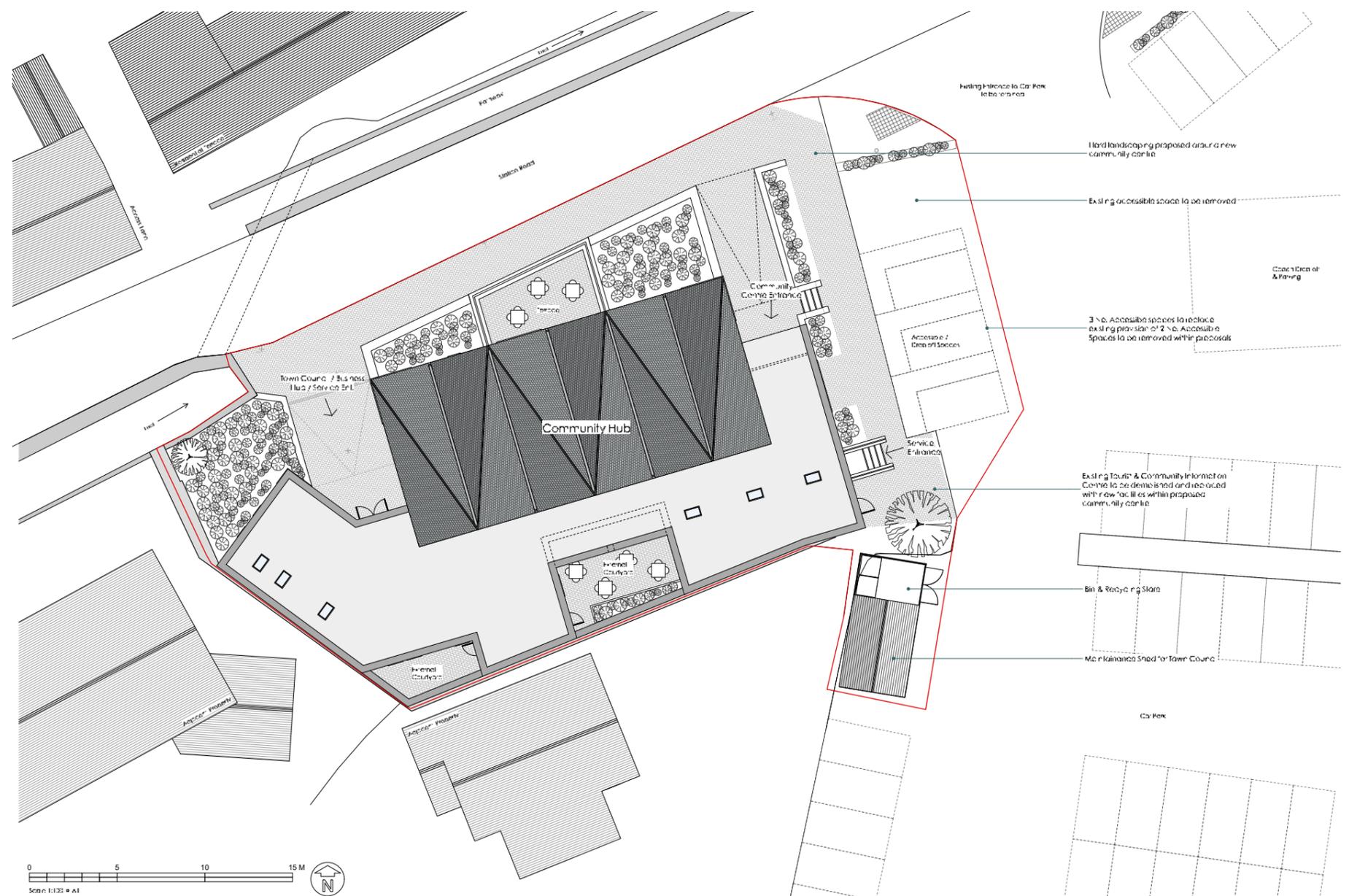


Figure 42: Proposed Floor Plan (not to scale)

7.0 Design Statement

7.3 Layout & Context

The layout and orientation of the proposal is the result of a detailed exploration of the site constraints and opportunities. The main hall space is orientated at an angle from the road in order to open up views across the site and to the Devon Guild in the distance when approaching the Town along Station Road from the West. This slight angled plan provides additional civic space to the front of the development comprising of landscaping, a formal entrance way, and external terrace for use by building users.

An external courtyard to the rear will break up the ancillary spaces to the rear and open up the main space to the outdoors and south facing light. The double height aspect to the main hall gives presence to the main space but also allows for a wrap around of high level glazing to provide high level natural light to the main space.

7.4 Scale

The height, scale and form of the proposal has developed in response to the surrounding development patterns. The proposal is single storey with a element of double height space above the main hall, in order for it to accommodate its proposed uses effectively. The overall maximum height of the proposal (Ridge Line) will sit below the ridge lines of surrounding 2 storey residential development, siting closer to the eaves lines of the immediately adjacent property.

The 'wrap around' services area will remain single storey with a flat roof to minimise its impact upon the surrounding residential development to the rear (South) of the site.

The building sits upon a plinth, especially when viewed from the East (Station Road Car Park). This is in response to the environment agencies requirements to raise any proposed finished floor level above the maximum height of a flood or storm surge (as outlined in the Flooding Assessment).

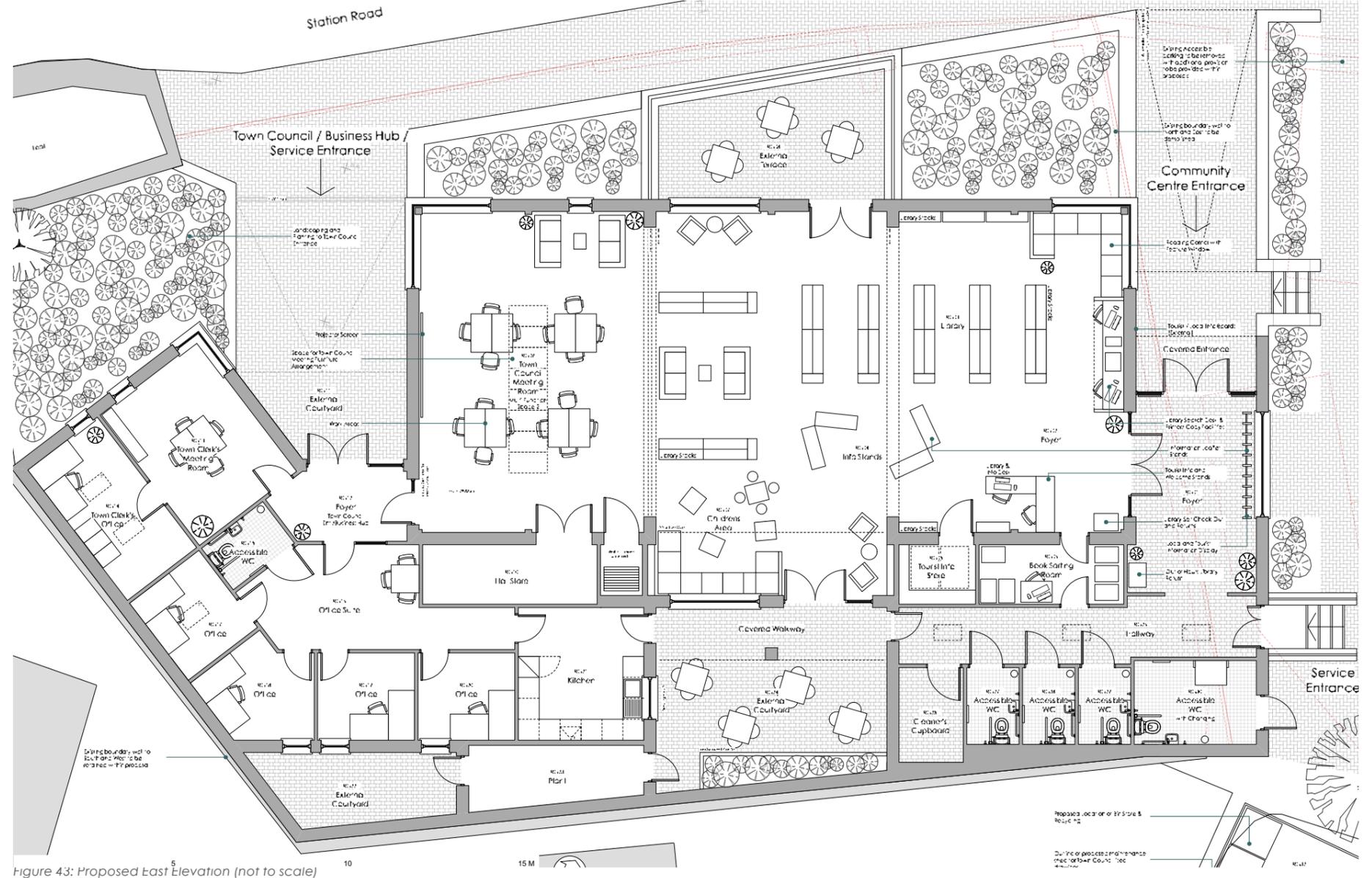


Figure 43: Proposed East Elevation (not to scale)



Figure 44: Proposed South Elevation (not to scale)

7.0 Design Statement

7.5 Appearance

The proposed design will appear as a main hall space set upon a plinth with high level glazing giving the appearance of the roof delicately resting upon the structure below. The main hall space will be reinforced with the wrap around single storey extension appearing as subservient to the main hall.

From the West along Station Road the proposal will recede slightly to open up views towards the Devon Guild. A series of larger windows will provide glimpses into the activity within whilst passing.

From the East, the development will front onto the Car Park and Station Road, with a feature corner window providing a connection to the interior spaces and uses. To the foyer a feature window will provide an advertising point for local information and events.

The proposed material palette represents the design explorations during development, seeking to reference the heritage of the area, as well as being respectful of the development being located within the conservation area. The proposed material palette sees a fusion between the industrial and craft heritage of the area utilising materials identified as consistent and in keeping with the conservation area.

7.6 Materials Key

- 1 - Red Brick
- 2 - Ceramic Glazed and Non-glazed Brick Pattern
- 3 - Dark Grey / Black Brick
- 4 - Glazed Window / Door Unit with Aluminium Frame
- 5 - Metal Balustrade
- 6- Slate Tiles



Figure 45: Proposed North Elevation (not to scale)



Figure 46: Proposed East Elevation (not to scale)



Figure 47: Proposed South Elevation (not to scale)

7.0 Design Statement



Figure 48: Proposed From Station Road looking South West across the site

8.0 Access Statement

8.1 General

In general the recommendations of 'Planning and Access for Disabled People: A Good Practice Guide' and Approved Document M of The Building Regulations have been taken into account during the design development undertaken to date, in order to achieve as 'inclusive' a design solution as is practicable given the site constraints.

8.2 Access and Entry

The site is adjacent to an existing public car park. No disabled parking spaces will be provided in the car park adjacent to the new building, providing level access to the externally accessed disabled toilet/ changing place, and access via a ramp to the main entrance to the building. The ramp to the entrance will be compliant with the parameters set out in Part M of the current Building Regulations.

8.3 Internal Circulation

Level access is provided across the ground floor. The 'open plan' layout and arrangement of the ground floor will further facilitate ease of movement throughout the main spaces. All external and internal doors will be DDA compliant with level thresholds to all rooms.

The building is of single storey construction negating the need to provide lifts and access to additional storeys, ensure the building is fully accessible.

8.4 WC & Public Convenience Provision

Public toilets are an important part of the Council's support to town centres and the tourism industry. Within this development it is proposed that all WC provision will be defined as accessible under Part M of the Approved Building Regulations.

As part of the proposed facilities for the building and the public generally (replacing the now demolished Station Road toilets), the WC provision will be shared, access through the main foyer space.

Access to the toilets from the carpark will be via an DDA compliant external ramp and steps into the foyer with level access therein. Materials and finishes to doors, sanitaryware and fixtures and fittings will comply with appropriate levels of colour contrasting to allow for the ease of movement of the visually impaired.

8.5 Changing Places WC Provision & Facilities

The need for specialist toilet and changing facilities, which enable people with profound and multiple learning difficulties, their carers, assistants and families to enjoy days out was first brought to public attention by the learning disability organisation PAMIS. Out of this, in 2006, the Changing Places, changing lives campaign was launched.

Research undertaken at the University of Dundee concluded that up to a quarter of a million disabled people throughout the UK are potential users of CP toilets.

Changing Places facilities should be provided in key public buildings within town centres such as town halls, civic centres and principal public libraries. This provision is a practical outcome of the Equality Act 2010. Public buildings are considered excellent sites for CP facilities, helping to support the local community and visitors.

With the community centre providing a key new focal point in the town centre for the community and visitors alike, it is fitting for this building to be as accessible as possible to all those who may wish to use it. The proposal includes the provision of one Changing Places WC to be available 24 hours a day, 7 days a week regardless of the centre opening times. This will be in addition to all other WC being accessible.

Further information on the technical details and requirements for a Changing Places WC can be found at Changing-places.org.

8.6 Conclusion

We consider the development to be suitably accessible for a civic and community building. The building will ensure that Bovey Tracey Town Council and Teignbridge District Council continue to lead by practice with inclusive and accessible design in the district.

9.0 General Considerations

9.1 Transport

Access to the site will be off Station Road, with the Station Road Carpark providing access and parking via car to the community centre. The development will be well served by public transport with bus stops located along Station Road, the nearest just past the Devon Guild.

The development is close to local cycle networks running along the River Bovey with pedestrian access along Station Road from the town centre and nearby residential developments. Cycle racks will be provided as part of the development with additional provision located within the current car park.

9.2 Fire Strategy

The proposed building has been designed in accordance with Part B of the Building Regulations, including provision of escape windows as appropriate, selection of external materials and the compartmentalisation of the building for fire safety.

9.3 Drainage

The proposal will see the integration of the public conveniences from Station Road carpark, along with the provision of food preparation (serving, not a commercial kitchen). Waste from these will drain through shared services along the rear wall of the site.

New foul drainage runs will be required for the proposal, these will feed into the existing foul drainage connections for the site.

9.4 External Lighting

External lighting will be required to provide safe access to and from building thresholds. External lighting will be incorporated within the overall external landscaping plan with external lighting to be low level wherever possible and direct downwards to limit impact on the surrounding area.

9.5 Waste Strategy

Provision for waste disposal and recycling will form part of the management plan for the building. Waste from the building in general will be relatively modest, however on occasions when events and other activities are taking place, this may put extra pressure on waste disposal on the site.

A central and secure refuse and recycling point will be located within the Town Council's groundsmen complex for easy access for refuse trucks.

Refuse and recycling points will be provided internally

9.6 Pre-Application Advice

Paragraph 188 of the National Planning Policy Framework (NPPF) 2012 states that:

'Early engagement has significant potential to improve the efficiency and effectiveness of the planning application system for all parties. Good quality pre-application discussion enables better co-ordination between public and private resources and improved outcomes for the community.'

Teignbridge District Council encourage the submission of proposals for pre-application advice and have been involved in early discussions on the proposed development on Station Road. Peregrine Mears Architects Ltd presented initial site analysis, constraints and opportunities, and initial design ideas to the Case Officer and Teignbridge Conservation Officer in April of 2018.

Initial feedback and comments were received by both officers with appropriate consideration being taken by the design team and the Town Council and subsequent meetings, resulting in the design presented at the community consultation event.

As mentioned in item 6.9, a further consultation was made with the planning and conservation officers after the public consultation event. As a result of this second consultation, the design was further refined to take on board comments.

9.7 Community Consultation

Community consultation has taken place at a number of key points during the development of the project. Starting in 2012, with initial discussions on a suitable site within the town, through to consultation on developing a suitable brief and list of suitable community uses for the building.

In July/August 2017, a developed design proposal was presented to the community through a physical and online exhibition with a number of manned sessions.

Full details of the community consultation undertaken to date, methodologies used and an in depth analysis of the findings and actions taken are included within 'The Statement of Community Involvement' forming part of this application.

10.0 Sustainability

10.1 Principles of Sustainable Development

One of the original objectives of the scheme was for the building to be a low energy building that minimises the environmental impact and energy consumption of the centre. This is to be achieved through the implementation of the following design principles and features during the design, construction and use of the building:

10.2 Our Approach to Sustainability

Sustainability is a factor that is considered from the outset with all of our projects. Our approach is not to add visible micro-generation and renewables (PV, solar thermal etc) at the outset to offset energy demand and usage. Instead, we concentrate efforts on passive means to minimise energy usage from first principles (improved thermal performance and air tightness, low energy lighting, low energy heating and ventilation systems, low energy and water use appliances.

When finances are a little more stretched and required to achieve more, the budget is far better focused on the building fabric as it is constructed, as this is far harder (and more expensive) to retrospectively improve at a later date.

Renewable technologies develop rapidly and many can be easily retrofitted if they are considered as part of the design, for example flat or south facing roof slopes to receive solar PV or solar thermal.

10.3 Achieving Sustainable Development

As set out in the National Planning Policy Framework 2012, there are three mutually dependent dimensions to sustainable development: environmental, social and economic.

10.4 Environmental

The proposal will seek to minimise energy requirements throughout the lifetime of the building, will minimise waste and pollution during construction and occupation. Climate change will be addressed through the mitigation of energy consumption, renewables and passive design approaches as appropriate. The natural and historic environment will be protected and enhanced through the use of a derelict and vacant site.

10.5 Social

A strong, vibrant and healthy community will be supported through the creation of a new centrally and sustainably located community centre for the benefit of residents and visitors to Bovey Tracey.

The proposal will seek to bring the community together through day-to-day activities and special events as well as providing a local network of business startups with a hub.

The facility will provide accessible local services that reflect the community's needs and support its health, social and cultural well-being.

10.6 Economic

The proposal will utilise locally sourced materials, contractors and tradesmen wherever possible, encouraging prosperity in the area.

The proposal will benefit local businesses and groups as well as small businesses and business startups in the local area.

11.0 Conclusion

This planning application is the fruition of a number of years of dedicated work by the Town Council and steering group to bring about an innovative and highly flexible facility and asset for the community to benefit from far into the future.

The project will see the consolidation of a number of key services that the Town/District council provide into one accessible building in a prominent position on the main road into Bovey Tracey, located close to High Street and other facilities within the Town.

The proposed community centre development on the Old Thatched Inn site on Station Road will bring a number of benefits to the town of Bovey Tracey. The regeneration of a prominent town centre site for the beneficial use of the community and tourists alike, coupled with the highly sustainable proposed location for a number of key local services. The proposal will provide a new focal point within the community of Bovey Tracey.

We believe this design represents a considered, contextual, sustainable and innovative design that will benefit the Town Council and community for years to come.