

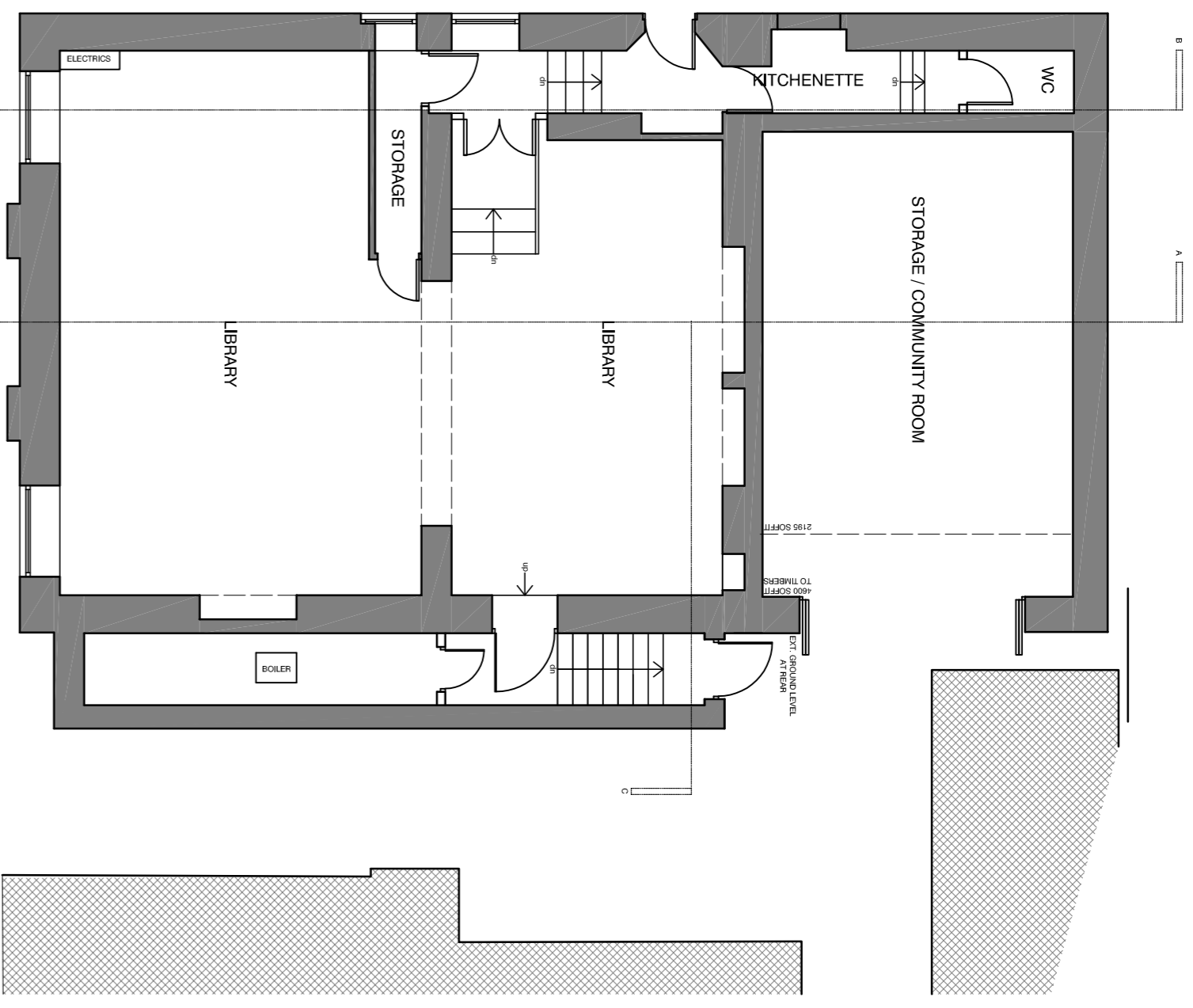
All construction to be carried out in accordance with manufacturers and suppliers recommendations and to comply with current Building Regulations and British Standards. Any queries with details or discrepancies to be checked with Architect. Any proposed changes to specification to be approved by Architect or Building Control.

Any change to insulation to still achieve minimum u value stated; thermal conductivity of any replacement to be equal to or better than specified insulation. Refer also to Structural Engineer information for all structural work. All dimensions on site to be checked prior to manufacture. Studwork/ rafters on drawings shown indicatively - contractor to set out.

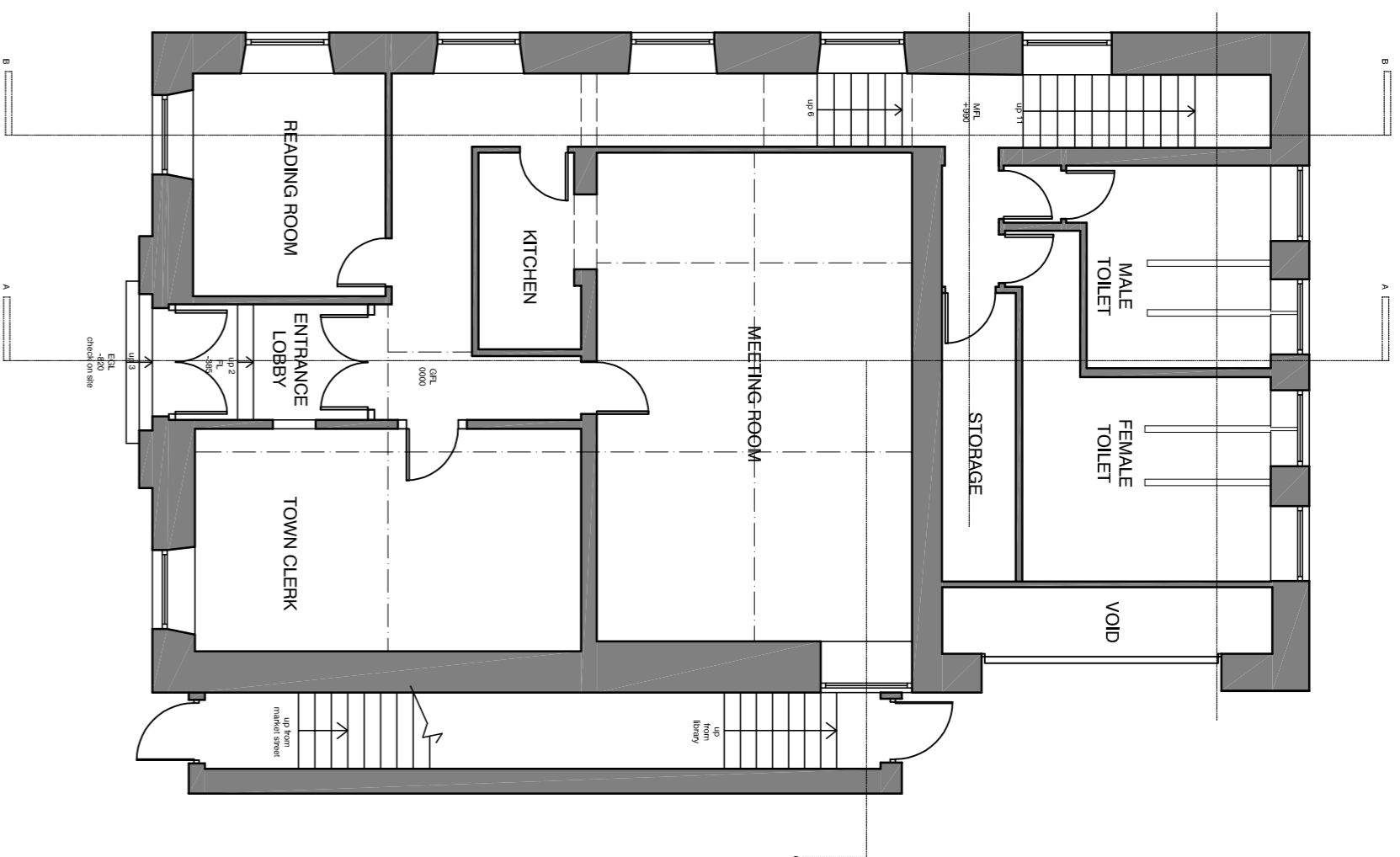
Client and contractor to be aware of their responsibilities under CDM (2015) Regulations. All works to be carried out by those with the necessary skill, experience and knowledge. Main contractor to be responsible as Principal Contractor and Principal Designer during works on site unless agreed otherwise.

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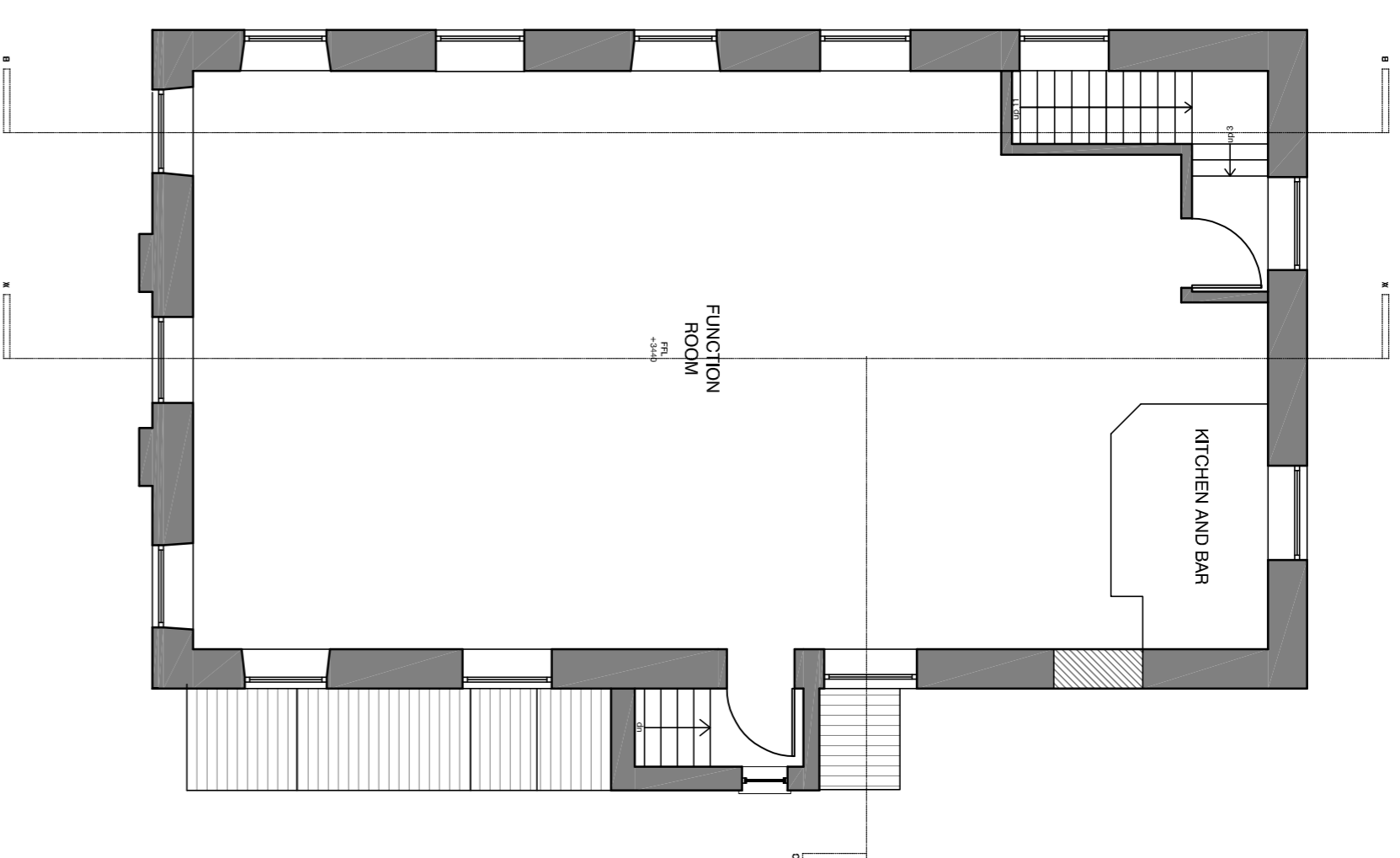
REFER TO DRAWINGS 1866.BR01 PLANS AND NOTES, 1866.BR02 PLAN AND SECTIONS, 1866.BR03 SECTIONS, 1866.BR04 EXISTING, 1866.BR05 COMMUNITY ROOM, 1866.BR06 MEETING ROOM, 1866.BR07 UPPER FLOOR W.C.S., 1866.BR08 FIRST FLOOR LANDING AND KITCHEN, 1866.BR09 DOOR SCHEDULE, 1866.BR10 GLAZED ENTRANCE SCREEN, REFER ALSO TO DESCRIPTION OF WORKS DOCUMENT.



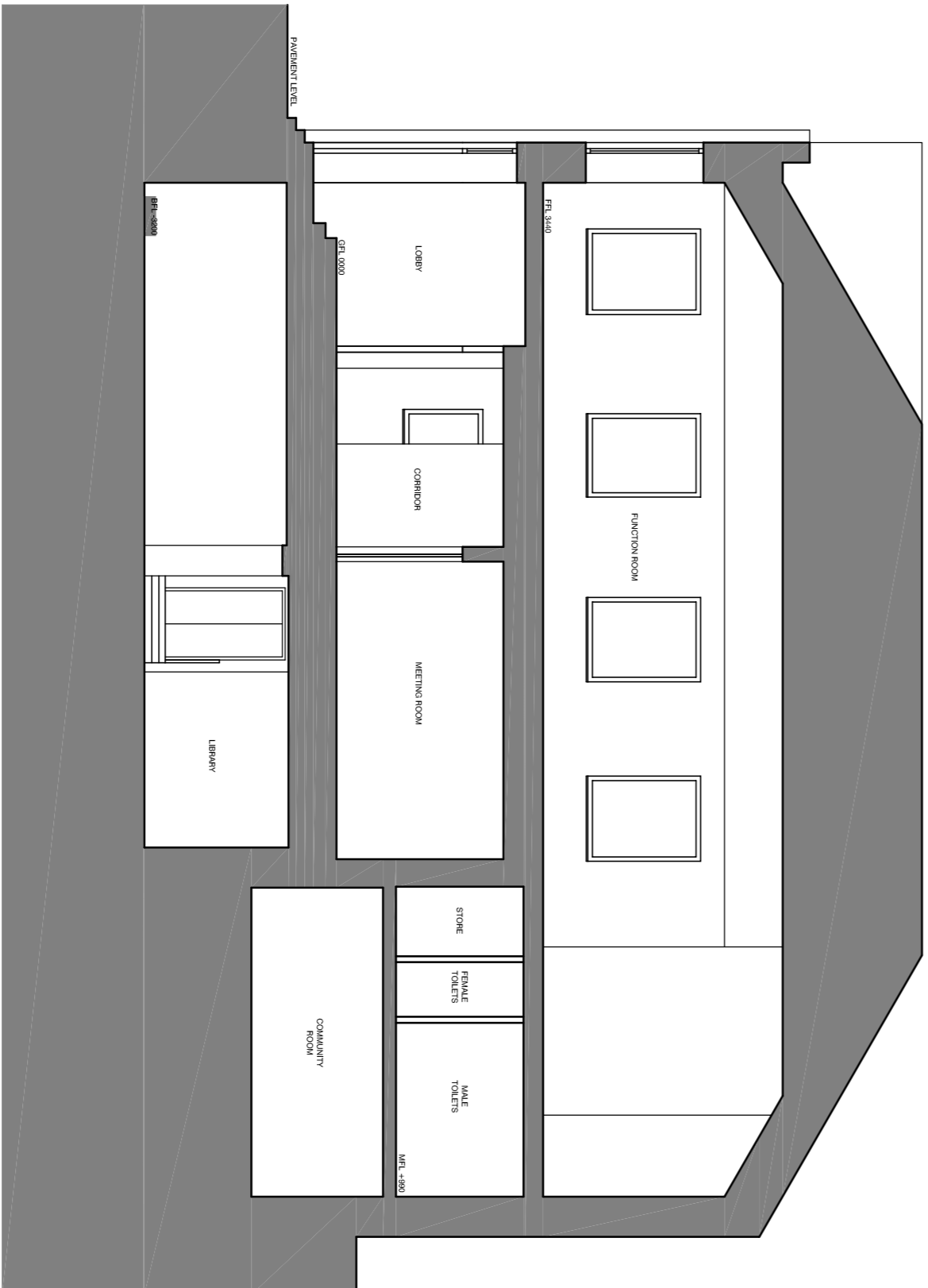
Basement Plan



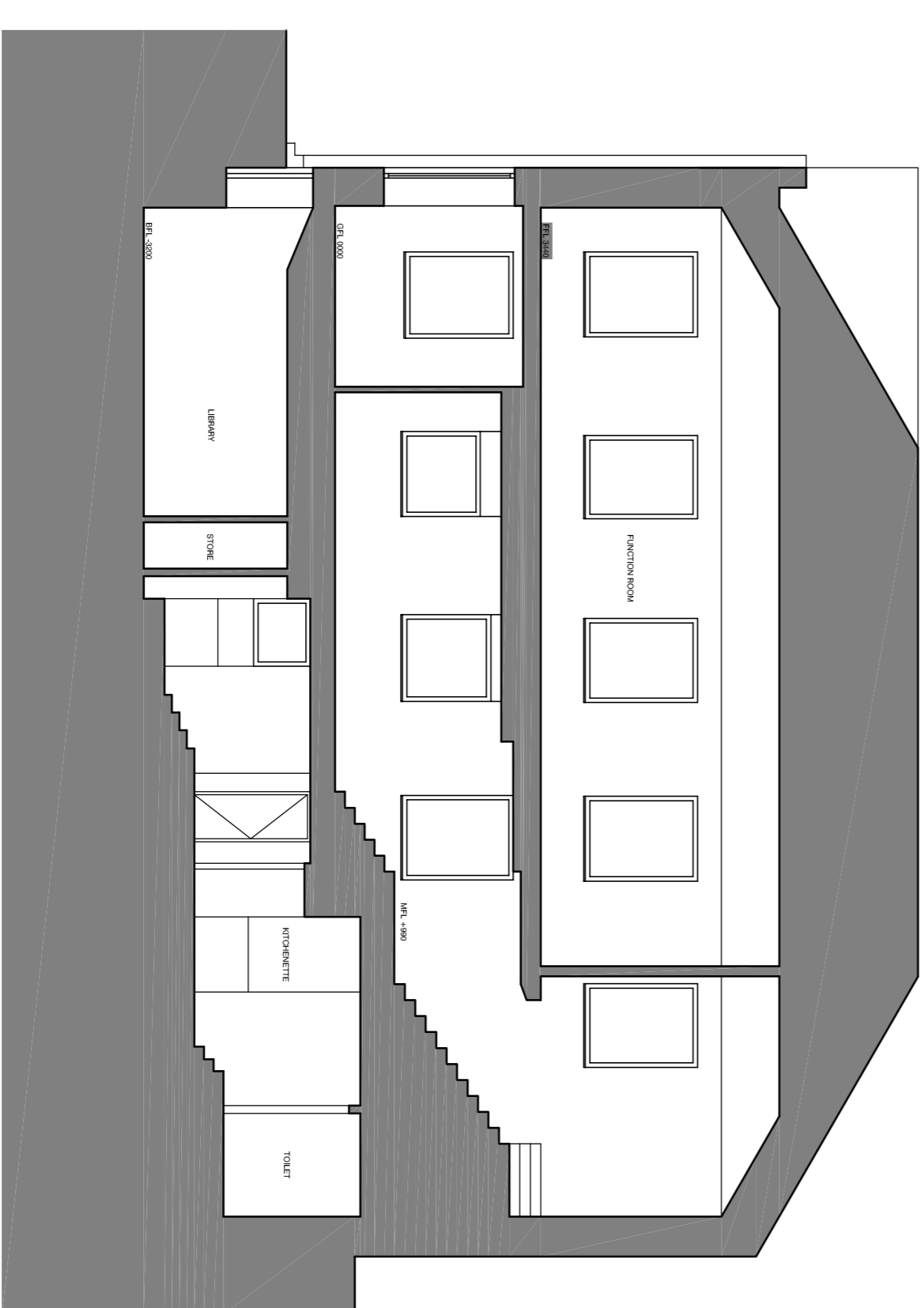
Ground Floor Plan



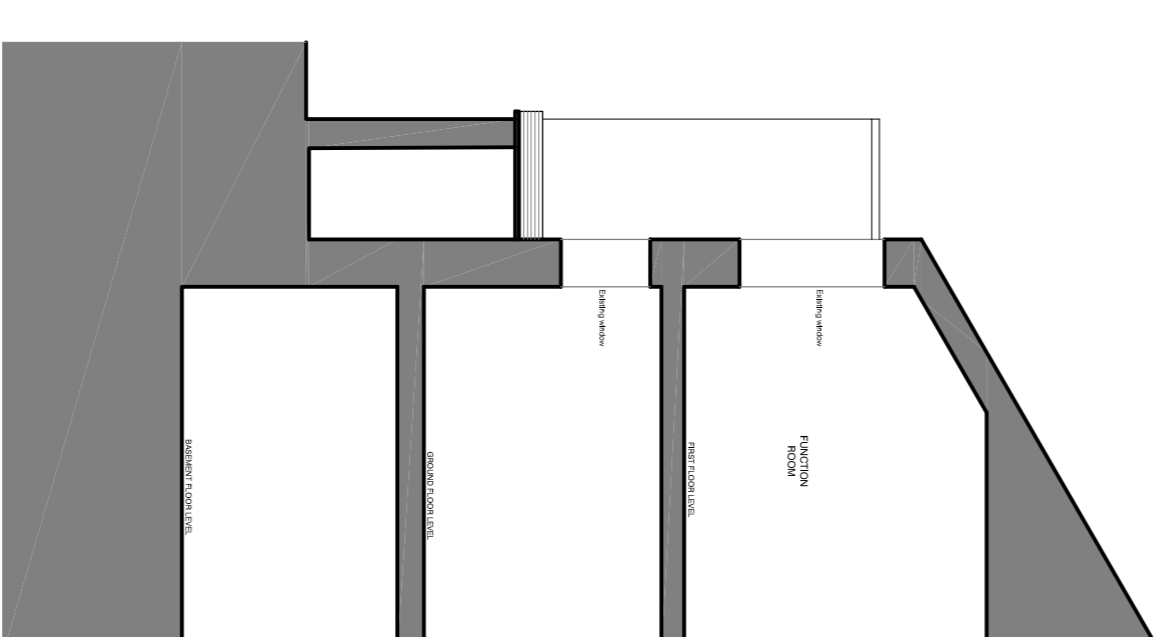
First Floor Plan



Section AA

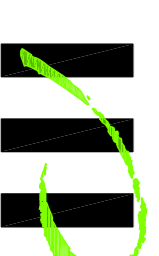


Section BB



Section CC

Rev A 5 September 2024 ISSUED FOR TENDER



HIGH PEAK ARCHITECTS LTD
2nd Floor, Wharf House, Wharf Road, Whaley Bridge, High Peak, Derby S23 7JD
Tel: 01883 719717 Website: highpeakarch.com Email: info@highpeakarch.com

Remodel and lift access
Mechanics Institute, Whaley Bridge

Existing
1866.BR04

Scale: 1:100 @ A1

Date: March 2019

DO NOT SCALE OFF THIS DRAWING

Rev: A