



Joint Contract Specification for the Redevelopment of Tennis Courts in Long Sutton and West Coker, Somerset

V4 24/4/23

1. Introduction

The Parish Councils of Long Sutton and West Coker are undertaking linked projects to restore and update existing tennis facilities in their respective villages. One contract will be let, with two lots. Both Parish Councils are in a position to proceed. The specifications/statements of work given here are based on surveys undertaken by Sport Facility Planning and Design LTD commissioned by the Lawn Tennis Association..

Long Sutton's tennis court is located next to its Village Hall and Recreation Ground off Martock Road (TA10 9NT) and has a two-court block first laid circa 1990. The resurfacing and refurbishment of the court is part of a much larger community & sport infrastructure project being undertaken by the parish that also include the refurbishment of the children's play area and the extension and refurbishment of the sports pavilion.

West Coker has two tennis courts located together at the Recreation Ground for Children, Halves Lane, West Coker, BA22 9BS. See Fig WC1. They were created some 25 years ago, the tarmac surface is now poor and there are some drainage issues. Having recently completed replacement of three old buildings on the site by the Queen Elizabeth II Jubilee Pavilion, the Parish Council now wishes to bring facilities for tennis back to good standard and to extend one court for a viewing/coaching margin.

Note: It is possible that a Milborne Port Parish Council will join this project in order to upgrade their facilities, but bidders should respond only for the two locations for now.

2. General Contract Conditions

The Parish Councils will let one contract with two lots. Each lot will have its own costings and schedule.

All communications to be via the parish clerks:

Long Sutton:	Ms Lisa Newby,	clerk@longsutton-pc.gov.uk	07561 695671
West Coker:	Ms Kate Fullerton.	westcokerpc@hotmail.co.uk.	07712 398985

Bidders are recommended to view the site and ask questions before submitting offers.

The work done must meet standards for tennis courts laid out by the Lawn Tennis Association and the Sport and Play Construction Association (SAPCA). The selected contractor must be one or both of the following:

- a member of the Sport and Play Construction Association,
 - a local company with demonstrable experience of refurbishing tennis facilities to a high standard.
- Selection will be undertaken jointly by the Parish Councils, and will consider price, schedule, and track record.

Bidders must submit costed schedules for the two projects.

3. Long Sutton Tennis Court detail

3.1 Site

The tennis courts at Long Sutton are on the north easterly edge of the village hall (TA10 9NT) and to the south of the main playing field and pavilion.



There are 2 pedestrian access points onto the courts, but should the need arise, vehicular access to carry out any work, could be arranged.

Welfare facilities will be provided in the sports pavilion on the north westerly corner of the courts, or in the village hall depending on users.

3.2 The Courts

The two-court block was laid in circa 1990 with little surface maintenance carried out since then. Moss removal has been managed and some remedial work has been done to the fencing to make it servicing for some time to come. (see photos). A CIA access No1 lite gate is required

The courts are 36.60m long x 33.85m wide in one expanse of surface with 4 holes to take the net ends on both courts – this should be retained.

There is some root protrusion on the northern end of the courts, but the troublesome trees have now been removed, so rectifying the problem is more straightforward.



3.3 Drainage

Drainage is not a problem from the courts provided the present camber is maintained. Water run-off is to the south elevation onto bare land and scrub.

3.4 Surface

The survey undertaken by Sport Facility Planning and Design LTD reports reports 'high fretting and pitting' with some 'tree root ingress heave and settlement to the northern half of the courts'.

The new surface is to be 25mm porous asphalt with no requirement for a porous binder.

The kerbs are in a reusable condition, although some may require replacing.

3.5 Marking and nets

The two tennis courts will be marked out in accordance with the LTA standard court measurements for singles and doubles.

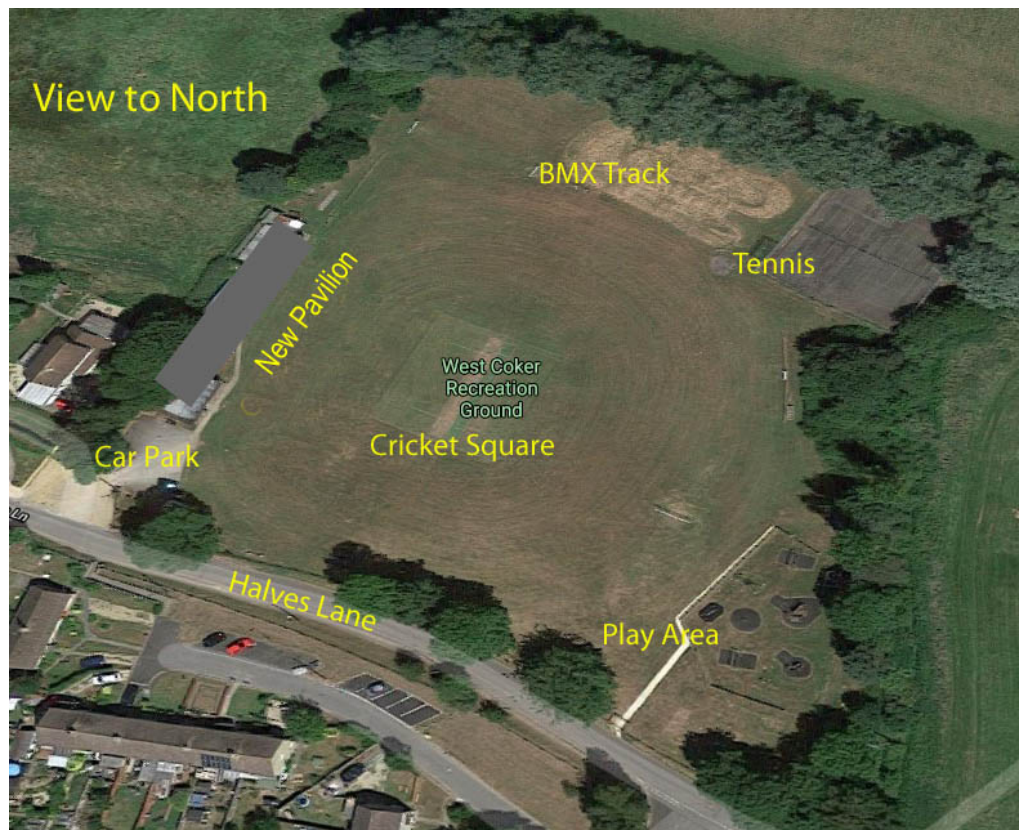
As noted above, the court will require the net end holders to be retained.

4. West Coker Tennis Court detail



4.1 Site:

The tennis courts are located in the NE corner of the Recreation Ground. Access is around the grass field/cricket pitch from a vehicle gate at the SW corner, adjacent to the new Jubilee Pavilion (which has 'welfare facilities').



4.2 Existing Courts

The two-court block is on a tarmac area 35m x 31m. The tarmac of the eastern court has been scraped and is playable in dry weather. The western court is not used at present. The courts are surrounded by a galvanised mesh fence 2.75m high with a gate on the south side. The fencing is in fair condition, but two of its steel posts are damaged.

4.3 Drainage

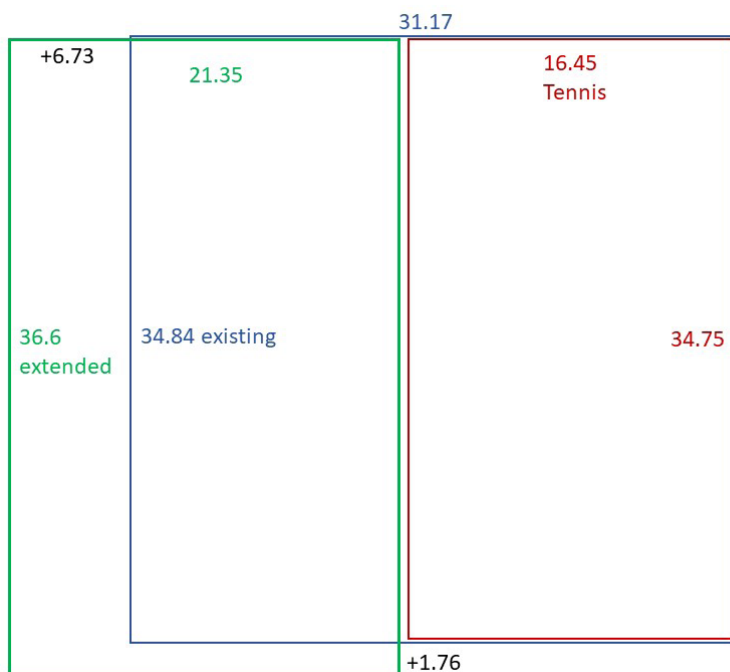
The River Od flows eastwards some 5m north of the courts in an ancient leat. The tennis courts drain south to lower ground which is the original river course. There is a drain under that course which flows east to lower ground beyond the Recreation Ground's eastern boundary. Drainage of the play areas depends on water reaching this drain. There was flooding some years ago, but none since rectification of drain provisions at the site's eastern boundary. The contractor must review the impact of this on the tennis court.

4.4 Surface

The LTA survey reports 'high fretting and pitting' with some 'tree root ingress heave and settlement to the northern half of the courts'. They identified three areas – 9.5m x 5.5m, 5.5m x 5.5m and 9m x 3m. The surface is to be 25mm porous asphalt.

4.5 Area Extension

There is a desire to extend the area for coaching and viewing by approximately 7m to the west, and 2m to the south of the western court. The extensions will require appropriate foundations. We wish to know the additional cost that the extension will incur in order to make an informed decision on whether to proceed.



4.6 Marking and nets

The two tennis courts will be marked out in accordance with the LTA standard court measurements for singles and doubles.

The east court net will be refurbished as required (contractor to advise). The west court will require a net with removable posts.

4.7 Fencing

New fencing and posts will be required around the extended areas. Contractor to evaluate and propose solutions – complete replacement or join new sections onto existing fencing. A CIA access No1 lite gate is required on the south side.

4.8 Adjacent BMX track

To the west of the tennis courts is a well-used BMX track. The westward court extension will require some relandscaping and surface rework to re-route the track. This rework to be included and costed.