

Review

FIELD OF DREAMS, ROAD FROM CHAPEL HILL TO CARN VIEW, PORTHTOWAN, TR4 8FN

page 21 >

Professional opinion



Contaminated Land Moderate: Acceptable Risk page 10 >



Flooding

Negligible

Consultant's guidance and recommendations inside.

| | Operational Environmental Risk | | | |
|-----|---------------------------------------|--------------------------------------|--|--|
| | Low-Moderate | <u>page 10</u> > | | |
| | Ground Stability | nogo 22 \ | | |
| Rn | Radon | page 23 > | | |
| (F) | Energy Identified | <u>page 23</u> > <u>page 29</u> > | | |
| | Transportation Not identified | | | |
| | Planning Constraints Identified | <u>page 43</u> > | | |
| | Planning Applications Not selected | | | |
| | | | | |

OlimateIndex™

ClimateIndex[™] projects changes in physical and transition risks from:



Please refer to page 7 > for details and guidance

Contaminated land liability

Banking security

Is it likely that the property will represent acceptable banking security from a contaminated land perspective?

Yes

Statutory or 3rd party action

Is there a risk of statutory (e.g. Part 2A EPA 1990) or third party action being taken against the site?

Unlikely

Environmental liability

Is there a risk that the property value may be impacted due to contaminated land liability issues?

Unlikely



<u>info@groundsure.com</u> ↗ 01273 257 755
 Ref: GS-PTF-X2E-UAF-N9G

 Your ref: 2311_Community_Roots

 Grid ref: 169730 046684

 Date: 26 September 2023





Review

Written by: N Koenig MSc GradIEMA Reviewed by: K Goodall MSc PIEMA



Useful contacts

Cornwall Council (Unitary): http://www.cornwall.gov.uk/ customerservices@cornwall.gov.uk 0300 1234 121

Environment Agency National Customer Contact Centre (NCCC): <u>enquiries@environment-agency.gov.uk</u> 7 03708 506 506



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Review

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Recent aerial photograph



Capture Date: 06/08/2022 Site Area: 0.93ha

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Review

Overview of findings and recommendations



Contaminated Land

Moderate risk

Groundsure considers there to be an acceptable level of risk at the site from a contaminated land liability standpoint. However, some potentially contaminative land uses have been identified including the Wheal Ellen tin and copper mine. As the site is to be redeveloped it is possible that contaminated land investigations may be required according to planning policy. It is the responsibility of the developer to ensure that the property is suitable for use and as such it is likely that, as a minimum, a Phase 1 Risk Assessment will be required as part of the planning process, before the development starts. It would also be reasonable to expect some ground investigation and remediation to be required, particularly if the re/development is for a highly sensitive end use (e.g. residential purposes).

The Planning Department at the Local Authority can give advice on the level of assessment required in order to comply Planning Policy. If further assessment is required, we can undertake this work for you and for a quote, please contact Groundsure at projects@groundsure.com. This will include a discount to reflect the data in the report already undertaken for the study area. As a guide, a standard Phase 1 assessment is priced at around £1245 + VAT including disbursements.

More information on page 10 >



Negligible risk

National Planning Policy Framework (NPPF)

A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3. In Flood Zone 1, an assessment should accompany all proposals involving: sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems; land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use. The NPPF states that the flood risk assessment should identify and assess the risks of all forms of flooding to and from the development and demonstrate how these flood risks will be managed so that the development remains safe throughout its lifetime, taking climate change into account. Those proposing development as part of the flood risk assessment.

More information on page 21 >



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Review



Identified

- if a survey has been undertaken at the property that considers ground instability and no issues were found, no further action is required
- however, based on the findings of this report, the purchaser should be encouraged to consider potential instability in any future development or alteration of the ground including planting and removing trees, and regardless of the survey outcome
- if no survey has yet been undertaken, we recommend one is carried out by a suitably qualified and experienced person
- if ground instability issues have been or are subsequently identified in a survey we recommend following any advice given in the survey findings
- a more detailed mining search may also further clarify the potential risks presented in this report, and unearth records not available to your surveyor. Groundsure GeoRisk can provide a comprehensive assessment of all mining risks and can be ordered through Groundsure or your preferred search provider

More information on page 23 >



Identified

- if the property is a new build, you can check compliance on radon protection with the developer
- if you are buying a currently occupied property, ask the present owner whether radon levels have been measured and, if so, whether the results were above the radon Action Level. If they were, ask what remedial measures were installed, were radon levels re-tested and did the re-testing confirm the measures have been effective
- if testing has not been carried out, it would be a sensible precaution to arrange for the property to be tested with radon detectors. If initial short-term radon screening tests are inconclusive, or the purchaser would prefer to carry out a full three-month test, it may be possible to arrange a 'radon bond'
- high levels of radon can be reduced through carrying out remedial works to the property
- full radon protection measures will be required to be installed in the event that any new buildings or extensions are added to the property
- all basement and cellar areas are considered at additional risk from high radon levels. If an underground room such as a cellar or basement makes up part of the living or working accommodation, the property should be tested regardless of radon Affected Area status
- see <u>http://www.radonassociation.co.uk/guide-to-radon/information-for-employers/</u> ↗ for further information

More information on page 23 >

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Review

Other considerations

These are next steps associated with non-environmental search returns on matters of energy facilities, transport infrastructure and planning constraints.



Identified

Wind

- use the details given in the report to find out more about the potential impacts on the property
- contact the operating company and the relevant Local Authority for further information
- visit the area in order to more accurately assess the impact this wind development would have on the property

Solar

- use the details given in the report to find out more about the potential impacts on the property by contacting the operating company and/or Local Authority
- visit the area in order to more accurately assess the impact this solar farm would have on the property

More information on page 29 >



Identified

 seek further guidance from the local planning department on any likely restrictions if considering any property development

More information on page 43 >



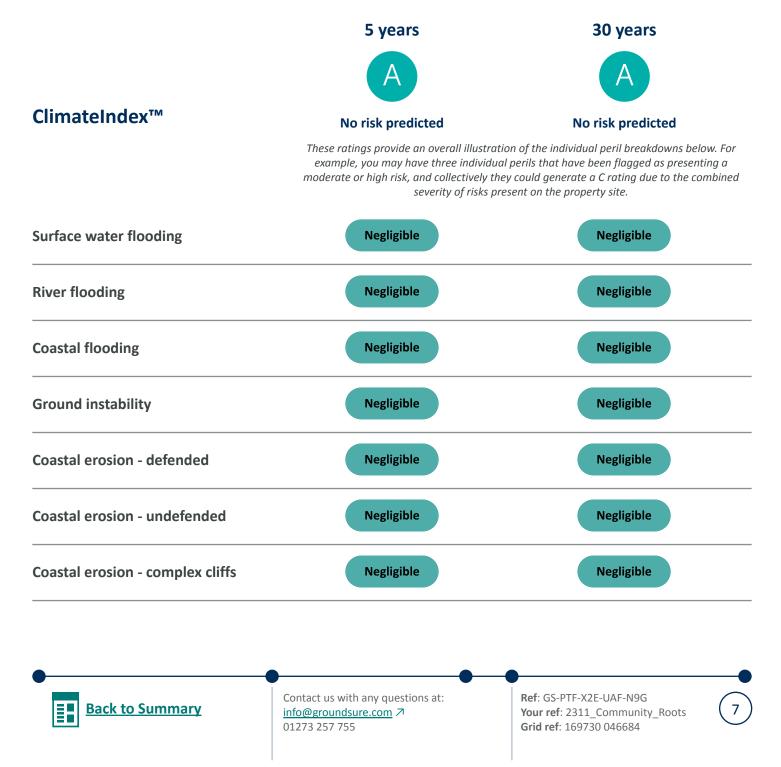


Review

ClimateIndex[™] physical and transition risks - Breakdown

Our ClimateIndex[™] provides a climate score for your property, and projects changes in physical and transition risks from flooding, natural ground instability and coastal erosion. Climate change could have a significant medium to longer term impact on your property, which may be increasingly considered by your lender if you are arranging a mortgage. ClimateIndex[™] provides ratings that indicate potential **physical risks** (loss and damage to property) and how these give rise to **transition risks** such as having a material impact on the ability to insure or mortgage the property in the medium to long term. In turn, this could affect the future resale value of the property.

You can see how these relate to the individual calculated risks in the breakdown below.







In 30 years time your property has a ClimateIndex™ rating of A: At present, climate change has very little to no impact on this property and no further actions are necessary at this time.

For further details on flood risk see <u>page 22</u> > and for further details on natural ground instability and coastal erosion see <u>page 28</u> >.



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Review

ClimateIndex™ transition risks

Energy Performance Certificates (EPC)

Energy Performance Certificates (EPCs) rate the energy efficiency of buildings using grades from A+ to G, with 'A+' being the most efficient grade (this represents a 'Net Zero' non-domestic building) and G the least efficient. They are designed to provide an estimate of energy costs associated with a building and an indication of how these can be reduced. When required, they should be made available to any prospective buyer or tenant. EPCs are also made publicly available and a record of these can be found by visiting the gov.uk <u>Find an energy certificate</u> a service. They are valid for exactly 10 years after the date on the certificate.

Consideration should be given to the feasibility and cost of any improvement works that are recommended in the EPC, if any exemptions apply and also to when a new assessment might be required.

EPC calculations are partly based on observations made by the EPC assessor when visiting a property and partly on data and assumptions using the age and type of property. This means the EPC band may change irrespective of any improvement works undertaken, due to, for example, differing access or documentation being provided to the assessor during the visit. Additionally, the methodologies underpinning EPC calculations are updated periodically.

Landlords - Letting regulations

Currently, the Minimum Energy Efficiency Standard (MEES) Regulations require all privately rented nondomestic properties being let in England and Wales to have a minimum EPC rating of 'E'. It is also possible that the minimum EPC requirement could be raised at some point in the future.

If the property has an EPC rating of F or G, the landlord should either improve the property to at least an EPC rating of E, or register an exemption, should one apply. <u>Click here</u> \nearrow for more detail on the types of exemptions available and how to register for them.

Any exemption is only valid for 5 years, after which the landlord must try again to improve the property's EPC rating to meet the minimum level of energy efficiency before registering any further exemptions.



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Review



Contaminated land liability

Moderate risk

Summary

The Contaminated Land assessment has been completed by a qualified environmental consultant and includes a manual review of our extensive collection of high detailed Ordnance Survey maps and environmental data.

| Past Land Use | Ν |
|-------------------------------|---|
| Waste and Landfill | L |
| Current and Recent Industrial | L |
| Operational environmental | L |
| risk | |

Moderate Low Low Low-Moderate

Next steps

Groundsure considers there to be an acceptable level of risk at the site from a contaminated land liability standpoint. However, some potentially contaminative land uses have been identified including the Wheal Ellen tin and copper mine. As the site is to be redeveloped it is possible that contaminated land investigations may be required according to planning policy. It is the responsibility of the developer to ensure that the property is suitable for use and as such it is likely that, as a minimum, a Phase 1 Risk Assessment will be required as part of the planning process, before the development starts. It would also be reasonable to expect some ground investigation and remediation to be required, particularly if the re/development is for a highly sensitive end use (e.g. residential purposes).

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Jump to <u>Consultant's Assessment</u> > <u>Past land use</u> > <u>Current and recent industrial</u> > <u>Bedrock hydrogeology</u> > Skip to next section: Flooding >

You can find our methodology and list of limitations on page 49 >



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Review

Consultant's assessment

Environmental searches are designed to ensure that significant hazards and risks associated with this property are identified and considered alongside the investment in or purchase of a property. Please see <u>page 4</u> > for further advice.

Current and proposed land use

Current land use

Groundsure has been advised by the client (or their advisers) that the property is currently used for agricultural purposes.

The site has been identified to comprise a plot of open agricultural land, with an ancillary unit in the west along with several poly tunnels and open vegetable plots. In addition, an access roadway lies in the north of the plot.

Proposed land use

Groundsure has been advised that the property will be redeveloped for agricultural purposes.

Site location

The site lies within a rural area.

Surrounding area

North: Agricultural land.

South: Access road with agricultural buildings and land beyond.

East: Agricultural land.

West: Agricultural land and a commercial site.

Historical land use

On-site

The site history, based on a review of Groundsure's high detailed historical mapping, is as follows:

- **1880** The site comprised a plot of open land. Mapping indicates that the site may have lay within or in close proximity to the Wheal Ellen tin and copper mine, noted to be disused by this time.
- 1880 2020 (Aerial Photography) No significant changes were identified.
- 2021 (Aerial Photography) The site was undergoing development.
- 2022 (Aerial Photography) The site was developed into its current layout.

Surrounding area

In addition, we have identified the following points of interest in proximity to the study site:

• **1880** - Present - Wheal Ellen, a disused tin and copper mine extends to the north and east.



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Review

Environmental permits and register entries

No Environmental Permits of concern have been identified on site or in proximity to the property. No entries on the Local Authority's Contaminated Land Register have been identified within 250m of the site.

Site setting and overall environmental sensitivity

The site is situated on the underlying geology comprising bedrock layers of the Porthtowan Formation. Groundwater mapping indicates the bedrock layers to be classified as a Secondary A aquifer.

Potentially vulnerable receptors have been identified including current and future site users, ground workers during redevelopment and the underlying aquifer. Groundsure considers that the property has a moderate to high environmental sensitivity.

Operational environmental risk

Using recent mapping, aerial photography and the data in this report we consider the site to have a Low-Moderate ongoing operational environmental risk.

As the site does not appear to be in current industrial use, there is unlikely to be a significant risk of Environmental Damage at the property. However, if you require an assessment of operational risk at the property, please contact Groundsure for further advice.

Conclusion

Groundsure has identified a potential contaminant-pathway-receptor relationship though this is unlikely to give rise to significant environmental liability. However, further work to address land quality issues should be undertaken as part of the development process. Please refer to the Groundsure Risk Assessment Methodology contained within this report.



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Review

Contaminated land data summary



| Past land use | On-Site | 0-50m | 50-250m |
|--|---------|-------|---------|
| Former industrial land use (1:10,560 and 1:10,000 scale) | 0 | 4 | 35 |
| Former tanks | 0 | 0 | 0 |
| Former energy features | 0 | 0 | 0 |
| Former petrol stations | 0 | 0 | 0 |
| Former garages | 0 | 0 | 0 |
| Former military land | 0 | 0 | 0 |

| Waste and landfill | On-Site | 0-50m | 50-250m |
|---|---------|-------|---------|
| Active or recent landfill | 0 | 0 | 0 |
| Former landfill (from Environment Agency Records) | 0 | 0 | 0 |
| Former landfill (from Local Authority and historical mapping records) | 0 | 0 | 0 |
| Waste site no longer in use | 0 | 0 | 0 |
| Active or recent licensed waste sites | 0 | 0 | 0 |

| Current and recent industrial | On-Site | 0-50m | 50-250m |
|--|---------|-------|---------|
| Recent industrial land uses | 0 | 0 | 6 |
| Current or recent petrol stations | 0 | 0 | 0 |
| Historical licensed industrial activities | 0 | 0 | 0 |
| Current or recent licensed industrial activities | 0 | 0 | 0 |
| Local Authority licensed pollutant release | 0 | 0 | 0 |
| Pollutant release to surface waters | 0 | 0 | 0 |
| Pollutant release to public sewer | 0 | 0 | 0 |
| Dangerous industrial substances (D.S.I. List 1) | 0 | 0 | 0 |
| Dangerous industrial substances (D.S.I. List 2) | 0 | 0 | 0 |
| Dangerous or explosive sites | 0 | 0 | 0 |
| Hazardous substance storage/usage | 0 | 0 | 0 |
| Sites designated as Contaminated Land | 0 | 0 | 0 |
| Pollution incidents | 0 | 0 | 0 |



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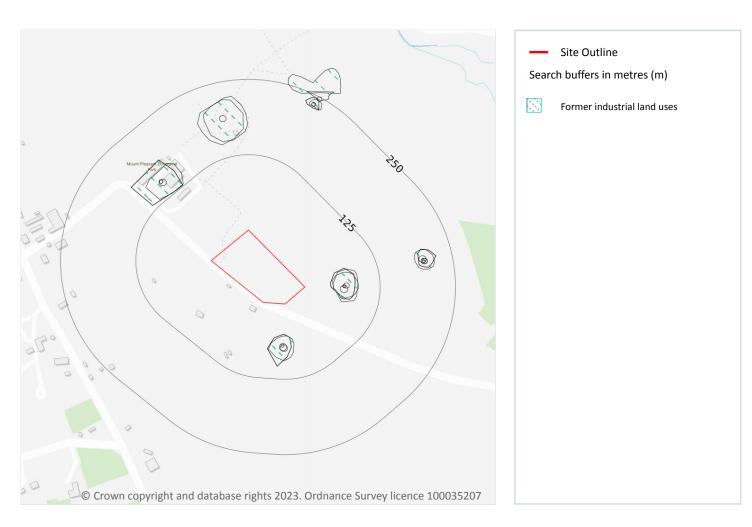
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Review

Contaminated land / Past land use





Former industrial land use (1:10,560 and 1:10,000 scale)

These historical land uses have been identified from 1:10,560 and 1:10,000 scale Ordnance Survey maps dated from the mid to late 1800s to recent times. They have the potential to have caused ground contamination. Please see the Environmental Summary to find out how these could impact the site.

Please see **<u>page 4</u>** > for further advice.

| Distance | Direction | Use | Date |
|----------|-----------|-------------------------|------|
| 43 m | E | Unspecified Heap | 1879 |
| 43 m | E | Refuse Heap | 1908 |
| 47 m | E | Refuse Heap | 1958 |
| 47 m | E | Unspecified Disused Tip | 1980 |
| 50 m | S | Refuse Heap | 1879 |



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Review

| Distance | Direction | Use | Date |
|----------|-----------|---------------------------|------|
| 50 m | S | Refuse Heap | 1908 |
| 53 m | SE | Refuse Heap | 1958 |
| 59 m | E | Unspecified Old Shaft | 1958 |
| 63 m | E | Unspecified Old Shaft | 1879 |
| 63 m | E | Unspecified Old Shaft | 1908 |
| 64 m | E | Unspecified Disused Shaft | 1980 |
| 66 m | S | Unspecified Old Shaft | 1908 |
| 67 m | S | Unspecified Old Shaft | 1879 |
| 68 m | S | Unspecified Old Shaft | 1958 |
| 127 m | NW | Refuse Heap | 1879 |
| 127 m | NW | Refuse Heap | 1908 |
| 128 m | NW | Unspecified Disused Tip | 1980 |
| 146 m | NW | Unspecified Old Shaft | 1958 |
| 148 m | Ν | Refuse Heap | 1879 |
| 151 m | Ν | Unspecified Disused Tip | 1980 |
| 151 m | NW | Unspecified Old Shaft | 1879 |
| 151 m | NW | Unspecified Old Shaft | 1908 |
| 184 m | Ν | Unspecified Disused Shaft | 1980 |
| 188 m | E | Refuse Heap | 1958 |
| 193 m | E | Refuse Heap | 1879 |
| 193 m | E | Refuse Heap | 1908 |
| 195 m | E | Unspecified Old Shafts | 1958 |
| 198 m | E | Unspecified Disused Shaft | 1973 |
| 198 m | E | Unspecified Disused Shaft | 1980 |
| 198 m | E | Unspecified Disused Shaft | 1988 |
| 199 m | E | Unspecified Old Shafts | 1908 |
| 229 m | Ν | Unspecified Heap | 1879 |
| 229 m | Ν | Unspecified Heap | 1908 |



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Review

| Distance | Direction | Use | Date |
|----------|-----------|----------------------------|------|
| 232 m | Ν | Unspecified Old Shaft | 1958 |
| 232 m | N | Unspecified Old Shaft | 1879 |
| 232 m | N | Unspecified Old Shaft | 1908 |
| 243 m | Ν | Refuse Heaps | 1908 |
| 243 m | N | Unspecified Disused Shafts | 1980 |
| 246 m | N | Unspecified Old Quarry | 1908 |

This data is sourced from Ordnance Survey/Groundsure.



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Review

Contaminated land / Current and recent industrial





Recent industrial land uses

These records show details of businesses that have recently operated, or are currently operating in the area. Depending on the type of activities taking place, some of these businesses could present a risk of contamination.

Please see **<u>page 4</u>** > for further advice.

| ID | Distance | Direction | Company | / Address | Activity | У | Category |
|-----------------|----------|-----------|---|----------------------|---|--------------------------|--------------------------|
| 1 | 63 m | NW | Wind Turk | pine - Cornwall, TR4 | Energy | Production | Industrial Features |
| 2 | 70 m | E | Shaft - Co | rnwall, TR4 | Unspec Mines | ified Quarries Or | Extractive Industries |
| 3 | 175 m | NW | | | Hobby, Produc | Sports and Pastime ts | Consumer Products |
| Back to Summary | | | Contact us with any questions at: info@groundsure.com オ 01273 257 755 | | Ref: GS-PTF-X2E-UAF-N Your ref: 2311_Commu Grid ref: 169730 04668 | nity_Roots (17) | |



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| ID | Distance | Direction | Company / Address | Activity | Category |
|----|----------|-----------|---|----------------------------------|--------------------------|
| 4 | 176 m | Ν | Shaft - Cornwall, TR4 | Unspecified Quarries Or Mines | Extractive Industries |
| 5 | 177 m | NW | Monkey Puzzle Repro Art - Unit 5 Mount Pleasant Ecological Park, -, Porthtowan, Cornwall, TR4 8HL | Published Goods | Industrial Products |
| 6 | 201 m | E | Shaft - Cornwall, TR4 | Unspecified Quarries Or Mines | Extractive Industries |

This data is sourced from Ordnance Survey.



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Review

Bedrock hydrogeology





Aquifers within bedrock geology

The Environment Agency/Natural Resources Wales and the British Geological Survey have assigned designations or types to the aquifers that exist within bedrock geology. These designations reflect the importance of aquifers in terms of groundwater as a resource (eg drinking water supply) but also their role in supporting surface water flows and wetland ecosystems.

Principal - These are layers of rock or superficial deposits that usually provide a high level of water storage.

Secondary A - Permeable layers capable of supporting water supplies at a local rather than strategic scale.

Secondary B - Predominantly lower permeability layers which may store and yield limited amounts of groundwater.

Secondary Undifferentiated - Has been assigned in cases where it has not been possible to attribute either category A or B to a rock type.

Unproductive - These are rock layers with low permeability that have negligible significance for water supply.



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| Distance | Direction | Designation |
|----------|-----------|-------------|
| 0 | on site | Secondary A |
| 157 m | E | Secondary A |

This data is sourced from the Environment Agency/Natural Resources Wales and the British Geological Survey.

Bedrock geology

Bedrock geology is a term used for the main mass of rocks forming the Earth and is present everywhere, whether exposed at the surface in outcrops or concealed beneath superficial deposits or water. This information comes from the BGS 1:50,000 Digital Geological Map of Great Britain, where available.

| Description | BGS LEX Code | Rock Type | | | | |
|---|--------------|--------------------------------|--|--|--|--|
| PORTHTOWAN FORMATION | POAN-MMSD | METAMUDSTONE AND METASANDSTONE | | | | |
| This data is sourced from British Geological Survey | | | | | | |

This data is sourced from British Geological Survey



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Review



Negligible risk

Summary

No significant concerns have been identified as a result of the flood risk searches. No action required.

Further explanation of flood risk assessment can be seen in the Flood information on **page 51** >.

River and Coastal Flooding Groundwater Flooding Surface Water Flooding FloodScore™ insurance rating Past Flooding Flood Storage Areas NPPF Flood Risk Assessment required if site redeveloped?

Very Low Negligible Negligible Very Low

Not identified Not identified See overview

Next steps

National Planning Policy Framework (NPPF)

A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3. In Flood Zone 1, an assessment should accompany all proposals involving: sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems; land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use. The NPPF states that the flood risk assessment should identify and assess the risks of all forms of flooding to and from the development and demonstrate how these flood risks will be managed so that the development remains safe throughout its lifetime, taking climate change into account. Those proposing development as part of the flood risk assessment.

Jump to <u>Flood risk (5 and 30 years)</u> > <u>Skip to next section: Environmental</u> >

You can find our methodology and list of limitations on page 49 >



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Review

Climate change / Flood risk (5 and 30 Years)

Ambiental's FloodScore[™] Climate data provides flood risk information from river, tidal and surface water flooding for a range of future time periods and emissions scenarios (Low emissions - RCP 2.6, medium and most likely emissions - RCP 4.5, and high emission - RCP 8.5). The temperature increases shown for each scenario are predicted increases by 2081-2100. The models are based on the UK Climate Projections 2018 (UKCP18). It is plausible that climate change will increase the severity and frequency of flood events in the future. FloodScore[™] Climate has been designed to provide banks, building societies and insurers with future flood risk information for their long-term assets. The data within this report is based on the highest risk found within a buffer zone around the buildings. The 'Year' in the table represents the median of the date range used for each modelled timeframe.

| Temp increase range | Year | Combined flood risk | River flooding | Coastal flooding | Surface water flooding |
|---------------------|------|---------------------|----------------|------------------|------------------------|
| RCP 2.6 0.9-2.3°C | 2027 | Negligible | Negligible | Negligible | Negligible |
| RCP 2.6 0.9-2.3°C | 2055 | Negligible | Negligible | Negligible | Negligible |
| Temp increase range | Year | Combined flood risk | River flooding | Coastal flooding | Surface water flooding |
| RCP 4.5 1.7-3.2°C | 2027 | Negligible | Negligible | Negligible | Negligible |
| RCP 4.5 1.7-3.2°C | 2055 | Negligible | Negligible | Negligible | Negligible |
| Temp increase range | Year | Combined flood risk | River flooding | Coastal flooding | Surface water flooding |
| RCP 8.5 3.2-5.4°C | 2027 | Negligible | Negligible | Negligible | Negligible |
| RCP 8.5 3.2-5.4°C | 2055 | Negligible | Negligible | Negligible | Negligible |

This data is sourced from Ambiental Risk Analytics.



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Review





Ground stability

The property is assessed to have potential for natural or non-natural ground subsidence. Please see **page 25** > for details of the identified issues. Natural Ground Stability Negligible-Very low Non-Natural Ground Stability Identified

Rn

Radon

The property is in a radon affected area. This could mean that inhabitants are at risk from the harmful effects of radon. The percentage of homes estimated to be affected by radon in your local area is greater than 30%. Please see **page 27** > for details of the identified issues.

In a radon affected area

Next steps

Ground stability

The property is indicated to lie within an area that could be affected by mining other than coal. You should consider the following:

- if a survey has been undertaken at the property that considers ground instability and no issues were found, no further action is required
- however, based on the findings of this report, the purchaser should be encouraged to consider potential instability in any future development or alteration of the ground including planting and removing trees, and regardless of the survey outcome
- if no survey has yet been undertaken, we recommend one is carried out by a suitably qualified and experienced person
- if ground instability issues have been or are subsequently identified in a survey we recommend following any advice given in the survey findings
- a more detailed mining search may also further clarify the potential risks presented in this report, and unearth records not available to your surveyor. Groundsure GeoRisk can provide a comprehensive assessment of all mining risks and can be ordered through Groundsure or your preferred search provider

Radon

The property is in an area where elevated radon levels are expected to be found in 30-100% of properties.

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• if the property is a new build, you can check compliance on radon protection with the developer

- if you are buying a currently occupied property, ask the present owner whether radon levels have been measured and, if so, whether the results were above the radon Action Level. If they were, ask what remedial measures were installed, were radon levels re-tested and did the re-testing confirm the measures have been effective
- if testing has not been carried out, it would be a sensible precaution to arrange for the property to be tested with radon detectors. If initial short-term radon screening tests are inconclusive, or the purchaser would prefer to carry out a full three-month test, it may be possible to arrange a 'radon bond'
- high levels of radon can be reduced through carrying out remedial works to the property
- full radon protection measures will be required to be installed in the event that any new buildings or extensions are added to the property
- all basement and cellar areas are considered at additional risk from high radon levels. If an underground room such as a cellar or basement makes up part of the living or working accommodation, the property should be tested regardless of radon Affected Area status
- see <u>http://www.radonassociation.co.uk/guide-to-radon/information-for-employers/</u> *¬* for further information

Jump to

<u>Non-natural ground subsidence</u> > <u>Radon</u> >

Natural ground instability (5 and 30 Years) >

Skip to next section: Energy >

You can find our methodology and list of limitations on page 49 >



Ref: GS-PTF-X2E-UAF-N9G Your ref: 2311_Community_Roots Grid ref: 169730 046684

Review



Review

Ground stability / Non-natural ground subsidence



Non-coal mining

The property is located in an area that may be affected by surface or sub-surface mining. The BGS has identified that underground mining is known to have occurred in proximity to the property. However, this does not confirm if the property will be directly affected.

Please see **<u>page 4</u>** > for further advice.

| Distance | Direction | Name | Commodity | Assessment of likelihood |
|----------|-----------|---------------|--------------|--|
| 0 | on site | Not available | Vein Mineral | Underground mining is considered likely to have occurred within or close to the area. The location, extent and nature of mining should be considered in any site investigation. Potential for difficult ground conditions should be considered. |



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Distance Direction Name Commodity Assessment of likelihood 0 on site Not available Vein Mineral Underground mining is known or considered likely within or very close to the area. The location, extent and nature of mining should be considered in any site investigation. Potential for difficult ground conditions should be considered. Not available 132 m W Vein Mineral Underground mining is known or considered likely within or very close to the area. The location, extent and nature of mining should be considered in any site investigation. Potential for difficult ground conditions should be considered. Not available 140 m Ν Vein Mineral Underground mining is known or considered likely within or very close to the area. The location, extent and nature of mining should be considered in any site investigation. Potential for difficult ground conditions should be considered. 157 m Е Not available Vein Mineral Underground mining is known or considered likely within or very close to the area. The location, extent and nature of mining should be considered in any site investigation. Potential for difficult ground conditions should be considered. 173 m SF Not available Vein Mineral Underground mining is considered likely to have occurred within or close to the area. The location, extent and nature of mining should be considered in any site investigation. Potential for difficult ground conditions should be considered.

This data is sourced from the British Geological Survey (BGS).



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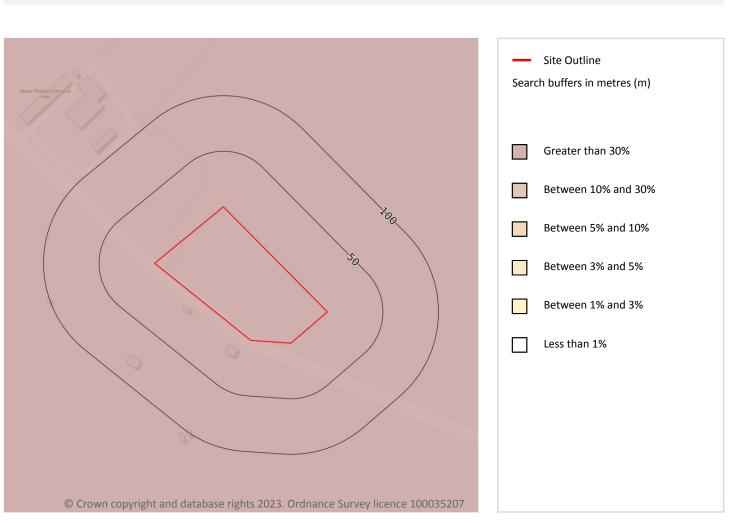
Review





Review

Radon



The property is in a radon affected area, meaning there is an increased risk that properties will contain elevated levels of radon.

In order to determine if there is a problem at your property, a radon measurement in the building must be taken. Access to a testing service and further information on radon is available from UK Health Security Agency (UKHSA) or <u>www.ukradon.org</u> **7**.

Radon is a colourless, odourless radioactive gas present in all areas of the United Kingdom, usually at levels that pose a negligible risk. However, the property is situated in an area where levels of radon can be much higher and pose a health risk. High levels of radon can cause lung cancer, particularly for smokers and exsmokers. The higher the level and the longer the period of exposure, the greater the risk.

Please see **<u>page 4</u>** > for further advice.

This data is sourced from the British Geological Survey/UK Health Security Agency.



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Review

Climate change / Natural ground instability (5 and 30 Years)

This data shows the increase in shrink swell subsidence hazards as a result of climate change. When certain soils take in water they can swell, causing heave. Conversely, when these soils dry out they can shrink and cause subsidence. Climate change will result in higher temperature and therefore likely cause periods of drought and an increase in shrink swell subsidence. This data has been produced using the Met Office local projections to accurately model predicted rainfall, it is only available for RCP8.5 (the 'worst case' climate scenario).

| Temp increase range | Year | Wet scenario | Average rainfail | Dry scenario |
|---------------------|-------|-----------------|------------------|-----------------|
| RCP 8.5 3.2-5.4°C | 2030s | Highly unlikely | Highly unlikely | Highly unlikely |
| RCP 8.5 3.2-5.4°C | 2050s | Highly unlikely | Highly unlikely | Highly unlikely |

This data is sourced from the British Geological Survey.



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Review

Energy

Identified

) Oil and gas

| No historical, active or planned wells or extraction areas have been identified near the property. | Oil and gas areas Oil and gas wells | Not identified Not identified |
|--|--|----------------------------------|
| Wind and Solar | | |
| Our search of existing and planned renewable wind and solar infrastructure has identified results. | Planned Multiple Wind Turbines | Identified |
| | Planned Single Wind Turbines | Identified |
| Please see page 4 > for further advice. Additionally, see | Existing Wind Turbines | Identified |
| page 31 > for details of the identified issues. | Proposed Solar Farms | Identified |
| | Existing Solar Farms | Identified |

Our search of major energy transmission or generation infrastructure and nationally significant infrastructure projects has not identified results. Power stations Energy Infrastructure Projects Not identified Not identified Not identified

Next steps

Wind

Existing or proposed wind installations have been identified within 10km.

- use the details given in the report to find out more about the potential impacts on the property
- contact the operating company and the relevant Local Authority for further information
- visit the area in order to more accurately assess the impact this wind development would have on the property

Solar

Existing or proposed solar installations have been identified within 5km of the property.

- use the details given in the report to find out more about the potential impacts on the property by contacting the operating company and/or Local Authority
- visit the area in order to more accurately assess the impact this solar farm would have on the property

Back to Summary

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Jump to <u>Wind and solar</u> > <u>Skip to next section: Transport</u> >

You can find our methodology and list of limitations on page 49 >



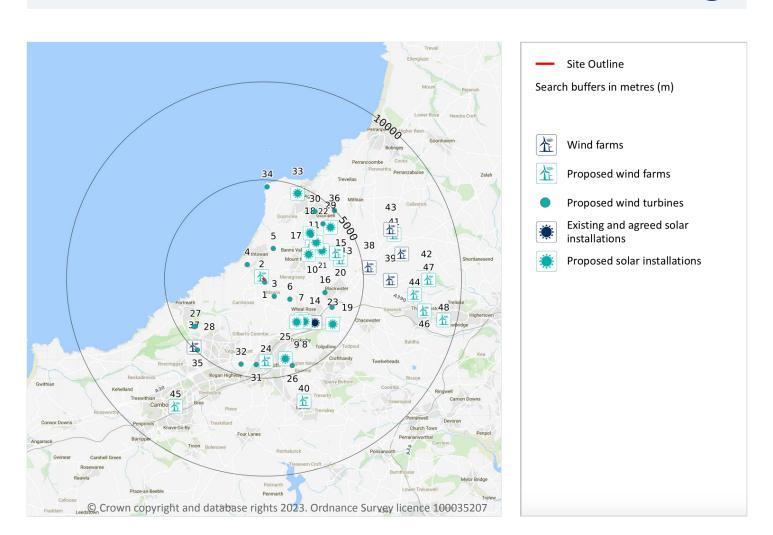
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Review

Energy / Wind and solar



Wind farms

An active wind farm, group of turbines or individual wind turbine has been identified within 10,000m of the property. See below for details of the operating company, number of turbines, project and turbine capacity.

| ID | Distance | Direction | Details | |
|----|----------|-----------|---|--|
| 37 | 5-6 km | SW | Site Name: Merrose Farm, Illogan Downs, Illogan, Redruth, South West, TR15 3UZ Operator Developer: Capture Energy Ltd Status of Project: Operational | Type of project: Onshore Number of Turbines: 1 Turbine Capacity: 0.1MW Total project capacity: 0.1 Approximate Grid Reference: 166179, 42897 |



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Review

| ID | Distance | Direction | Details | |
|----|----------|-----------|---|--|
| 38 | 5-6 km | Ε | Site Name: Roscarnick Farm, Threeburrows, Blackwater. Truro, South West Operator Developer: ICE Renewables Ltd Status of Project: Operational | Type of project: Onshore Number of Turbines: 1 Turbine Capacity: 0.275MW Total project capacity: 0.275 Approximate Grid Reference: 175130, 47265 |
| 39 | 6-7 km | Ε | Site Name: Truro Airfield (Resubmission), Tregavethan, Truro, South West, TR4 9EX Operator Developer: Landowner or private owner Status of Project: Operational | Type of project: Onshore Number of Turbines: 1 Turbine Capacity: 0.085MW Total project capacity: 0.085 Approximate Grid Reference: 176214, 46607 |
| 42 | 7-8 km | E | Site Name: Four Burrows, nr Truro, South West Operator Developer: EcoGen Services Ltd Status of Project: Operational | Type of project: Onshore Number of Turbines: 15 Turbine Capacity: 0.3MW Total project capacity: 4.5 Approximate Grid Reference: 176797, 47952 |
| 43 | 7-8 km | Ε | Site Name: Pendale Farm, North East Of Truro Sawmills, Pendale Farm, Penhallow, Truro, South West, TR4 9NF Operator Developer: TGC Renewables (The Green Company) Status of Project: Operational | Type of project: Onshore Number of Turbines: 2 Turbine Capacity: 0.1MW Total project capacity: 0.2 Approximate Grid Reference: 176566, 49287 |

This data is sourced from the UK Wind Energy Database supplied by Renewable UK. Groundsure recommends further independent research with Renewable UK of any sites of interest to determine exact locations and details of the projects.

Proposed wind farms

A wind farm or group of turbines or individual wind turbine has been proposed within 10,000m of the property. See below for details of the operating company, number of turbines, project and turbine capacity.

Please note some planning applications identified as having been refused, may have subsequently been granted on appeal without appearing as such within this report. Additionally, please be aware that as the identified records are taken from a planning record archive, the proposals identified may have already been undertaken.



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Review

| ID | Distance | Direction | Details | |
|----|----------|-----------|--|---|
| 2 | 177 m | NW | Site Name: Mount Pleasant Ecological Park Chapel Hill, Porthtowan, Truro, Cornwall, TR4 8HL Planning Application Reference: PA25/1070/10/G Type of Project: 3 Wind Turbines | Application Date: 2010-07-15 Planning Stage: Early Planning Detailed Plans Submitted Project Details: Scheme comprises installation of three 12 metre high wind turbines. Approximate Grid Reference: 169586, 46831 |
| 20 | 3-4 km | Ε | Site Name: Teagle Machinery Ltd, Blackwater, Truro, Cornwall, TR4 8HQ Planning Application Reference: PA10/07633 Type of Project: 3 Wind Turbines | Application Date: 2010-11-11 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of three 50kw micro wind turbines. Approximate Grid Reference: 173665, 47674 |
| 21 | 3-4 km | Ε | Site Name: Teagle Machinery Ltd, Blackwater, Truro, Cornwall, TR4 8HQ Planning Application Reference: PA11/03926 Type of Project: 4 Wind Turbines | Application Date: 2011-05-20 Planning Stage: Early Planning Detail Plans Withdrawn Project Details: Scheme comprises siting of 4 55kW micro turbines. Approximate Grid Reference: 173665, 47674 |
| 24 | 4-5 km | S | Site Name: 74 Green Lane, Redruth, Kerrier, Cornwall, TR15 1LT Planning Application Reference: PA06/01349/F Type of Project: 12 Wind Turbines & Launderette | Application Date: 2006-07-24 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of a laundry room extension and provision of 12 small wind turbines. Approximate Grid Reference: 169868, 42475 |
| 40 | 6-7 km | S | Site Name: Bolivar House Higher Pennance, Lanner, Redruth, Cornwall, TR16 5TQ Planning Application Reference: PA11/06811 Type of Project: 2 Wind Turbines & Solar PV Array | Application Date: 2011-08-19 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises installation of 2 Proven 11 wind turbines and one 4kW solar PV ground mounted array. Approximate Grid Reference: 171805, 40448 |
| 41 | 6-7 km | Ε | Site Name: Land North East Of, Truro Sawmills Pendale Farm, Truro, Cornwall, TR4 9NF Planning Application Reference: PA12/01589 Type of Project: 2 Wind Turbines | Application Date: 2012-02-20 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises installation of 2 wind turbines, access and associated works. Approximate Grid Reference: 176400, 48950 |



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Review

| ID | Distance | Direction | Details | |
|----|----------|-----------|---|---|
| 44 | 7-8 km | Ε | Site Name: Croft West West Langarth, Threemilestone, Truro, Cornwall, TR4 9AN Planning Application Reference: PA11/06931 Type of Project: 2 Wind Turbines | Application Date: 2011-08-26 Planning Stage: Early Planning Detail Plans Refused Project Details: Scheme comprises construction of 2 endurance E-3120 55kw wind turbines. Approximate Grid Reference: 177450, 45872 |
| 45 | 7-8 km | SW | Site Name: Tesco Stores Limited, Wesley Street, Camborne, Kerrier, Cornwall, TR14 8DT Planning Application Reference: PA07/01634/F Type of Project: 2 Wind Turbines | Application Date: 2007-10-04 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of two 10.6 m high wind turbines. Approximate Grid Reference: 165253, 40164 |
| 46 | 8-9 km | Ε | Site Name: 1 Tregavethan View, Threemilestone, Truro, Cornwall, TR3 6SS Planning Application Reference: PA12/01511 Type of Project: 2 Wind Turbines | Application Date: 2012-03-05 Planning Stage: Early Planning Detail Plans Withdrawn Project Details: Scheme comprises construction of 2 50kW wind turbines - application accompanied by an Environmental Statement. Approximate Grid Reference: 177944, 45049 |
| 47 | 8-9 km | Ε | Site Name: Land At Tregavethan Bosvisack, Tregavethan, Truro, Cornwall, TR4 9EJ Planning Application Reference: PA12/05171 Type of Project: 2 Wind Turbines | Application Date: 2012-05-30 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of two small wind turbines 24m hub height, 19.2m blade diameter, 34.41m overall height - application accompanied by an environmental statement. Approximate Grid Reference: 178170, 46629 |
| 48 | 9-10 km | Ε | Site Name: Richard Lander School Higher Besore Road, Threemilestone, Truro, Cornwall, TR3 6LT Planning Application Reference: PA14/0816/10/G Type of Project: Wind Turbine | Application Date: 2010-06-07 Planning Stage: Early Planning Detailed Plans Submitted Project Details: Scheme comprises installation of 11kw wind turbine on 18m galvanized steel tubular mast on concrete base, twin, bladed turbines 13m in diameter. Approximate Grid Reference: 178936, 44586 |

This information is derived from planning data supplied by Glenigan, in some cases with further accuracy applied by Groundsure's experts. This search includes planning applications for wind farms with multiple turbines within 10,000m of the property. This data is updated on a quarterly basis.

If the existence of a planning application, passed or refused may have a material impact with regard to the decision to purchase the property, Groundsure recommends independent, thorough enquiries are made with the Local Authority. If any applications have been identified within this report, Groundsure have included the planning reference to enable further enquiries to be made.



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Review

Proposed wind turbines

Planning applications for individual wind turbines have been proposed within 5,000m of the property. See below for details of the operating company, number of turbines, project and turbine capacity.

Please note some planning applications identified as having been refused may have subsequently been granted on appeal without appearing as such within this report. Additionally, please be aware that as the identified records are taken from a planning record archive, the proposals identified may have already been undertaken.

| ID | Distance | Direction | Details | |
|----|----------|-----------|--|---|
| 1 | 91 m | S | Site Name: Land At, Mawla Lane End, Redruth, Cornwall, Cornwall, TR16 5DN Planning Application Reference: PA12/07280 Type of Project: Wind Turbine | Application Date: 2012-07-30 Planning Stage: Early Planning Detail Plans Withdrawn Project Details: Scheme comprises installation of an 18.4m, 11kw gaia 133 wind turbine for renewable and sustainable electricity generation. Approximate Grid Reference: 169798, 46524 |
| 3 | 953 m | SE | Site Name: Mawla House, Redruth, Mawla, Cornwall, TR16 5DW Planning Application Reference: PA25/1947/08/R Type of Project: Wind Turbine | Application Date: 2008-11-11 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises installation of a grid connected 6kw domestic wind turbine on a 15m mast. Approximate Grid Reference: 170298, 45795 |
| 4 | 1-2 km | NW | Site Name: West Towan House, Jollys Lane, Porthtowan, Truro, Carrick, Cornwall, TR4 8AX Planning Application Reference: PA25/1194/07/R Type of Project: Wind Turbine | Application Date: 2007-06-20 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of a proven 6kW wind turbine on 9 metre mast. Approximate Grid Reference: 168912, 47414 |
| 5 | 1-2 km | Ν | Site Name: Torvean Coast Road, Porthtowan, Truro, Cornwall, TR4 8AJ Planning Application Reference: PA11/01019 Type of Project: Wind Turbine | Application Date: 2011-02-07 Planning Stage: Early Planning Detail Plans Withdrawn Project Details: Scheme comprises installation of a 5KW domestic wind turbine on a 15m monopole mast. Approximate Grid Reference: 170249, 48222 |



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Review

| ID | Distance | Direction | Details | |
|----|----------|-----------|--|--|
| 6 | 1-2 km | SE | Site Name: Stencoose Farm Stencoose, Scorrier, Redruth, Cornwall, TR16 5DQ Planning Application Reference: PA12/06465 Type of Project: Wind Turbine | Application Date: 2012-07-09 Planning Stage: Early Planning Detail Plans Withdrawn Project Details: Scheme comprises installation of single 10kW aircon wind turbine with a hub height of 18m and three blades with a rotor diameter of 7.5m. Approximate Grid Reference: 171090, 45647 |
| 16 | 3-4 km | Ε | Site Name: Wheal Briton Farm, Blackwater, Truro, Cornwall, TR4 8HJ Planning Application Reference: PA11/08558 Type of Project: Wind Turbine | Application Date: 2011-10-17 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of Gaia 11kw wind turbine. Approximate Grid Reference: 172884, 45994 |
| 17 | 3-4 km | NE | Site Name: Scoll Cottage Scoll Bridge, St. Agnes, Cornwall, TR5 OPE Planning Application Reference: PA11/07459 Type of Project: Wind Turbine | Application Date: 2011-09-29 Planning Stage: Early Planning Detail Plans Withdrawn Project Details: Scheme comprises installation of Endurance E-3120 55kW wind turbine on a 25m tower. Approximate Grid Reference: 172172, 48900 |
| 19 | 3-4 km | Ε | Site Name: Boscawen Farm, Blackwater, Truro, Cornwall, TR4 8EZ Planning Application Reference: PA12/07389 Type of Project: Wind Turbine | Application Date: 2012-08-02 Planning Stage: Early Planning Detail Plans Refused Project Details: Scheme comprises installation of a three bladed wind turbine mounted on a monopole tower with an electrical control cabinet at the base, overall height of turbine 34.5m, hub height of 25m and rotor diameter of 19.2m. Approximate Grid Reference: 173240, 45236 |
| 22 | 4-5 km | NE | Site Name: Shemara, Goonbell, St. Agnes, Carrick, Cornwall, TR5 OPQ Planning Application Reference: PA25/1849/06/R Type of Project: House & Wind Turbine | Application Date: 2006-09-28 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises demolition of extensions and construction of detached garage with office/studio over and new 2 storey front house extension, wind turbine and water harvesting tank. Approximate Grid Reference: 172785, 49501 |



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Review

| ID | Distance | Direction | Details | |
|----|----------|-----------|---|---|
| 26 | 4-5 km | S | Site Name: Cornerside Channel View Farm Sandy Lane, Redruth, Cornwall, TR15 2DJ Planning Application Reference: PA11/02285 Type of Project: Wind Turbine | Application Date: 2011-03-23 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of 6KW 11micro wind turbine on 15m monopole tubular tower. Approximate Grid Reference: 170895, 42609 |
| 27 | 4-5 km | SW | Site Name: Trengove Farm Cot Road, Illogan, Redruth, Cornwall, TR16 4PS Planning Application Reference: PA12/02647 Type of Project: Wind Turbine | Application Date: 2012-03-20 Planning Stage: Early Planning Detail Plans Withdrawn Project Details: Scheme comprises construction of a single small wind turbine on a 25m tower. Approximate Grid Reference: 166270, 44275 |
| 28 | 4-5 km | SW | Site Name: Trengrove Farm Cot Road, Illogan, Redruth, Cornwall, TR16 4PS Planning Application Reference: PA12/08046 Type of Project: Wind Turbine | Application Date: 2012-08-23 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of a 1 endurance E-3120 55kw small wind turbine on a 25m monopole tubular tower. Approximate Grid Reference: 166270, 44275 |
| 30 | 4-5 km | NE | Site Name: Endean Farm Goonown, Goonown, St. Agnes, Cornwall, TR5 0XE Planning Application Reference: PA11/07321 Type of Project: Wind Turbine | Application Date: 2012-02-15 Planning Stage: Early Planning Detail Plans Refused Project Details: Scheme comprises Installation of 11kw wind turbine on an 18m tower. Approximate Grid Reference: 172364, 50132 |
| 31 | 4-5 km | S | Site Name: Tesco Tolgus Hill, Redruth, Cornwall, TR15 1AX Planning Application Reference: PA08/01087/F Type of Project: Wind Turbine | Application Date: 2008-06-16 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of a 10.6m high micro wind turbine and associated cabling for a period of 15 years. Approximate Grid Reference: 169377, 42317 |



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Review

| ID | Distance | Direction | Details | |
|----|----------|-----------|--|---|
| 32 | 4-5 km | S | Site Name: Tolgus Depot, Redruth, Tolgus Mount, Cornwall, TR15 3TA Planning Application Reference: PA08/01636/F Type of Project: Wind Turbine | Application Date: 2008-09-23 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises construction of a wind turbine. Approximate Grid Reference: 168600, 42328 |
| 34 | 4-5 km | Ν | Site Name: Coastwatch Lookout, St. Agnes Head, St. Agnes, Carrick, Cornwall, TD15 2SF Planning Application Reference: PA25/0519/07/G Type of Project: Wind Generator & Solar Panels | Application Date: 2007-03-20 Planning Stage: Plans Approved Detail Plans Granted Project Details: Scheme comprises improvements to lookout and installation of wind generator, solar panels and radar scanner dome. Approximate Grid Reference: 169934, 51389 |
| 35 | 4-5 km | SW | Site Name: Merrose Farm, Illogan Downs, Redruth, Cornwall, TR15 3UZ Planning Application Reference: PA15/03580 Type of Project: Wind Turbine | Application Date: 2015-04-16 Planning Stage: Detail Plans Granted Project Details: Scheme comprises construction of a single wind turbine with a tower height of up to 37m and a tip height of up to 49m, along with associated infrastructure. Approximate Grid Reference: 166372, 43056 |
| 36 | 4-5 km | NE | Site Name: Ropewalk Farmhouse, Goonbell, St. Agnes, Cornwall, TR5 OPR Planning Application Reference: PA25/1414/09/R Type of Project: Wind Turbine | Application Date: 2009-09-25 Planning Stage: Early Planning Detailed Plans Submitted Project Details: Scheme comprises installation of an Evance Iskra R9000 5kw domestic wind turbine on an 18m Hutchinson monopole mast. Approximate Grid Reference: 173358, 50159 |

This information is derived from planning data supplied by Glenigan, in some cases with further accuracy applied by Groundsure's experts. This search includes planning applications for single wind turbines only, within 5,000m of the property. This data is updated on a quarterly basis.

If the existence of a planning application, passed or refused, may have a material impact with regard to the decision to purchase the property, Groundsure recommends independent, thorough enquiries are made with the Local Authority. If any applications have been identified within this report, Groundsure have included the planning reference to enable further enquiries to be made.



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Review

Existing and agreed solar installations

There is an operational or planned solar photovoltaic farm or smaller installation located near the property.

Please note this will not include small domestic solar installations. See below for details on installed capacity, operating company and the status of the project on a given date.

| ID | Distance | Direction | Address | Details | |
|----|----------|-----------|---|--|---|
| 11 | 2-3 km | NE | Gover Farm Solar Park, Gover Farm Gover Hill Mount Hawke St Agnes Cornwall | Contractor: Green Energy UK Direct Ltd LPA Name: Cornwall Council Capacity (MW): 8 | Application Date: 05/06/2013 Pre Consent Status: Operational Post Consent Status: Operational Date Commenced: 24/10/2014 |
| 14 | 3-4 km | SE | Roddas, The Creamery - Solar Photovoltaic Array, Roddas, The Creamery, Wheal Rose, Scorrier, Redruth, TR16 5BU | Contractor: Roddas LPA Name: Cornwall Council Capacity (MW): 2.65 | Application Date: 09/03/2023 Pre Consent Status: Planning Application Submitted Post Consent Status: Application Submitted Date Commenced: - |

The solar installation data is supplied by the Department for Business, Energy & Industrial Strategy and is updated on a monthly basis.

Proposed solar installations

There is a planning permission application relating to a solar farm or smaller installation near to the property.

Please note this will not include small domestic solar installations and that one site may have multiple applications for different aspects of their design and operation. Also note that the presence of an application for planning permission is not an indication of permission having been granted. Please be aware that as the identified records are taken from a planning record archive, the proposals identified may have already been undertaken. See below for details of the proposals.

| ID | Distance | Direction | Address | Details | |
|----|----------|-----------|---|--|---|
| 7 | 2-3 km | SE | Roddas The Creamery, Wheal Rose, Scorrier, Redruth, Cornwall, TR16 5BU | Applicant name: Mr Steve Basford Application Status: Screening Opinion Application Date: 12/04/2023 Application Number: PA23/03016 | EIA Screening Opinion Request for installation of a 2.65 MWp Ground Mounted Solar Photovoltaic array, erection of substations and associated works. |
| 8 | 2-3 km | SE | Roddas The Creamery, Wheal Rose, Scorrier, Redruth, Cornwall, TR16 5BU | Applicant name: Mr Steve Basford Application Status: Full application Application Date: 09/03/2023 Application Number: PA23/00424 | Installation of a 2.65 MWp Ground Mounted Solar Photovoltaic array on land adjacent to The Creamery |



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Review

| ID | Distance | Direction | Address | Details | |
|----|----------|-----------|--|---|--|
| 9 | 2-3 km | SE | Roddas Creamery, North Downs, Scorrier, Redruth, Cornwall, TR16 5BU | Applicant name: Rodda's Application Status: Awaiting decision Application Date: 25/03/2022 Application Number: PA22/00448/PREAPP | Pre-application advice for the construction of Ground Mounted Solar Array. |
| 10 | 2-3 km | NE | Gover Farm Mount Hawke Cornwall | Applicant name: Mr Sahil Kumar Application Status: Full application Application Date: 07/02/2015 Application Number: PA15/01196 | Installation of storage container to serve approved solar farm PA13/03890. |
| 12 | 2-3 km | NE | Gover Farm, Gover Hill, Mount Hawke, Cornwall | Applicant name: Mr Arthur Bell Application Status: First amendment to planning permission Application Date: 13/06/2014 Application Number: PA14/05675 | Construction of an 8Mw solar photovoltaic park complete will all necessary inverters, security fencing, switchgear and landscaping. (amendment to PA13/0390 dated 20.08.2013) - changes to technical details and layout, change to the orientation of the turning area for HGVs and change to the timing for completion of the Cornish Hedgerows and planting to the south of the site |
| 13 | 2-3 km | NE | Gover Farm, Gover Hill, Mount Hawke, Cornwall | Applicant name: Mr Arthur Bell Application Status: Full application Application Date: 03/05/2013 Application Number: PA13/03890 | Construction of an 8Mw solar photovoltaic park complete will all necessary inverters, security fencing, switchgear and landscaping. |
| 15 | 3-4 km | NE | Gover Farm, Gover Hill, Mount Hawke, Cornwall, TR4 8BQ | Applicant name: Mr Sahil Kumar Application Status: Second amendment to planning permission Application Date: 04/09/2014 Application Number: PA14/08543 | Non material amendment to include security cabinet/room to construction of an 8Mw solar photovoltaic park complete will all necessary inverters, security fencing, switchgear and landscaping (PA13/03890) |
| 18 | 3-4 km | NE | Land To The South Of Presingoll Farm, Penwinnick Road, St Agnes, Cornwall | Applicant name: - Application Status: Full application Application Date: 09/01/2015 Application Number: PA15/00185 | Construction of 250KW solar array |



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Review

| ID | Distance | Direction | Address | Details | |
|----|----------|-----------|--|---|--|
| 23 | 4-5 km | SE | Rosewarne, Whitehall, Scorrier, Redruth, Cornwall, TR16 5BB | Applicant name: Mr & Mrs Parkes Application Status: Full application Application Date: 16/12/2022 Application Number: PA22/10027 | Renovation of existing cottage and integration into replacement dwelling including detached garage, ground mounted solar array and change of use of land to accommodate extended garden, parking and turning areas |
| 25 | 4-5 km | S | Cornerside, Sandy Lane, Redruth, Cornwall, TR15 2DJ | Applicant name: Miss Bridget Dale Application Status: Full application Application Date: 23/06/2014 Application Number: PA14/05834 | Installation of solar photovoltaic panels in two arrays, each consisting of 20 panels - 40 panels total. Total installed capacity 10kw (40 panels). Change of use from grazing. |
| 29 | 4-5 km | NE | Chy Lowen Wheal, Butson Road, St. Agnes, Cornwall, TR5 OPP | Applicant name: Mr B Keast Application Status: Full application Application Date: 11/12/2013 Application Number: PA13/11308 | Erection of 16 ground mounted photovoltaic panels on agricultural land |
| 33 | 4-5 km | Ν | Land West Of The Croft, Trevaunance Road, St Agnes, Cornwall, TR5 ONB | Applicant name: Mr & Mrs Doble Application Status: Full application Application Date: 27/04/2023 Application Number: PA23/02690 | Siting of two solar arrays (98 panels) |

The data is sourced from public registers of planning information and is updated every two weeks.



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Review





No results for Phase 1 or Phase 2 of the HS2 project (including the 2016 amendments) have been identified within 5km of the property. However, HS2 routes are still under consultation and exact alignments may change in the future.

Visual assessments are only provided by Groundsure if the property is within 2km of Phase 1 and 2a. Other assessments may be available from HS2.



Crossrail

The property is not within 250 metres of either the Crossrail 1 or Crossrail 2 project.

- HS2 Route HS2 Safeguarding HS2 Stations HS2 Depots HS2 Noise HS2 Visual impact
- Not identified Not identified Not identified Not assessed Not assessed

| Crossrail 1 Route | Not i |
|--------------------------|-------|
| Crossrail 1 Stations | Not i |
| Crossrail 2 Route | Not i |
| Crossrail 2 Stations | Not i |
| Crossrail 2 Worksites | Not i |
| Crossrail 2 Safeguarding | Not i |
| Crossrail 2 Headhouse | Not i |
| | |

| Not identified |
|----------------|
| Not identified |
| |



Other Railways

The property is not within 250 metres of any active or former railways, subway lines, DLR lines, subway stations or railway stations.

| Active Railways and Tunnels | Not identified |
|-----------------------------|----------------|
| Historical Railways and | Not identified |
| Tunnels | |
| Railway and Tube Stations | Not identified |
| Underground | Not identified |

Jump to Skip to next section: Planning constraints >

You can find our methodology and list of limitations on page 49 >



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A Planning

Identified

Review

Summary

Protected areas have been identified within 250 metres of the property.

Please see **page 44** > for details of the identified issues.

Environmental Protected Areas Identified Visual and Cultural Protected Identified Areas

Next steps

Visual and cultural designations

The property lies within 250m of a visually or culturally protected site or area.

 seek further guidance from the local planning department on any likely restrictions if considering any property development

Jump to

<u>Planning constraints</u> >

You can find our methodology and list of limitations on page 49 >



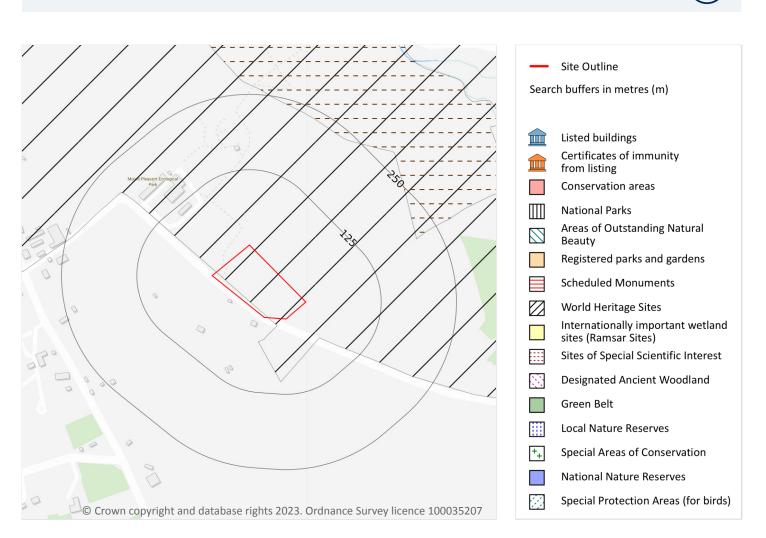
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Review

Planning constraints



Sites of Special Scientific Interest

Sites of Special Scientific Interest (SSSIs) are nature conservation sites chosen because they are significantly important natural habitats for animals or plants or significant geologically. They are designated under the Wildlife and Countryside Act 1981. This national network of sites are subject to strict regulations, protecting against any developments on them.

| Distance | Direction | SSSI Name | Data Source |
|----------|-----------|--------------------------|-----------------|
| 211 m | E | Godrevy Head to St Agnes | Natural England |

This data is sourced from Natural England/Natural Resources Wales/Scottish Natural Heritage. For more information see <u>https://www.gov.uk/guidance/protected-areas-sites-of-special-scientific-interest</u> 7



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Review

World Heritage Sites

World Heritage Sites are sites of 'outstanding universal value', in other words they are unique. There are currently 30 World Heritage Sites in the UK and overseas territories. The 1972 World Heritage Convention aims to protect the values of cultural or natural sites, which could deteriorate or, worse, disappear, often through lack of funding to preserve them. Any development that could potentially impact on these sites is likely to be restricted.

| Distance | Direction | World Heritage Site Name | Data Source |
|----------|-----------|--|------------------|
| 0 | on site | Cornwall and West Devon Mining Landscape | Historic England |

This data is sourced from Historic England/Cadw. For further information see <u>www.ukworldheritage.org.uk</u>



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Review

Datasets searched

This is a full list of the data searched in this report. If we have found results of note we will state "Identified". If no results of note are found, we will state "Not identified". Our intelligent filtering will hide "Not identified" sections to speed up your workflow.

| Contaminated Land | | | | |
|---|----------------|--|--|--|
| Former industrial land use (1:10,560 and 1:10,000 scale) | Identified | | | |
| Former tanks | Not identified | | | |
| Former energy features | Not identified | | | |
| Former petrol stations | Not identified | | | |
| Former garages | Not identified | | | |
| Former military land | Not identified | | | |
| Former landfill (from Local Authority and historical mapping records) | Not identified | | | |
| Waste site no longer in use | Not identified | | | |
| Active or recent landfill | Not identified | | | |
| Former landfill (from Environment Agency Records) | Not identified | | | |
| Active or recent licensed waste sites | Not identified | | | |
| Recent industrial land uses | Identified | | | |
| Current or recent petrol stations | Not identified | | | |
| Dangerous or explosive sites | Not identified | | | |
| Hazardous substance storage/usage | Not identified | | | |
| Sites designated as Contaminated Land | Not identified | | | |
| Historical licensed industrial activities | Not identified | | | |
| Current or recent licensed industrial activities | Not identified | | | |
| Local Authority licensed pollutant release | Not identified | | | |
| Pollutant release to surface waters | Not identified | | | |
| Pollutant release to public sewer | Not identified | | | |

| Contaminated Land | | | |
|---|--|--|--|
| Dangerous industrial substances (D.S.I. List 1) | Not identified | | |
| Dangerous industrial substances (D.S.I. List 2) | Not identified | | |
| Pollution incidents | Not identified | | |
| Superficial hydrogeology | | | |
| Aquifers within superficial geology | Not identified | | |
| Superficial geology | Not identified | | |
| Bedrock hydrogeology | | | |
| Aquifers within bedrock geology | Identified | | |
| Groundwater abstraction licences | Not identified | | |
| | | | |
| Bedrock geology | Identified | | |
| | | | |
| Bedrock geology Source Protection Zones and drinking | | | |
| Bedrock geology Source Protection Zones and drinking abstractions | g water | | |
| Bedrock geology Source Protection Zones and drinking abstractions Source Protection Zones Source Protection Zones in confined | g water Not identified | | |
| Bedrock geology Source Protection Zones and drinking abstractions Source Protection Zones Source Protection Zones in confined aquifer | g water Not identified Not identified | | |
| Bedrock geology Source Protection Zones and drinking abstractions Source Protection Zones Source Protection Zones in confined aquifer Drinking water abstraction licences | g water Not identified Not identified | | |
| Bedrock geology Source Protection Zones and drinking abstractions Source Protection Zones Source Protection Zones in confined aquifer Drinking water abstraction licences Hydrology | g water Not identified Not identified Not identified | | |

Risk of flooding from rivers and the sea

Not identified



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Review

| Flooding | | | |
|---|----------------|--|--|
| Flood storage areas: part of floodplain | Not identified | | |
| Historical flood areas | Not identified | | |
| Areas benefiting from flood defences | Not identified | | |
| Flood defences | Not identified | | |
| Proposed flood defences | Not identified | | |
| Surface water flood risk | Not identified | | |
| Groundwater flooding | Not identified | | |
| Climate change | | | |
| Flood risk (5 and 30 Years) | Identified | | |
| Natural ground instability (5 and 30 Years) | Identified | | |
| Natural ground subsidence | | | |
| Natural ground subsidence | Not identified | | |
| Natural geological cavities | Not identified | | |
| Non-natural ground subsidence | | | |
| Coal mining | Not identified | | |
| Non-coal mining | Identified | | |
| Mining cavities | Not identified | | |
| Infilled land | Not identified | | |
| Radon | | | |
| Radon | Identified | | |
| Coastal Erosion | | | |
| Complex cliffs | Not identified | | |
| Projections with intervention measures in place | Not identified | | |
| Projections with no active intervention | Not identified | | |

| Oil and gas | | |
|---|----------------|--|
| Oil or gas drilling well | Not identified | |
| Proposed oil or gas drilling well | Not identified | |
| Licensed blocks | Not identified | |
| Potential future exploration areas | Not identified | |
| Wind and solar | | |
| Wind farms | Identified | |
| Proposed wind farms | Identified | |
| Proposed wind turbines | Identified | |
| Existing and agreed solar installations | Identified | |
| Proposed solar installations | Identified | |
| Energy | | |
| Electricity transmission lines and pylons | Not identified | |
| National Grid energy infrastructure | Not identified | |
| Power stations | Not identified | |
| Nuclear installations | Not identified | |
| Large Energy Projects | Not identified | |
| Transportation | | |
| HS2 route: nearest centre point of track | Not identified | |
| HS2 route: nearest overground section | Not identified | |
| HS2 surface safeguarding | Not identified | |
| HS2 subsurface safeguarding | Not identified | |
| HS2 Homeowner Payment Zone | Not identified | |
| HS2 Extended Homeowner Protection Zone | Not identified | |
| HS2 stations | Not identified | |
| HS2 depots | Not identified | |
| HS2 noise and visual assessment | Not identified | |
| | | |



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| Transportation | | |
|-------------------------------------|----------------|--|
| Crossrail 1 route | Not identified | |
| Crossrail 1 stations | Not identified | |
| Crossrail 2 route | Not identified | |
| Crossrail 2 stations | Not identified | |
| Crossrail 2 worksites | Not identified | |
| Crossrail 2 headhouses | Not identified | |
| Crossrail 2 safeguarding area | Not identified | |
| Active railways | Not identified | |
| Railway tunnels | Not identified | |
| Active railway stations | Not identified | |
| Historical railway infrastructure | Not identified | |
| Abandoned railways | Not identified | |
| London Underground and DLR lines | Not identified | |
| London Underground and DLR stations | Not identified | |
| Underground | Not identified | |
| Underground stations | Not identified | |

Planning constraints

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Back to Summary

| Sites of Special Scientific Interest | Identified | |
|---|----------------|--|
| Internationally important wetland sites (Ramsar Sites) | Not identified | |
| Special Areas of Conservation | Not identified | |
| Special Protection Areas (for birds) | Not identified | |
| National Nature Reserves | Not identified | |
| Local Nature Reserves | Not identified | |
| Designated Ancient Woodland | Not identified | |
| Green Belt | Not identified | |
| World Heritage Sites | Identified | |
| Areas of Outstanding Natural Beauty | Not identified | |

Planning constraints

| National Parks | Not identified |
|---------------------------------------|----------------|
| Conservation Areas | Not identified |
| Listed Buildings | Not identified |
| Certificates of Immunity from Listing | Not identified |
| Scheduled Monuments | Not identified |
| Registered Parks and Gardens | Not identified |



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Review

Contaminated Land assessment methodology

Environmental risk framework

This report is designed to provide a basic environmental liability risk assessment for the purposes of transaction due diligence, financing arrangements and similar circumstances. The report comprises a basic risk assessment within the general principles of the contaminant-pathway-receptor pollutant linkage model and with due regard for relevant publications issued by the Department of Environment, Food and Rural Affairs (and predecessor government departments) the British Standards Institute and the European Union.

Explicit opinion is provided with regard to potential liability for the property to be identified as Contaminated Land in accordance with the meaning set out in Part 2A of the Environmental Protection Act 1990. Consideration and due regard is also made of associated legislation that may lead to related statutory or third party environmental liability, including but not limited to the Water Resources Act 1991,the Water Act 2014, the Contaminated Land Regulations 2006, Environmental Permitting Regulations 2010, the Environmental Damage (Prevention and Remediation) (England) (Amendment) Regulations 2015 in England and the Environmental Damage (Prevention and Remediation) (Wales) Regulations 2015 in Wales.

This report does not contain a detailed Conceptual Site Model as required in the National Planning Policy Framework, however, it may prove highly effective in determining whether such further assessment is appropriate.

The report is based upon the information contained in subsequent dataset sections. Some datasets have been generated by and are unique to Groundsure, whilst others are provided by recognised bodies including Environment Agency/Natural Resources Wales, British Geological Survey, Public Health England, Local Authorities, etc. Groundsure may also have been provided with further details regarding the site by the client and / or their advisers. In the absence of such, Groundsure has made a best estimation regarding current and proposed land use. This report and the risk assessment presented is based purely upon this information.

In undertaking this report Groundsure has not, unless explicitly stated to the contrary, undertaken a site inspection, site investigation, consulted directly with the Local Authority with specific regard to the subject property or reviewed existing environmental reports. Whilst every effort is made to consider likely environmental liabilities on the basis of the information assessed, certain issues may only be readily discernible from physical site inspection and / or investigation.

Contaminant source - Pathway - Receptor definitions

Contaminant sources include (but are not limited to):

- Historical on-site and historical off-site sources (works, factories, oil tanks, landfill sites)
- Current on-site and current off-site sources (petrol stations, industrial facilities)

Pathways comprise:

Any mechanisms facilitating 'receptor' exposure to contaminative 'sources'

Receptors include:

- Human health i.e. site users or occupiers, adjacent site users or occupiers
- Controlled Waters i.e. groundwater, surface water (rivers and streams etc)
- Habitats and biodiversity (in particular nature reserves or other designated sensitive habitats)
- Property, buildings and infrastructure

Environmental risk assessment definitions

A risk rating will be provided on the front page of the report depending on the level of environmental liability that there has been assessed to be at the site. The ratings are defined as follows:

Low: There are unlikely to be significant environmental liabilities associated with the property.

Low to Moderate: There are unlikely to be significant environmental liabilities associated with the property with regard to the proposed use. However, minor issues may require further consideration and assessment under certain circumstances e.g. redevelopment.

Moderate: Some potential environmental liabilities are likely to reside with the property as a result of historical and / or current use.



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Whilst unlikely to represent an immediate significant issue, if left unchecked this position may change with time. A prudent purchaser may wish to make further enquiries of the vendor / undertake limited further due diligence / seek environmental improvements. Redevelopment of the site will likely require further, more detailed assessment.

Moderate to High: Some potential significant environmental liability issues have been identified at the property requiring further assessment. Should further information be available it may be possible to re-assess the risk. In the absence of sufficient further information, further assessment might comprise consultation with the environmental regulators / review of existing environmental reports / commissioning new environmental reports / consideration of environmental insurance.

High: Significant potential environmental liabilities have been identified at the property. Further detailed environmental due diligence will likely be required and may include review of existing environmental reports / commissioning new environmental reports including site investigations / consideration of environmental insurance / transaction restructuring.

Is there a risk of statutory (e.g. Part 2A EPA 1990) or third party action being taken against the site?

This response considers the risk of legal liability arising through ownership or occupation and use of the property through statutory or other third party claims.

Does the property represent Acceptable Banking Security from an environmental risk perspective?

Consideration is given to the suitability of the property as robust financial security for the purposes of secured lending facilities. An assumption is made here that the subject property is being considered in isolation and that normal commercial lending loan to value ratios are being considered.

Groundsure may in certain circumstances be able to make a specific lender liability assessment based on a full view of financial arrangements and hence the commercial context of the environmental risks.

Is there a risk that the property value may be impacted due to environmental liability issues?

This response sets out to advise whether environmental liabilities are likely to materially impact upon a standard Royal Institution of Chartered Surveyors valuation of the property necessitating further assessment.

Environmental Damage (Prevention and Remediation) Regulations 2015

The Environmental Damage (Prevention and Remediation) (England) (Amendment) Regulations 2015, the Environmental Damage (Prevention and Remediation) (Amendment) (Wales) Regulations 2015 and the Environmental Liability (Scotland) Amendment Regulations 2015 came into force on 19th July 2015, and amend the Environmental Damage (Prevention and Remediation) Regulations 2009, which came into force in England on 1st March 2009, in Wales on 6th May 2009 and in Scotland on 24th June 2009. These regulations implement the European Directive on Environmental Liability (2004/35/EC) and are aimed at ensuring responsible parties prevent and remedy environmental damage to the following receptors:

- Sites of Special Scientific Interest (SSSIs), other protected habitats and protected species
- Surface waters
- Groundwater
- Land, if contamination of the land results in significant risk of adverse effects on human health

The regulations are based on the 'polluter pays' principle and ensures that those responsible for causing environmental damage are those responsible for paying to prevent and remedy such damage. 'Environmental Damage' has a specific meaning within the Regulations, and covers only the most serious cases. For damage to SSSIs, EU protected species and habitats and damage to water, primary remediation, complementary remediation and compensatory remediation may be required by the enforcing authorities (Environment Agency/Natural Resources Wales, Scottish Environment Protection Agency (SEPA), Local Authorities, the Marine Fisheries Agency, Marine Scotland, Welsh Ministers and Natural England/Natural Resources Wales/Scottish Natural Heritage).

The regulations apply on land in England, Wales and Scotland, 1 nautical mile seaward from the baseline (in relation to water damage), on the seabed around the UK up to the limits set out in the Continental Shelf Act 1964, and to waters in the Renewable Energy Zone, which extends approximately 200 miles out to sea (in relation to protected species and natural habitats). These regulations are designed to work in tandem with Part 2A of the Environmental Protection Act, and only apply to environmental damage caused after the Regulations came into force. Groundsure's assessment of the site is not an assessment of the potential for Environmental Damage to occur at the site, but is an assessment of the sensitivity of the site in relation to relevant receptors.



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Review

Flood information

The Flood Risk Assessment section is based on datasets covering a variety of different flooding types. No inspection of the property or of the surrounding area has been undertaken by Groundsure or the data providers. The modelling of flood hazards is extremely complex and in creating a national dataset certain assumptions have been made and all such datasets will have limitations. These datasets should be used to give an indication of relative flood risk rather than a definitive answer. Local actions and minor variations, such as blocked drains or streams etc. can greatly alter the effect of flooding. A low or negligible modelled flood risk does not guarantee that flooding will not occur. Nor will a high risk mean that flooding definitely will occur. Groundsure's overall flood risk assessment takes account of the cumulative risk of river and coastal data, historic flood events and areas benefiting from flood defences provided by the Environment Agency/Natural Resources Wales (in England and Wales) and surface water (pluvial) and groundwater flooding provided by Ambiental Risk Analytics. In Scotland the river and coastal flood models are also provided by Ambiental Risk Analytics.

Risk of flooding from rivers and the sea

This is an assessment of flood risk for England and Wales produced using local data and expertise, provided by the Environment Agency (RoFRaS model) and Natural Resources Wales (FRAW model). It shows the chance of flooding from rivers or the sea presented in categories taking account of flood defences and the condition those defences are in. The model uses local water level and flood defence data to model flood risk.

The categories associated with the Environment Agency and Natural Resources Wales models are as follows:

RoFRaS (rivers and sea) and FRAW (rivers):

Very Low - The chance of flooding from rivers or the sea is considered to be less than 1 in 1000 (0.1%) in any given year.

Low - The chance of flooding from rivers or the sea is considered to be less than 1 in 100 (1%) but greater than or equal to 1 in 1000 (0.1%) in any given year.

Medium - The chance of flooding from rivers or the sea is considered to be less than 1 in 30 (3.3%) but greater than 1 in 100 (1%) in any given year.

High - The chance of flooding from rivers or the sea is considered to be greater than or equal to 1 in 30 (3.3%) in any given year.

FRAW (sea):

Very Low - The chance of flooding from the sea is considered to be less than 1 in 1000 (0.1%) in any given year.

Low - The chance of flooding from the sea is considered to be less than 1 in 200 (0.5%) but greater than or equal to 1 in 1000 (0.1%) in any given year.

Medium - The chance of flooding from the sea is considered to be less than 1 in 30 (3.3%) but greater than 1 in 200 (0.5%) in any given year.

High - The chance of flooding from the sea is considered to be greater than or equal to 1 in 30 (3.3%) in any given year.

Historic flood events

Over 86,000 events are recorded within this database. This data is used to understand where flooding has occurred in the past and provides details as available. Absence of a historic flood event for an area does not mean that the area has never flooded, but only that Environment Agency/Natural Resources Wales do not currently have records of flooding within the area. Equally, a record of a flood footprint in previous years does not mean that an area will flood again, and this information does not take account of flood management schemes and improved flood defences.

Surface water flooding

Ambiental Risk Analytics surface water flood map identifies areas likely to flood following extreme rainfall events, i.e. land naturally vulnerable to surface water or "pluvial" flooding. This data set was produced by simulating 1 in 30 year, 1 in 100 year, 1 in 250 year and 1 in 1000 year rainfall events. The flood risks for these rainfall events are reported where the depth would be greater than the threshold for a standard property to modern building standards. Modern urban drainage systems are typically built to cope with rainfall events between 1 in 20 and 1 in 30 years, though older ones may even flood in a 1 in 5 year rainstorm event.



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Review

Proposed flood defences

The data includes all Environment Agency/Natural Resources Wales's projects over £100K that will change or sustain the standards of flood defence in England and Wales over the next 5 years. It also includes the equivalent schemes for all Local Authority and Internal Drainage Boards.

Flood storage areas

Flood Storage Areas may also act as flood defences. A flood storage area may also be referred to as a balancing reservoir, storage basin or balancing pond. Its purpose is to attenuate an incoming flood peak to a flow level that can be accepted by the downstream channel. It may also delay the timing of a flood peak so that its volume is discharged over a longer time interval. These areas are also referred to as Zone 3b or 'the functional floodplain' and has a 5% or greater chance of flooding in any given year, or is designed to flood in the event of an extreme (0.1%) flood or another probability which may be agreed between the Local Planning Authority and Environment Agency/Natural Resources Wales, including water conveyance routes. Development within Flood Storage Areas is severely restricted.

Groundwater flooding

Groundwater flooding is flooding caused by unusually high groundwater levels. It occurs as excess water emerging at the ground surface or within underground structures such as basements. Groundwater flooding tends to be more persistent than surface water flooding, in some cases lasting for weeks or months, and it can result in significant damage to property. This risk assessment is based on a 5m Digital Terrain Model (DTM) and 1 in 100 year and 1 in 250 year return periods.

Conservation Area data limitations

Please note the Conservation Area data is provided by Historic England and individual Local Authorities. Due to different methodologies used by different Local Authorities the data may be incomplete. We recommend reviewing your local search for confirmation.

Underground data limitations

This database was created by Groundsure using publicly available open data and data from OpenStreetMap. The data is not provided by or endorsed by Transport for London (TfL) and minor differences between TfL's official data and Groundsure's data may occur in relation to the London Underground. Please note that the London Underground, Merseyrail, and Tyne and Wear Metro operate both underground and above ground.

Subsidence data limitations

The natural ground subsidence assessment is based on the British Geological Survey's GeoSure data. GeoSure is a natural ground stability hazard susceptibility dataset, based on the characteristics of the underlying geology, rather than an assessment of risk. A hazard is defined as a potentially damaging event or phenomenon, where as a risk is defined as the likelihood of the hazard impacting people, property or capital. The GeoSure dataset consists of six data layers for each type of natural ground subsidence hazard. These are shrink-swell clay, landslide, compressible ground, collapsible ground, dissolution of soluble rock and running sand. Each hazard is then provided with a rating on is potential to cause natural ground subsidence. This rating goes from A-E, with A being the lowest hazard, E being the highest. Groundsure represent full GeoSure data as either Negligible (ratings of A), Very Low (ratings of B), Low (C), Moderate (D) or High (E). Where GeoSure Basic is instead used, ratings are displayed as Negligible-Very Low (A or B ratings), Low (C) or Moderate-High (D or E). The GeoSure data only takes into account the geological characteristics at a site. It does not take into account any additional factors such as the characteristics of buildings, local vegetation including trees or seasonal changes in the soil moisture content which can be related to local factors such as rainfall and local drainage. These factors should be considered as part of a structural survey of the property carried out by a competent structural surveyor. For more information on the "typical safe distance" trees should be from a property please see this guide:

www.abi.org.uk/globalassets/sitecore/files/documents/publications/public/migrated/home/protecting-your-home-from-subsidencedamage.pdf 7



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Review

ClimateIndex™ data and limitations

Groundsure's ClimateIndex[™] is an assessment of the physical risk to the property from hazards which may be exacerbated by climate change. It considers the following hazards only:

- River flooding
- Flooding from the sea and tidal waters
- Surface water flooding
- Shrink swell subsidence
- Coastal erosion

These hazards are assessed using a weighted sum model, which allows for the consistent comparison of hazards between different time periods, emissions scenarios and the relative severity of predicted impacts. All flood and subsidence impacts have been produced using the latest UKCP18 climate prediction models. Assessments are provided for the short term (c.5 years) and medium term (c.30 years) only. A range of <u>Representative Concentration Pathways (RCPs)</u> A have been used depending on the source dataset and its derivation. For example, flood data has been provided for RCP2.6, 4.5 and 8.5, whereas subsidence data has been derived using local projections only available for RCP8.5. Each RCP variance has been assigned an appropriate weighting in the calculator to reflect the relative likelihood of that scenario and where a full range of RCP scenarios is not available Groundsure have extrapolated to give equivalent values.

The banding applied to a property reflects its current and future risk from the hazards identified above. If a property's banding does not change from the present day to the medium term, the property's risk profile is not considered likely to be affected by climate change, though risks may still be present. Any increase in the banding of a property indicates that the property has the potential to be affected by climate change.

| Band | Description | Short term (c.5 year) | Medium term (c.30 year) |
|------|---|--------------------------|----------------------------|
| А | No risks of concern predicted | 76% | 75% |
| В | Minor risks e.g. low level surface water flooding | 15% | 15% |
| С | Minor to moderate risks e.g. river flood event above property threshold | 4% | 4% |
| D | Moderate risks e.g. above threshold flood events and significant increase in subsidence potential | 2% | 2% |
| E | Significant risks e.g. multiple flood risks above property threshold | 2% | 2% |
| F | Severe risks to property e.g. coastal erosion risk | 1% | 2% |

Approximate percentage of properties falling into each band. The figures have been calculated based on an assessment of residential properties only.



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Review

Conveyancing Information Executive and our terms & conditions

IMPORTANT CONSUMER PROTECTION INFORMATION

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- Compliance with the Conveyancing Information Executive Standards will be a condition within the Conveyancing Information Executive Member's Terms and Conditions.
- Conveyancing Information Executive Members will promote the benefits of and deliver the Search to the agreed standards and in the best interests of the customer and associated parties.

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If you have a query or complaint about your search, you should raise it directly with the search firm, and if appropriate ask for any complaint to be considered under their formal internal complaints procedure.

If you remain dissatisfied with the firm's final response, after your complaint has been formally considered, or if the firm has exceeded the response timescales, you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). The Ombudsman can award up to £5,000 to you if the Ombudsman finds that you have suffered actual financial loss and/or aggravation, distress or inconvenience as a result of your search provider failing to keep to the Standards.

Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPOs.

COMPLAINTS PROCEDURE: If you want to make a complaint, we will:

- acknowledge it within 5 working days of receipt
- normally deal with it fully and provide a final response, in writing, within 20 working days of receipt
- liaise, at your request, with anyone acting formally on your behalf

Complaints should be sent to:

Operations Director, Groundsure Ltd, Nile House, Nile Street, Brighton, BN1 1HW. Tel: 01273 257 755. Email: <u>info@groundsure.com</u> If you are not satisfied with our final response, or if we exceed the response timescales, you may refer the complaint to The Property Ombudsman scheme (TPOs): Tel: 01722 333306, E-mail: <u>admin@tpos.co.uk</u> I We will co-operate fully with the Ombudsman during an investigation and comply with their final decision.

Groundsure's Terms and Conditions can be viewed online at this link: <u>www.groundsure.com/terms-and-conditions-april-2023/</u>

Important consumer protection information

All of the advice and reports that Groundsure produces are covered by a comprehensive Remediation Contribution policy to ensure customers are protected, see <u>www.groundsure.com/remediation</u> 7 for full details.

Data providers

Groundsure works with respected data providers to bring you the most relevant and accurate information in your Review report. To find out who they are and their areas of expertise see <u>www.groundsure.com/sources-reference</u> \nearrow .



Contact us with any questions at: info@groundsure.com ↗ 01273 257 755