

Tender Queries

City College Plymouth

T-Level Improvements

Queries 88/ 88E from Contractors.



Kendall Kingscott

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88 – Drawing Queries

Drawing AL (2) 01B - Existing ground floor

Ref	Description	KKL Comment
A	Query - do red lines show demolition items - Not On Key ?	Red dotted lines are demolition lines
B	NB - Spec refers to Demolition Drawing AL (0) 03 - Not issued ? Query demo on 01b in red ink ?	See demolition drawing 210387 AL(0)03 & AL(0)04 in appendix A; previously not included.
C	Drawing shows in Workshop 1 the partitions to be removed assumed - BUT Drawing 05C says provide opening in query existing partition as does Works Schedule 3.07.2	Partition wall between workshop 1 and workshop 2 is to be retained with a new opening provided as per Works Schedule 3.07.2
D	Note - partition drawing does not identify partition types as No Colours in Key ?? query each type spec against BQ scope schedule	Printing Error, please see revised drawings 210387 AL(2)03I attached in Appendix A

Google Elevations check existing

Ref	Description	KKL Comment
E	Query - removing bike stores for painting behind - possible ?	Include for temporary removal of bike stores to paint wall behind.
F	Query 2 no ex rainwater down pipes (front / rear elevations ?) fixing detail to proposed cladding on column detail	Cladding detail to follow. Please note this is a CDP item.
G	Query ex wall signage fixing to cladding - details see google	Client to remove and store prior to works and re-fit signage once works have been completed.
H	Query ex wall flues through high level windows, cameras, lighting, alarms, sensors fixing to cladding - details see google	Openings to first floor flues will need to be retained. Please allow for provisional sum A54.305R in Appendix B. Client to remove, store and re-fit cameras, lighting, alarms, and sensors once works have been complete

External Windows and Doors

Drawing AL (2) 17B

Ref	Description	KKL Comment
I	Drawing shows 2 no ground floor windows replaced (Item 2 ?) but query all new windows T B A (Ground and 1st ?)	Yes, all windows please. Please see revied drawing for clarity.
J	Drawing does not show 1st Floor window infilled (adjacent stair door ?)(query not in scope doc ?) - NB - query door 1st floor marked in red on drawing 02B?	Please see revied drawing for clarity showing infilled window. FF door is to be removed and replaced as per Works Section 4.05.1
K	Note - 2 no windows Ground Floor behind bottle store screen removed / infilled (query not in scope doc ?)	Allow for windows to be removed and infilled. Existing openings to be used for mechanical ducting openings. Please see elevation AL(2)17D in Appendix A
L	Note - Drawing Al (2) 01B shows all windows and doors on Ground floor being removed query ?	Yes, and to be replaced

External Windows and Doors

Drawing AL(2) 16B

Ref	Description	KKL Comment
A	The 3 windows adjacent the Electrical Workshop KW038A are not shown for replacement - see Drawing AL (2) 01B)	Price as shown for tender purposes.
B	Query - high level windows to 2 bays replaced (Item 2 ?) - the 3 other bays are overclad	Correct
C	Note Drawing AL (2) 01B does not show the roller door / access door opening for demolition	Please see drawing 210387 AL(0)03 in Appendix A

External Windows and Doors

Drawing AL(2) 18B

Ref	Description	KKL Comment
D	Query - No window shown in 2nd bay from left adj LH Column - see plan - query - overclad	Window to be remove
E	High level windows to all 5 bays overclad - detail ?	The detail at the head of the window is subject to further on site investigations to ascertain the correct fixing detail into the existing concrete encased steel frame. Detail to follow.

Work schedule

Ref	Description	KKL Comment
F	See partition type Key Colour code comment above and spec types (Note printing colour error) - query partition 1st floor	Note as above - Printing Error, please see revised drawing AL(2)03I attached in Appendix A.
G	ADD Sink Units type1A in Workshops 4 and 3, and cupboard in Workshop 3 - Query as Howdens scope for Clause 9.01 Common Room Tea Point ??	Common room tea point to Works Section 9.01. Tool storage cupboard in workshop 3 is client supplied. Allow same for tender purposes. Note workshop 4 and 3 items are a CDP item.
H	CoatHookspecN10/240A= Blinds-?	Contractor to submit proposals.
I	Existing Hatch to be infilled - Drawing 10B	See works section 5.08
J	Work shop 2 - query decorations make good new opening / window replacements	Include for making good to new openings and any window replacement.
K	Confirm External Bottle store size as Elevation ? Item 7	Confirm size as per drawing 210383 AL(2)17D as attached in Appendix A
L	Query 1st Floor door removal / infill to void to ex stair landing query being removed ? SV ? - Drawing 04B	Printing Error, please see revised drawing AL(2)04 to show new fire door attached in Appendix A.

88B – Drawing Queries

Mechanical to review

Ref	Description	KKL Comment
A	Query Google View - front Elev 2 no exhaust / flue penetrations in high level window areas & rear elev 1 no flue / vent ? - required ? - query widow area	Openings to be retained in new windows as above.
B	Re above item - drawing 4001 refers ex vent plant to be retained, ductwork modified and serviced ?	To be retained. It needs re-commissioning/
C	Gas Assessemnt room existing vents in windows (q 3 no ?) (google ?) - new windows proposed ? remove ? / replace	To be retained as above.
D	Google view - Existing External lights, cameras, trunking cables etc fixed externally - refixing / replacing / removing for cladding requirements (see previous question sheet ?)	For the client to remove store and replace.

Drawing M - 4000

Ref	Description	KKL Comment
E	Nuaire Air Handling unit remove ? Query in Gas assessment Room	To be retained - not part of works.
F	Query - exist extract fans / vents over new entrance doors in corridor existing - see google ?	To be retained - not part of works.

Drawing M - 4001

Ref	Description	KKL Comment
G	Workshop 1, 2, & 4 - inlet / extract vents (600 mm x 400 mm) assumed through high level window areas (cladding ?) void areas - equipment supported how from soffits ? - check site	See above and drawings for high level window locations in Appendix A and provisional sums in Appendix B. Allow for fixings as per email from EDP regarding equipment support in Appendix C.
H	Workshop 3 - inlet / extract vents through low level window areas in render walls - NB - will vents work at existing ceiling levels (Query Gas Assessment room above ?) - ceiling equipement supported how. ; any structural Engineers requirement for hole sizes if not window areas ?	See above and drawings in Appendix A and provisional sums in Appendix B

Query - Westcountry Machinery 4 Wood

Ref	Description	KKL Comment
I	any attendance / BWIC for hoses externally etc -TBA	Attendance by incumbent fire and security specialist. Retain 2,500. Note, if Contractor is to use the incumbent, they don't need to include.

M & E Spec

Ref	Description	KKL Comment
A	Electrical EDP4 001 Attendance by Incumbent Fire & Security Specialist (if not used for Install 2,500 Work) Check prov Sum schedules - see 14.13 A54.3050 Description of work: General sum for unforeseen M&E works. + £ 5,000 ??	See revised provisional sums in Appendix B
B	Mechanical Page EDP4 1. Building Control/Fire Officer additional requirements 500.00	See revised provisional sums in Appendix B

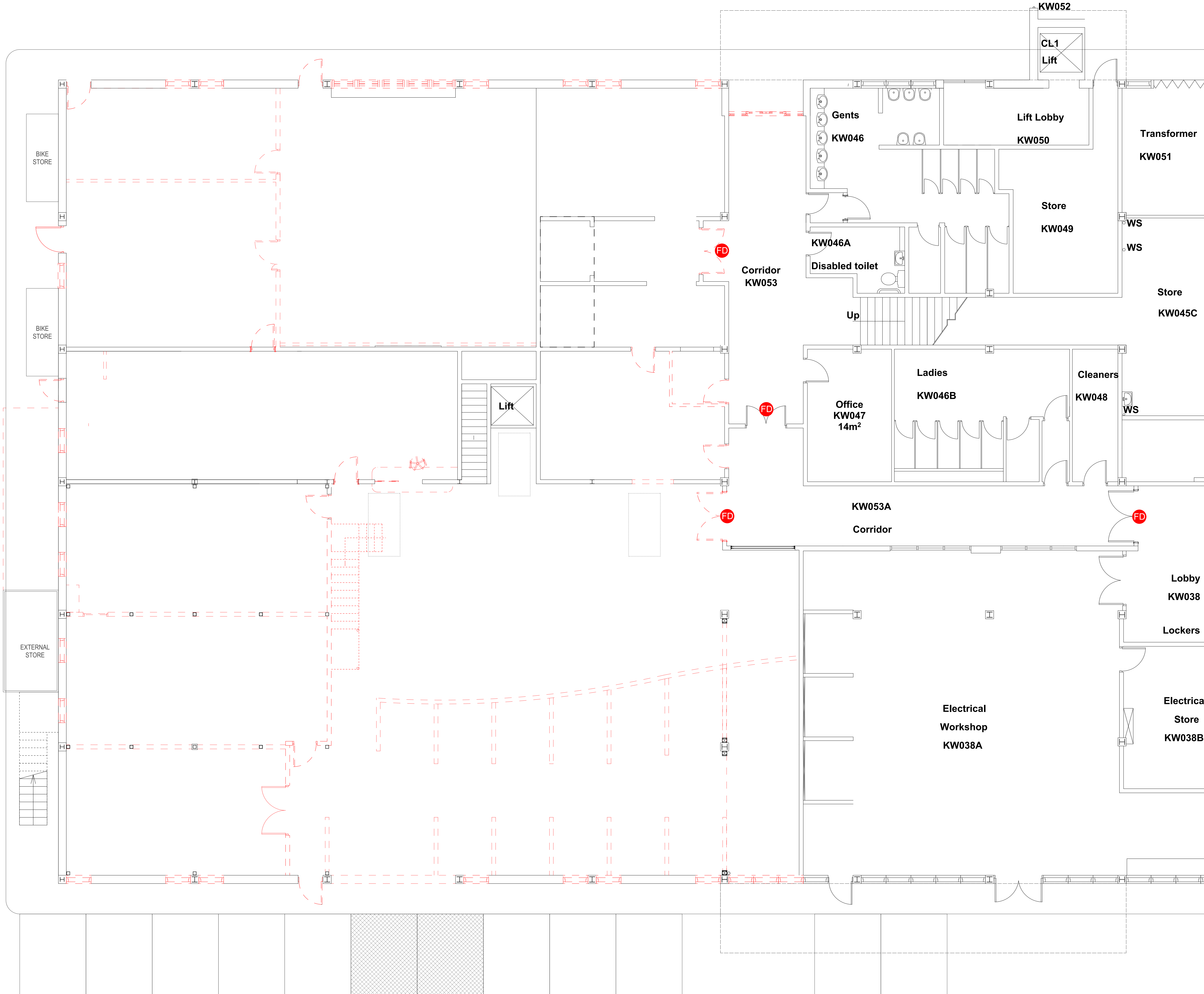
	2. Above Ground Drainage System Contingency 1000.00 Check prov Sum schedules as above	

Appendix A - Revised Drawings

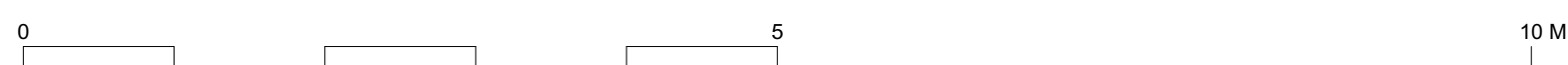
210387-AL(0)03- Ground Floor Demolition Plan
210387-AL(0)04- First Floor Demolition Plan
210387-AL(2)03-I Proposed Ground Floor Plan
210387-AL(2)04-C Proposed First Floor Plan
210387-AL(2)16-D Proposed South East Elevation
210387-AL(2)17-D Proposed South West Elevation
210387-AL(2)18-D Proposed North West Elevation

Key

REF
Existing to be demolished
Existing fire door



Ground Floor Demolition Plan
1:50 @ A0



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Project Name
T Level Improvements
Client
City College Plymouth

Scale
1:50
Drawn By
AD
Reviewed By
F. Williams

Check all dimensions and materials on site

Rev. Date. By. App. Note

Ground Floor Demolition Plan

Project Number
210387-AL(0)03

Scale
14/01/22
Drawn
MA
Checked
WS
Status
TENDER

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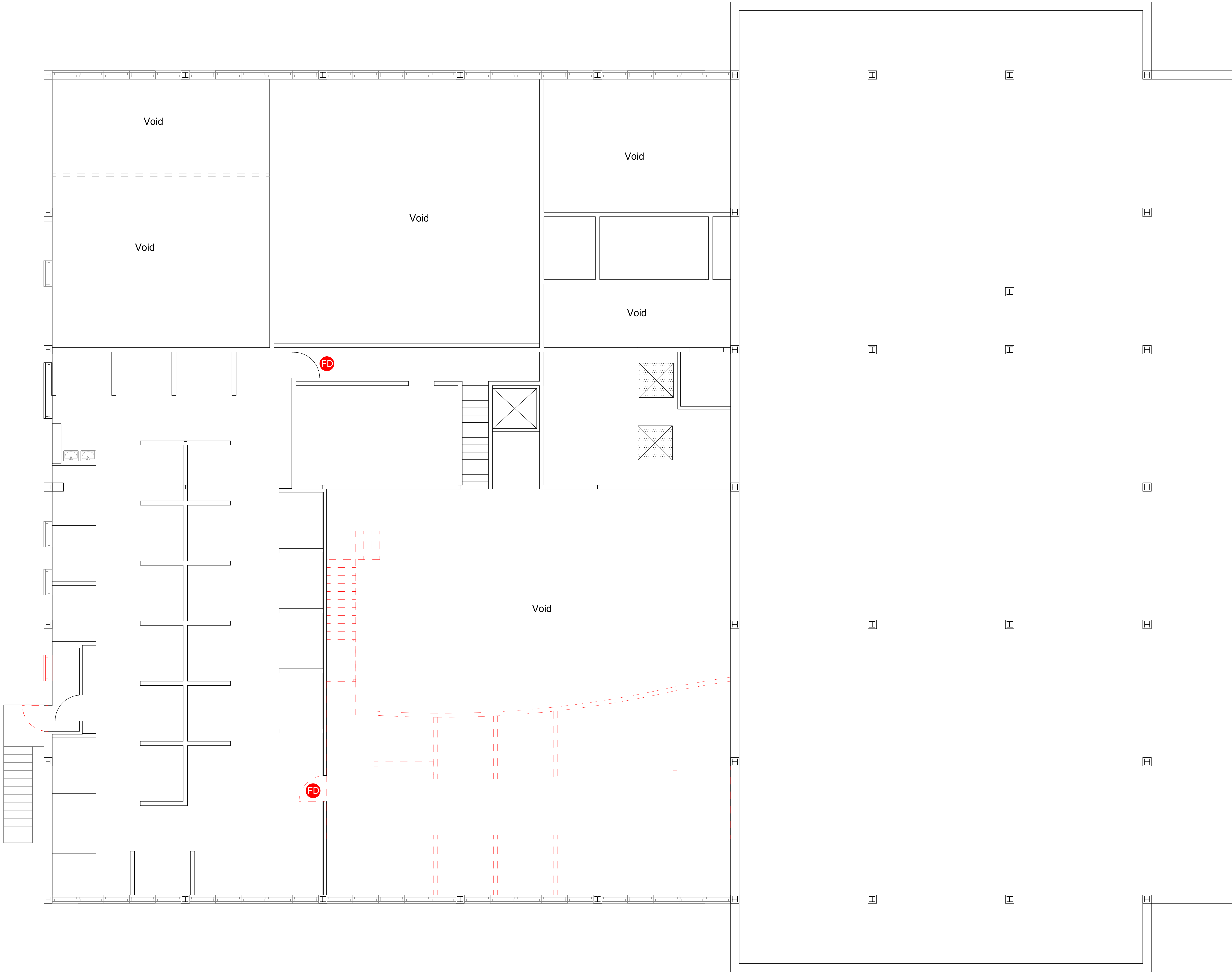
Key

REF

Existing to be demolished

FD

Existing fire door



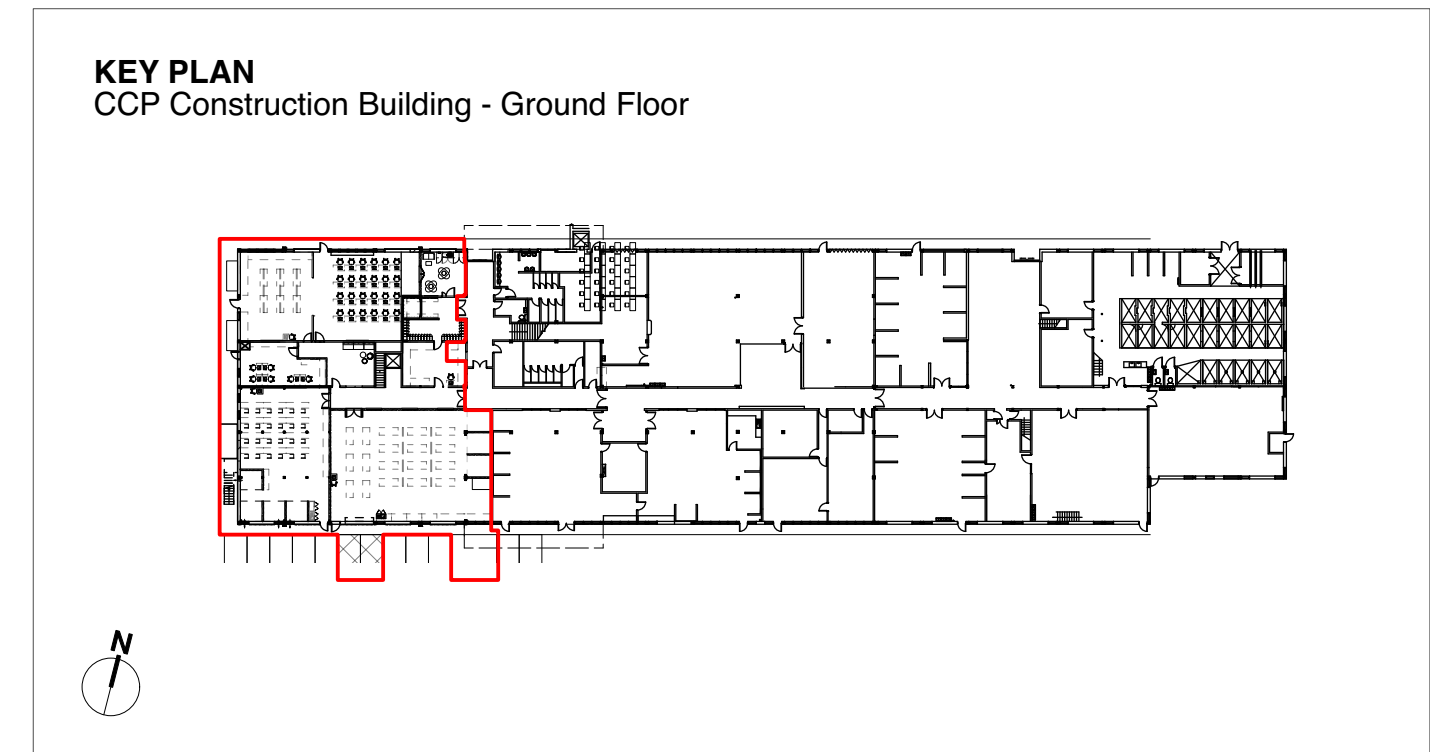
First Floor Demolition Plan
1:50 @ A0



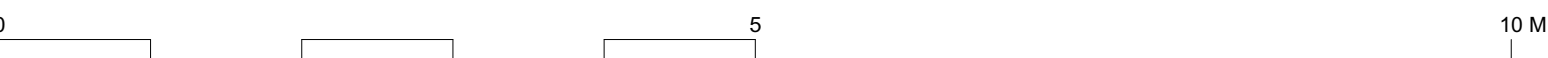
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Client City College Plymouth		Project Number / Revision 210387-AL(0)04	
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Reviewed by P. Williams		Status TENDER	
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PARTITION TYPES			
Key Colour	Type	NBS Clauses	Colour/Finish
A	30 minute	K10.125A	TBC
B	60 minute	K10.125B	TBC
C		K10.125C	TBC
D		K10.126A	TBC
E		K10.126B	TBC
F		C90.100A/B	TBC

KEY
- - T-Level Area scope



Proposed Ground Floor Plan
1:50 @ A0



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21/03/2022 WS HA Revised to show wall key colours.
25/03/2022 WS HA Window removed to north elevation.
28/01/2022 HA Minor amendments to KW032 and
KW035. Main entrance doors included in
T-Level scope area.
26/01/2022 WS HA General amendments following client
feedback.
21/01/2022 WS HA Preliminary Tender Issue.
Rev: Date: By: App: Note

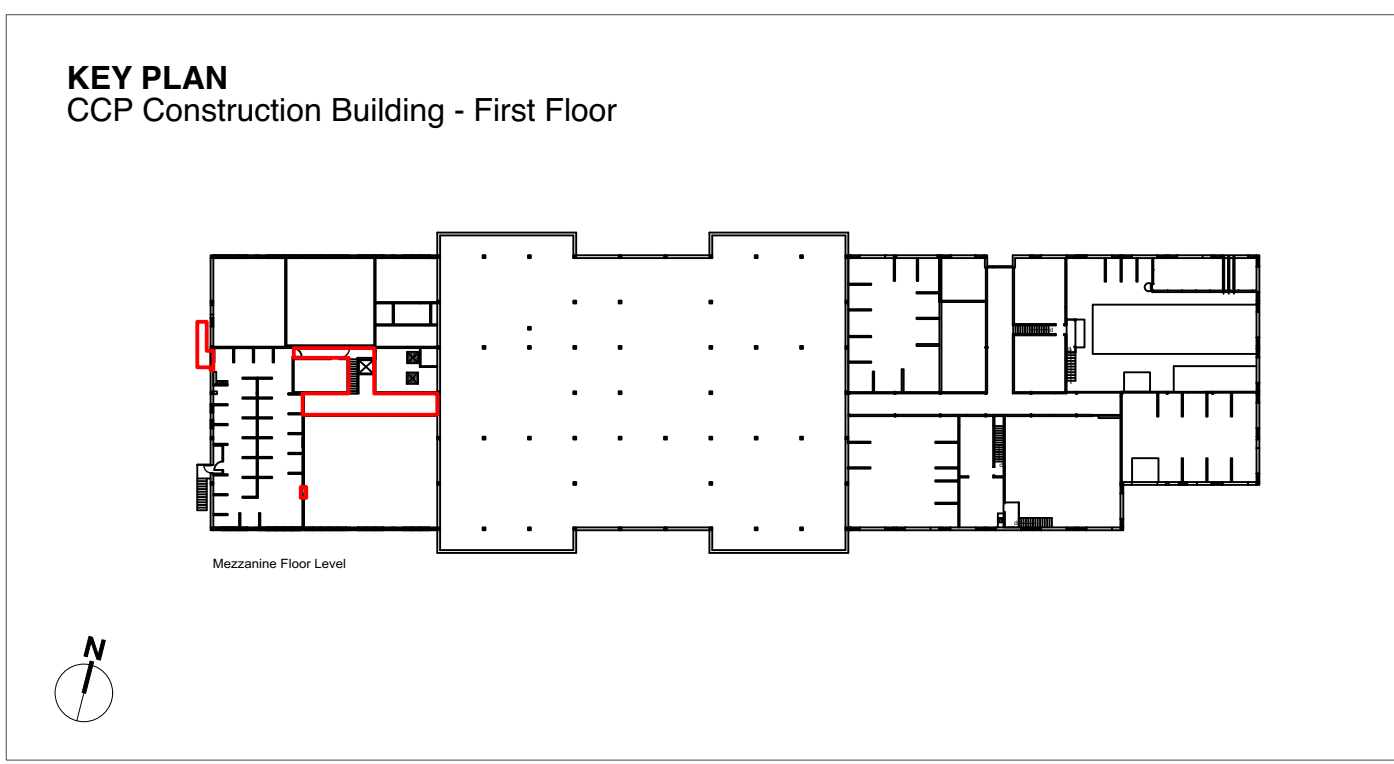
Proposed Ground Floor Plan

Project Number: 210387-AL(2)03 I

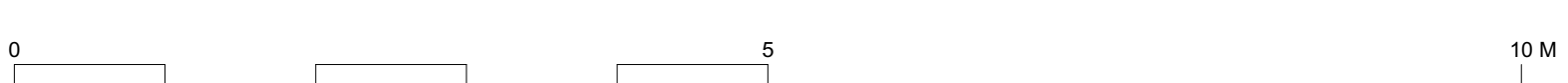
Date: 29/11/21
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Checked By: WS
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KEY
- T-Level Area scope



Proposed First Floor Plan
1:50 @ A0



Project Name
City College Plymouth

Scale
1:50 AD

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23/03/2023 WS HA New external fire rated door added
25/03/2023 WS HA Tender Issue
26/01/2023 WS HA General amendments following client feedback

Drawn By
Date By App Note

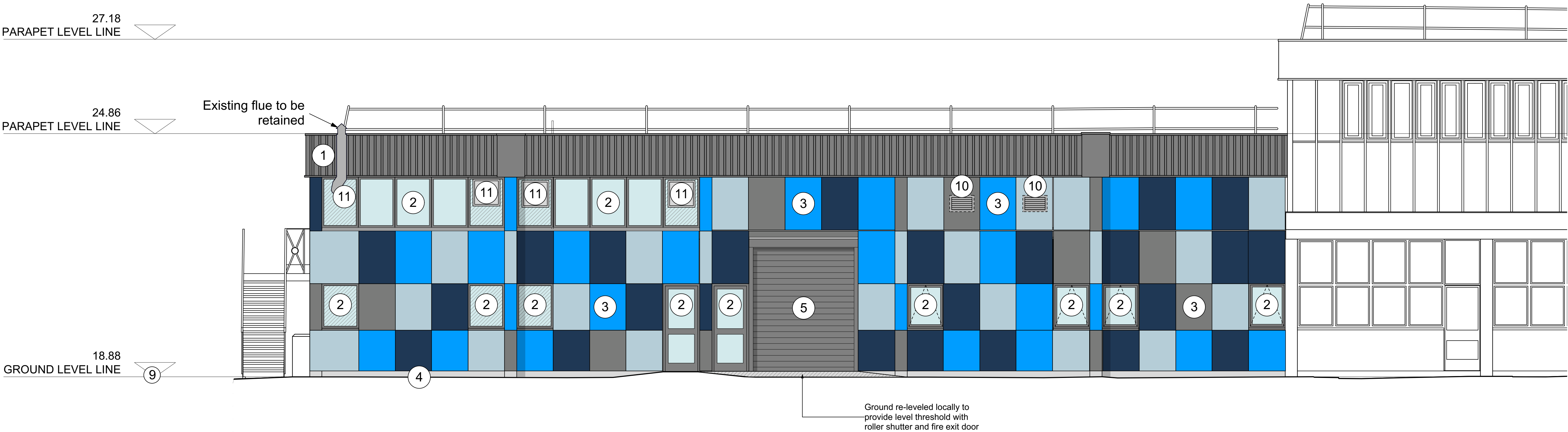
Project Name
Proposed First Floor Plan

210387-AL(2)04 C

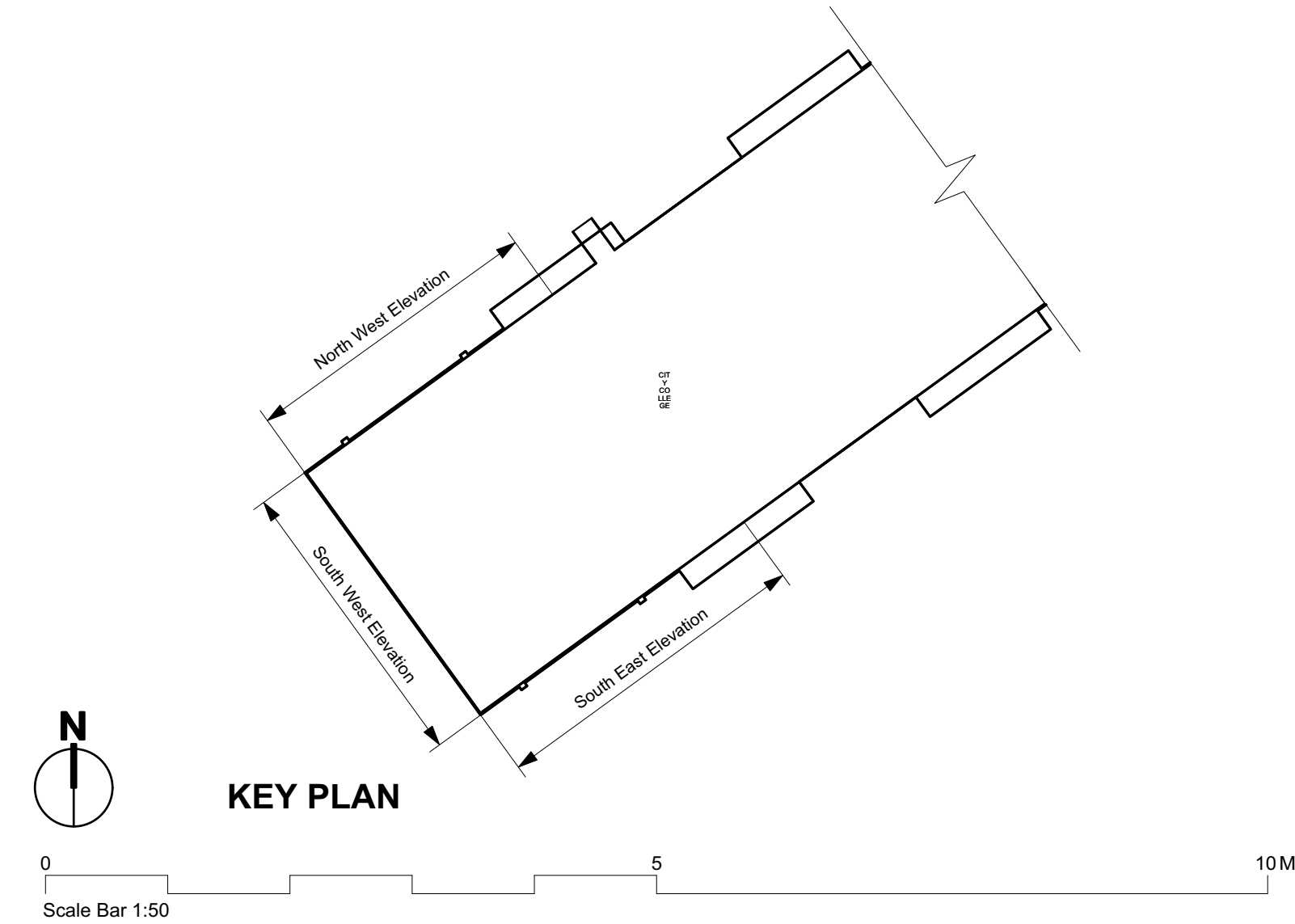
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PROPOSED SOUTH EAST ELEVATION



Notes:

- Existing metal fascia retained
- Replacement windows and doors with double glaze aluminium. Colour: Anyhractite Gray. RAL 7016
- New cladding panels. Rockpanel 9mm board fixed back on to a metal subframe to achieve a fire performance of A2, s1 – d0.
- Existing concrete plinth and brickwork painted. Colour: Grey
- Re-instate opening in external for roller shutter opening
- Respray bike store. Colour: TBC
- Reduce size of storage compound
- External escape stair to be refurbished and painted.
- External Aluminium FD30 Self closing fire escape door
- Mechanical Louvre within weatherproofed sealed opening.
- Existing opening to be reinstated for vent flue or grill.

- Rockpanel Cladding. Colour: RAL 240 80 10
- Rockpanel Cladding. Colour: RAL 5003
- Rockpanel Cladding. Colour: NCS S 2050 - B
- Rockpanel Cladding. Colour: RAL 7037
- Glazing
- Infill glass panel



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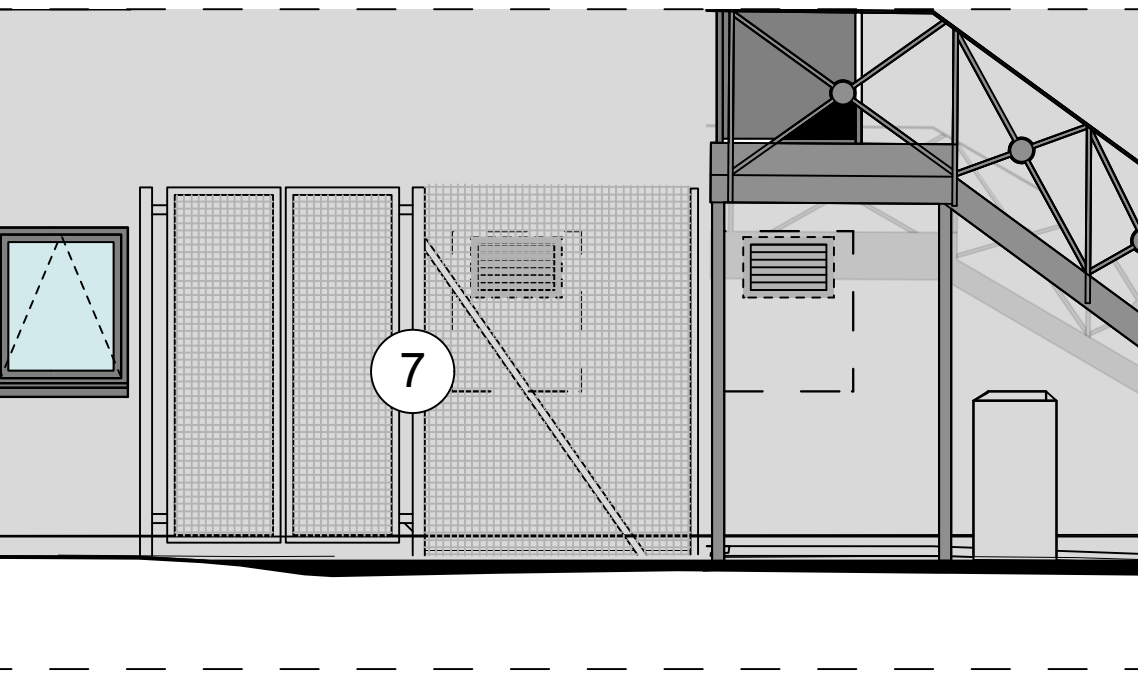
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28/03/2022 WS HA Revised to show existing flue openings and new intake and extract openings.
15/03/2022 WS HA Revised to show opening windows.
25/02/2022 WS HA Tender Issue
28/01/2022 WS HA Revised following client feedback.
Rev Date By Ap Note

Drawing Title
Proposed South East Elevation

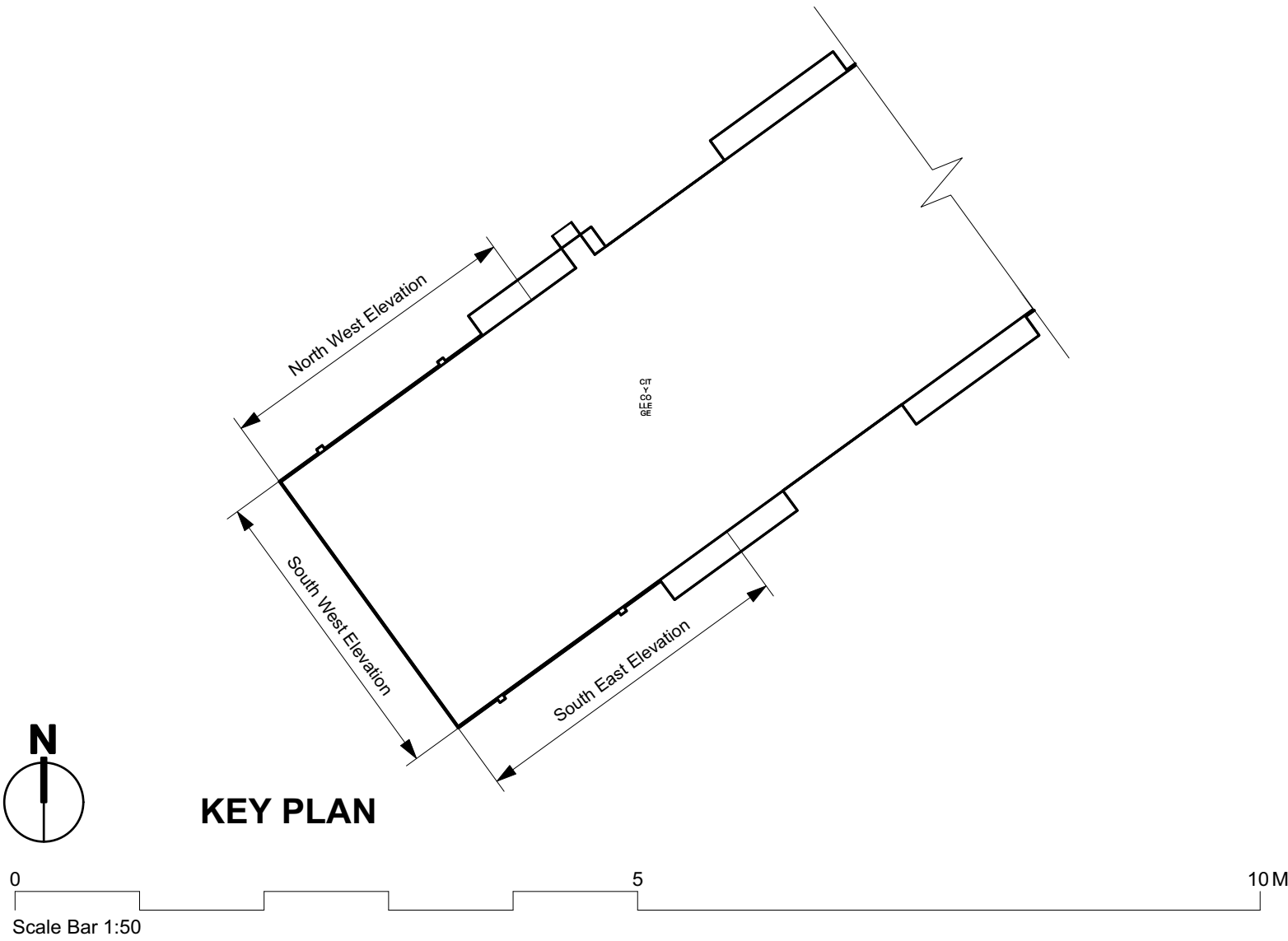
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PROPOSED SOUTH WEST ELEVATION
EXCERPT SHOWING EXTERNAL BOTTLE STORE



PROPOSED SOUTH WEST ELEVATION
(Please see excerpt above for external bottle store elevation)



Notes:

- 1. Existing metal fascia retained
- 2. Replacement windows and doors with double glaze aluminium. Colour: Anyhractite Gray. RAL 7016
- 3. New cladding panels. Rockpanel 9mm board fixed back on to a metal subframe to achieve a fire performance of A2, s1 – d0.
- 4. Existing concrete plinth and brickwork painted. Colour: Grey
- 5. Re-instate opening in external for roller shutter opening
- 6. Respray bike store. Colour: TBC
- 7. Reduce size of storage compound
- 8. External escape stair to be refurbished and painted.
- 9. External Aluminium FD30 Self closing fire escape door
- 10. Mechanical Louvre within weatherproofed sealed opening.
- 11. Existing opening to be reinstated for vent flue or grill.

- Rockpanel Cladding. Colour: RAL 240 80 10
- Rockpanel Cladding. Colour: RAL 5003
- Rockpanel Cladding. Colour: NCS S 2050 - B
- Rockpanel Cladding. Colour: RAL 7037
- Glazing
- Infill glass panel



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Project
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Paper Size
A1

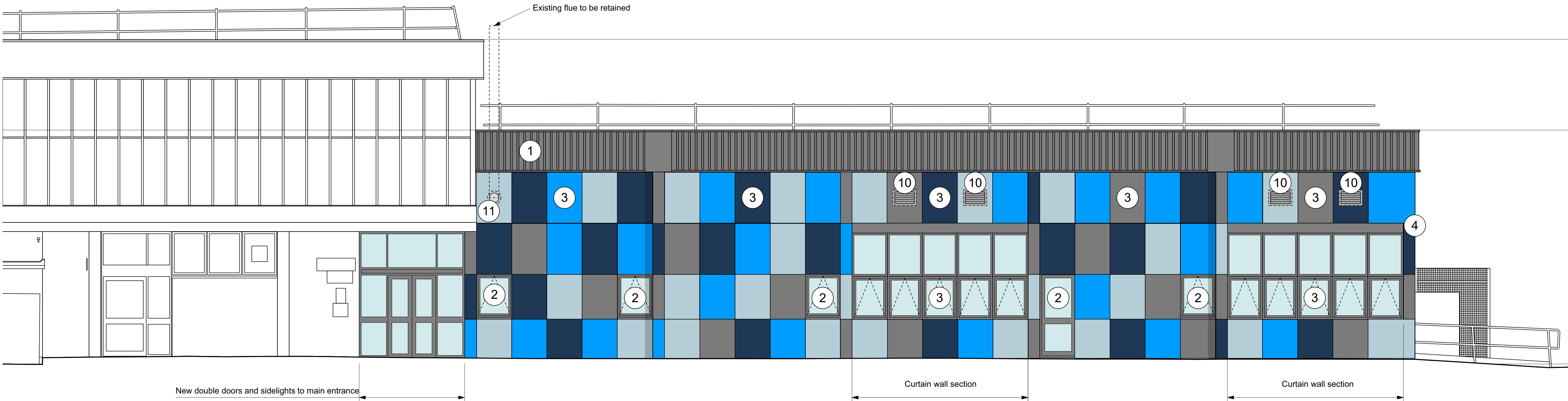
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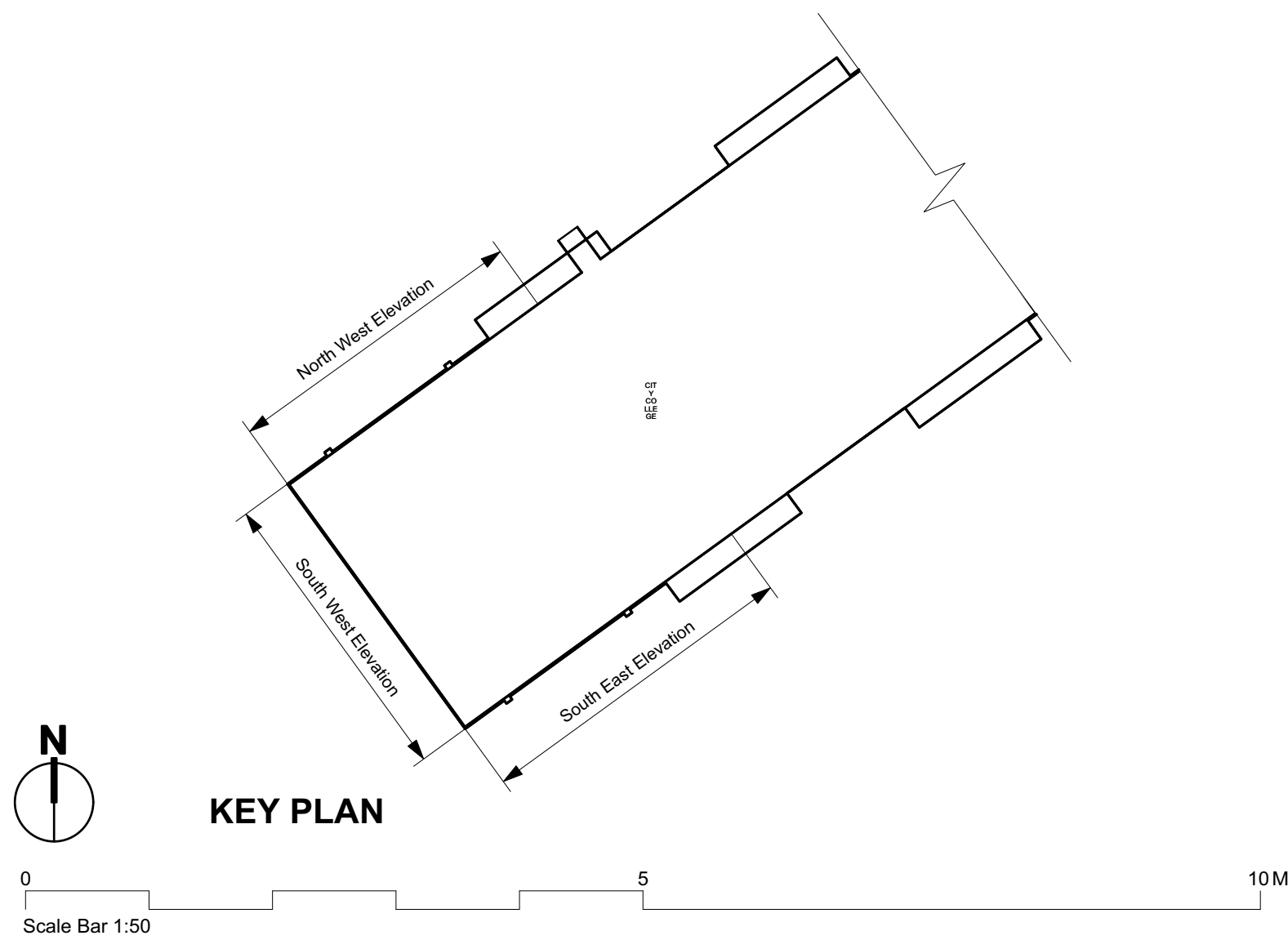
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28/03/2022 WS HA Revised to show existing flue openings and new intake and extract openings.			
15/03/2022 WS HA Revised to show opening windows.			
25/02/2022 WS HA Tender Issue			
28/01/2022 WS HA Revised following client feedback.			
Rev	Date	By	Ap. Note
Drawing Title			
Proposed South West Elevation			
Project Number		Drawing Number - Revision	
210387-AL		(2)17 D	
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PROPOSED NORTH WEST ELEVATION



Notes:

- Existing metal fascia retained
- Replacement windows and doors with double glaze aluminium. Colour: Anyhractite Gray. RAL 7016
- New cladding panels. Rockpanel 9mm board fixed back on to a metal subframe to achieve a fire performance of A2, s1 – d0.
- Existing concrete plinth and brickwork painted. Colour: Grey
- Re-instate opening in external for roller shutter opening
- Respray bike store. Colour: TBC
- Reduce size of storage compound
- External escape stair to be refurbished and painted.
- External Aluminium FD30 Self closing fire escape door
- Mechanical Louvre within weatherproofed sealed opening.
- Existing opening to be reinstated for vent flue or grill.

- Rockpanel Cladding. Colour: RAL 240 80 10
- Rockpanel Cladding. Colour: RAL 5003
- Rockpanel Cladding. Colour: NCS S 2050 - B
- Rockpanel Cladding. Colour: RAL 7037
- Glazing
- Infill glass panel



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28/03/2022 WS HA Revised to show existing flue openings and new intake and extract openings.
15/03/2022 WS HA Revised to show opening windows.
25/02/2022 WS HA Tender Issue
28/01/2022 WS HA Revised following client feedback.
Rev Date By Ap Note

Drawing Title
Proposed North West Elevation

Project Number
Drawing Number - Revision

210387-AL(2)18 D

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Appendix B - Revised Provisional Sums

		Quantity	UoM	Rate (£)	£	p
14.00	A54 PROVISIONAL SUMS					
14.01	A54.305A					
	Item: Unforeseen removal of asbestos					
	Description of work: Allow for undertaking unforeseen asbestos removal works and any follow up survey works following demolition.					
	Provisional Sums: Include £1,000.00.					1,000.00
	Allow for general attendance.					
14.02	A54.305B					
	Item: Allowance for making good					
	Description of work: Allowance for making good all areas following the client enabling works in preparation for the contract works.					
	Provisional Sums: Include £5,000.00.					5,000.00
	Allow for general attendance.					
14.02	A54.305C					
	Item: Unforeseen works during opening up of external façade.					
	Description of work: Allow for undertaking unforeseen works to the existing external façade during the formation of new openings.					
	Provisional Sums: Include £2,000.00.					2,000.00
	Allow for general attendance.					
14.03	A54.305D					
	Item: External Curtain Walling					
	Description of work: Allow for unforeseen works, structural or other during the installation of the new curtain walling.					
	Provisional Sums: Include £2,000.00.					2,000.00
	Allow for general attendance.					
14.03	A54.305E					
	Item: External Main Entrance door ironmongery.					
	Description of work: Allow for providing and installing new ironmongery to the main entrance external doors.					
	Provisional Sums: Include £1,000.00.					1,000.00
	Allow for general attendance.					
14.04	A54.305F					
	Item: External Ground floor panic escape door ironmongery.					
	Description of work: Allow for providing and installing new ironmongery to the external doors.					
	Provisional Sums: Include £2500					2,500.00
	Allow for general attendance.					
14.05	A54.305G					
	Item: External First Floor Panic Escape door ironmongery					
	Description of work: Allow for providing and installing new ironmongery to the Panic Escape external door to the circulation area.					
	Provisional Sums: Include £500.00.					500.00
	Allow for general attendance.					

		Quantity	UoM	Rate (£)	£	p
14.06	A54.305H Item: Making Good to Main Corridor KW053 Description of work: Unforeseen making good to main works affecting main entrance corridor. Provisional Sums: Include £750 Allow for general attendance.				750.00	
14.07	A54.305I Item: Internal door ironmongery. Description of work: Allow for providing and installing new ironmongery to the internal doors. Provisional Sums: Include £6500.00				6,500.00	
14.08	A54.305J Item: Unforeseen drainage works to existing system. Description of work: Allow for undertaking unforeseen works to the existing drainage network following further drainage survey of the working area. Provisional Sums: Include £1,000.00. Allow for general attendance.				1,000.00	
14.09	A54.305K Item: Additional service boxings. Description of work: Allow for providing and installing additional service boxing works. Provisional Sums: Include £2,000 Allow for general attendance.				2,000.00	
14.10	A54.305L Item: External Escape Stair Description of work: Unforeseen remedial works to the external escape stair Provisional Sums: Include £2,000 Allow for general attendance.				2,000.00	
14.11	A54.305M Item: New level thresholds Description of work: Allow for creating new level thresholds around new door openings Provisional Sums: Include £2,000.00. Allow for general attendance.				2,000.00	
14.12	A54.305N Item: Unforeseen fire stopping works. Description of work: Allow for providing and installing additional unforeseen fire stopping to services penetrations within the ceiling voids. Provisional Sums: Include £1000.00. Allow for general attendance.				1,000.00	

		Quantity	UoM	Rate (£)	£	p
14.13	A54.305O Item: General unforeseen M&E works. Description of work: General sum for unforeseen M&E works. Provisional Sums: Include £4,000.00. Allow for general attendance.				4,000.00	
14.14	A54.305P Item: Unforeseen fire stopping works. Description of work: Allow for providing and installing additional unforeseen fire stopping to services penetrations within the ceiling voids. Provisional Sums: Include £1000.00. Allow for general attendance.				1,000.00	
14.15	A54.305Q Item: Additional service boxings. Description of work: Allow for providing and installing additional service boxing works. Provisional Sums: Include £2,000 Allow for general attendance.				2,000.00	
14.16	A54.305R Item: Retention of Flues and Grills to First Floor Opening on South Elevation Description of work: Allow for carefully removing, storing and reinstating 1xno. flue and 3no. grills through high level windows. Provisional Sums: Include £2,000 Allow for general attendance.				2,000.00	
14.17	A54.305S Item: Retention of Flue to North Elevation Description of work: Allow for carefully removing, storing and reinstating 1xno. flue through high level windows and new cladding Provisional Sums: Include £500 Allow for general attendance.				500.00	
14.18	A54.305T Item: New openings for mechanical vent equipment. Description of work: Allow new 600 x 400 mm weatherproofed infill panels to existing high level windows for 3no. mechanical discharge duct openings along with associated new openings formed in new cladding with weatherproofed seal and acoustic louvre. Provisional Sums: Include £3,000 Allow for general attendance.				3,000.00	
14.19	A54.305U Item: New openings for mechanical vent equipment. Description of work: Allow new 600 x 400 mm weatherproofed infill panels to existing high level windows for 3no. mechanical fresh air inlet duct openings along with associated new openings formed in cladding with weatherproofed seal and acoustic louvre. Provisional Sums: Include £3,000 Allow for general attendance.				3,000.00	

		Quantity	UoM	Rate (£)	£	p
14.20	A54.305V					
Item: New openings for mechancial vent equipment to Workshop 3 on West Elevation						
Description of work: Allow new 2no. 600 x 400 mm weatherproofed infill panel to existing window openings (to be infilled) for mechanical fresh air inlet duct and exhaust openings with weatherproofed seal and acoustic louvre.						
Provisional Sums: Include £2,000						2,000.00
Allow for general attendance.						
TOTAL CARRIED TO TENDER SUMMARY PAGE					46,750.00	

Appendix C – Email from EDP

From [Ray Browning](#)
To [Harry Avis](#)
Cc [Paul Priscott](#)
Date 2022-03-23 15:01:22

Hi Harry,

Further to the comments made on the tender documents for the above project and our discussions of today’s date, as requested we confirm as follows,

The ventilation plant and ductwork in workshop 1, 2 & 4 to be supported from the roof steels via Unistrut support system or equal and approved suitable for the weight, and from the soffit in workshop 3. The contractor shall provide anti-vibration mounts on the supports for the ventilation units. Please note the duct connections to the plant to be complete with flexible connections.

The mechanical services contractor shall liaise with the cladding contractor with regard to openings in the cladding and fixings for the louvres and the 3 No. 100 dia dust extract hoses.
Where the ducts pass through windows prior to the cladding, the glass is to be removed and suitable panelling to be installed for the ducts to pass through and suitably sealed.

Kind Regards,

Ray

Ray Browning
Mechanical Engineer



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