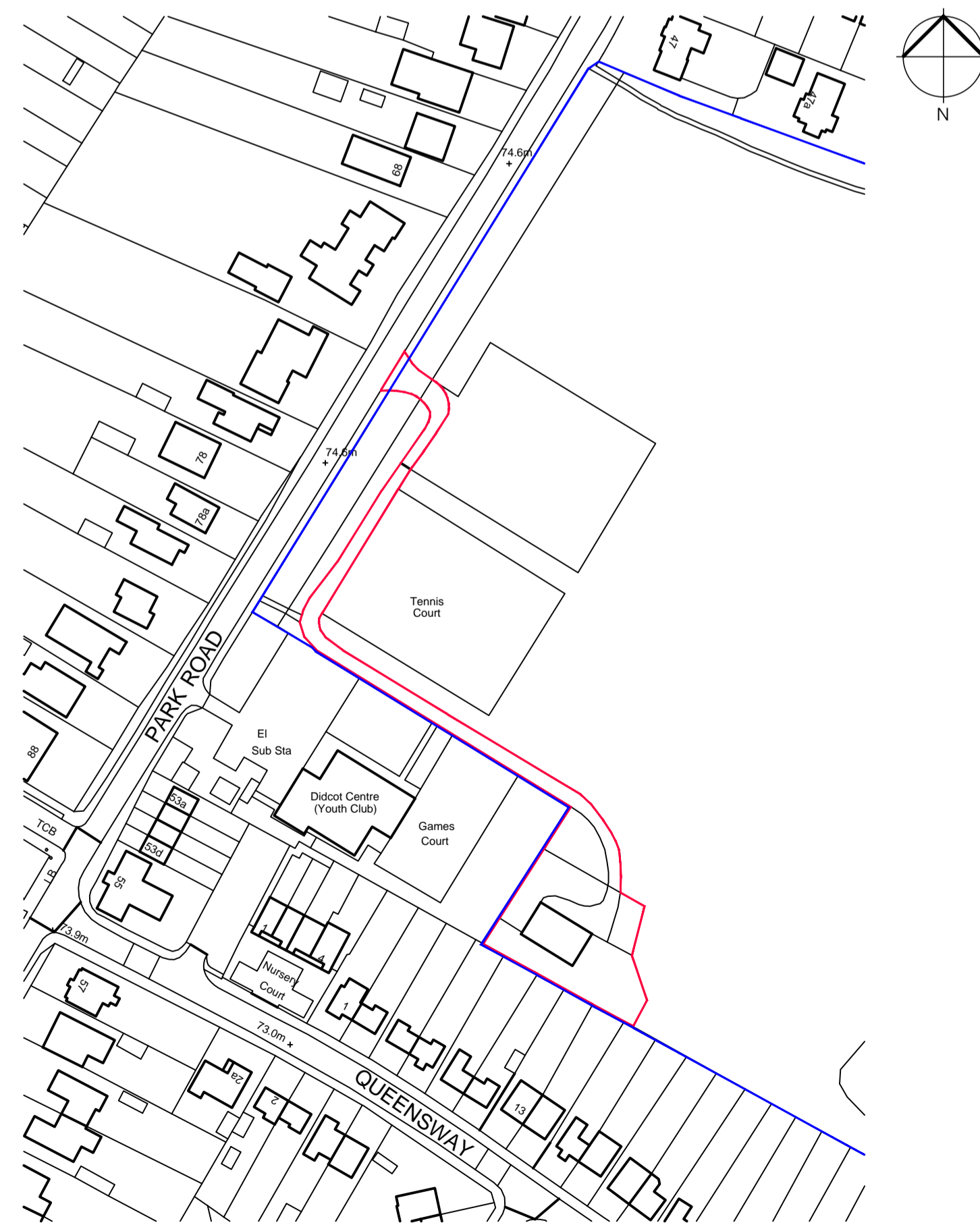


- 2no. 40'x8' storage containers
- 1no. 20'x8' welfare unit c/w toilet & kitchen (no mains supplies available)
- Heras fencing to enclose area



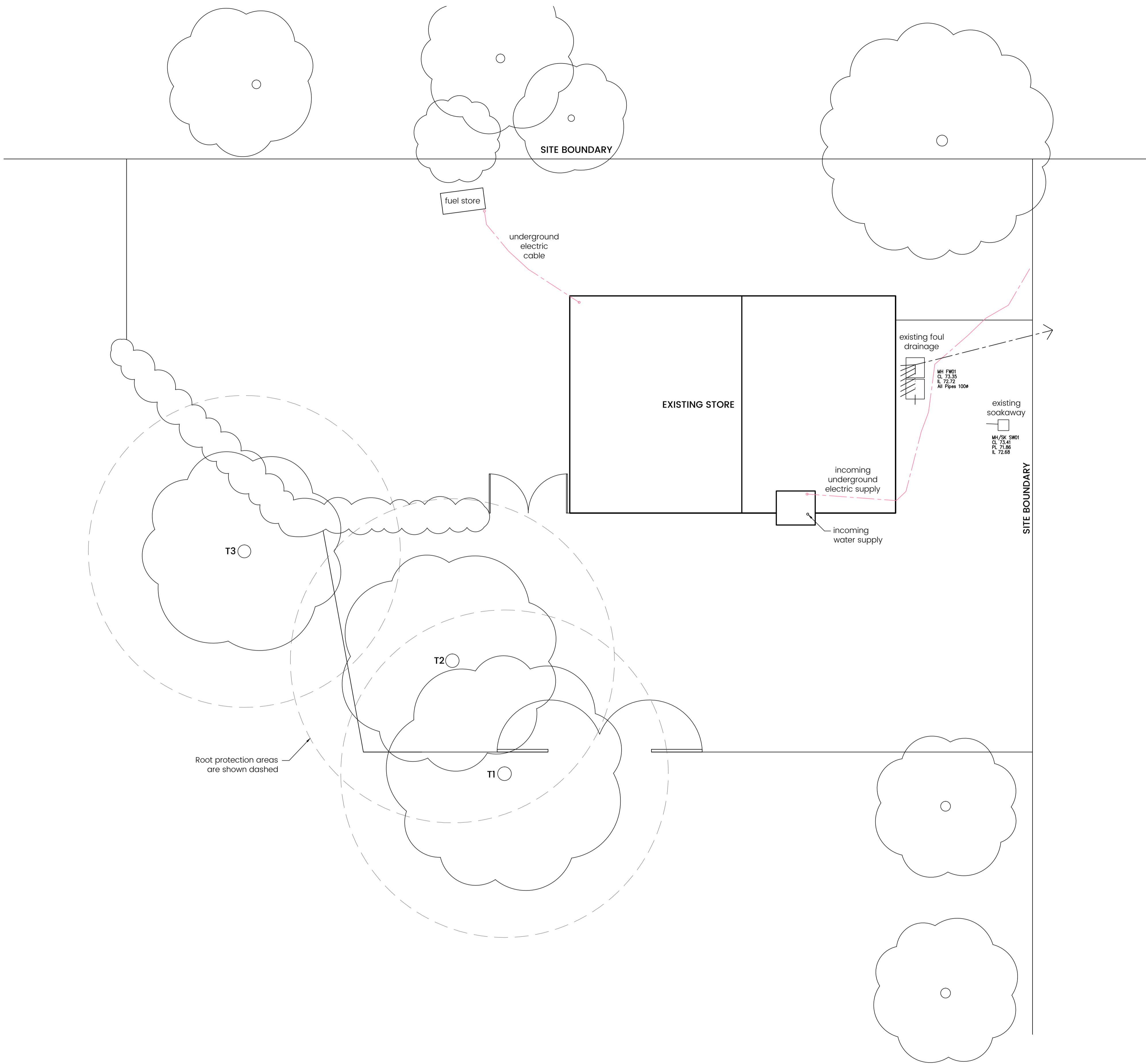
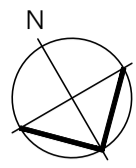
Ordnance Survey (c) Crown Copyright 2017. All rights reserved. Licence number 100022432

revision	amendments	date
A	temporary compound relocated	10-05-18
/	-	05-10-17
drawing title	BLOCK AND LOCATION PLAN	
	as shown @ A1	

project title  
DIDCOT TOWN COUNCIL  
EDMONDS PARK OUTDOOR SERVICES DEPOT  
PARK ROAD, DIDCOT

RPA  
architects  
Strathfield House  
Chilton Road  
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e: admin@rpaarchitects.co.uk  
w: www.rpaarchitects.co.uk

project no.	drawing no.	rev.
1765	A-001	A



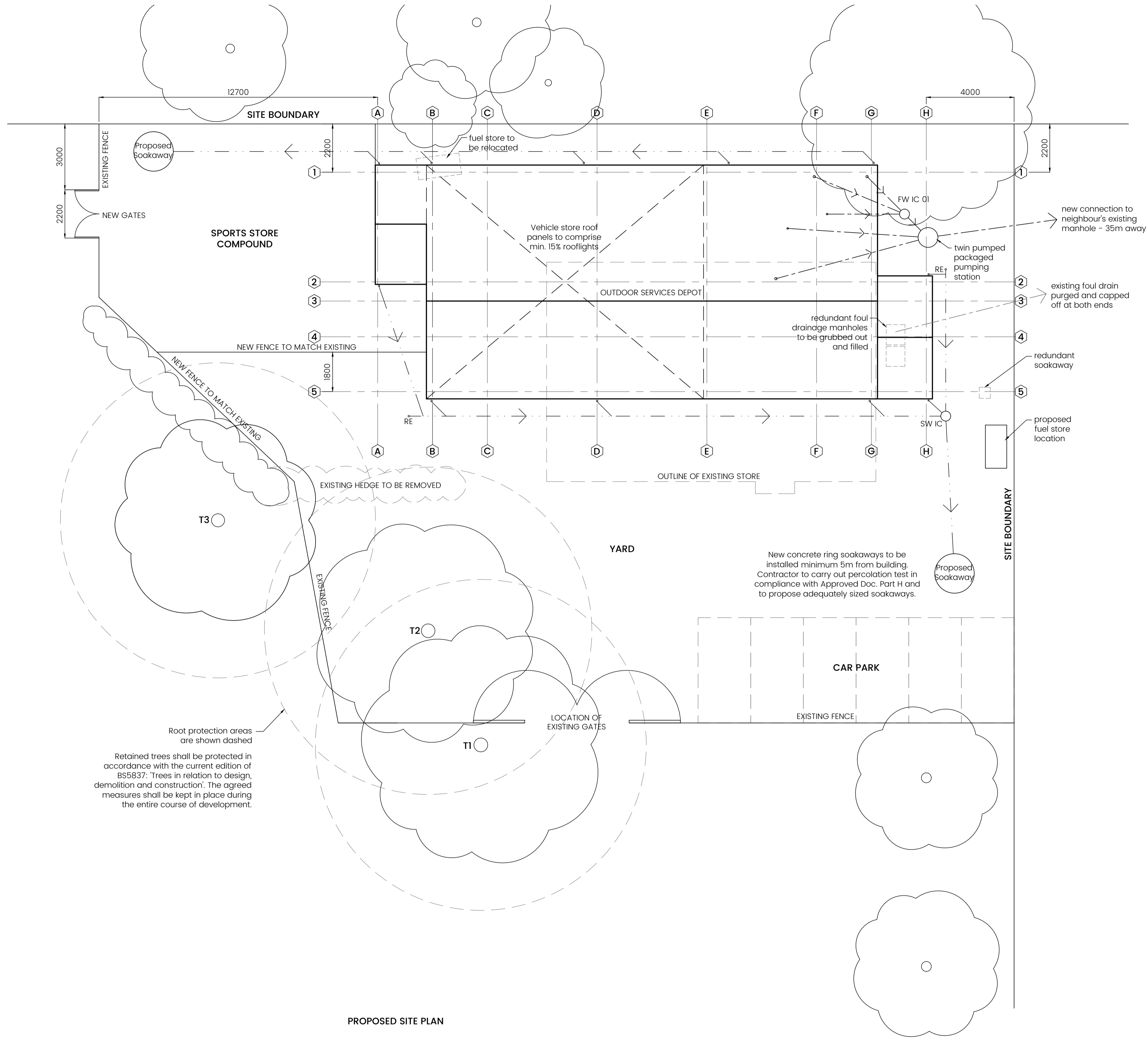
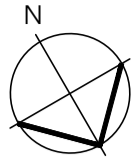
Root protection areas  
are shown dashed

revision	amendments	date
/	-	XX-XX-18
drawing title		scale
EXISTING SITE PLAN		1:100 @ A1

project title  
DIDCOT TOWN COUNCIL  
EDMONDS PARK OUTDOOR SERVICES DEPOT  
PARK ROAD, DIDCOT

RPA  
architects  
Strathfield House  
Chilton Road  
Upton  
Oxon  
OX11 9JL

project no.	drawing no.	rev.
1765	A-002	/



PROPOSED SITE PLAN

CONTRACTOR PLEASE NOTE:

- DO NOT SCALE FROM DRAWINGS
- ANY APPARENT DISCREPANCIES ARE TO BE NOTIFIED TO THE ARCHITECT AND DIMENSIONS ARE NOT TO BE ASSUMED
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Root protection areas are shown dashed

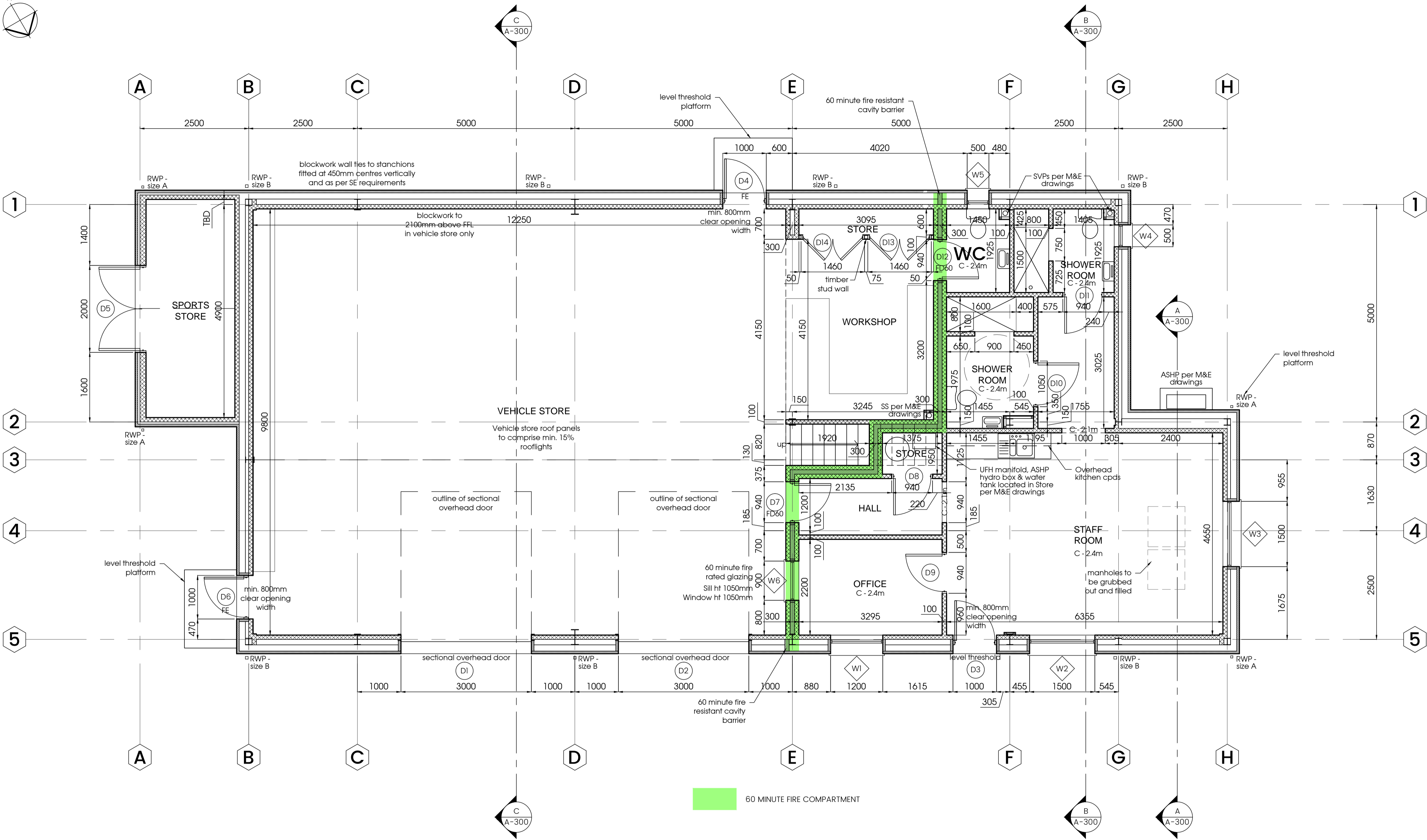
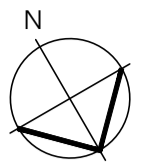
Retained trees shall be protected in accordance with the current edition of BS5837: 'Trees in relation to design, demolition and construction'. The agreed measures shall be kept in place during the entire course of development.

revision	amendments	date
A	temporary compound relocated	10-05-18
/	-	27-04-18
drawing title		scale
PROPOSED SITE PLAN		1:100 @ A1
project title		
DIDCOT TOWN COUNCIL EDMONDS PARK OUTDOOR SERVICES DEPOT PARK ROAD, DIDCOT		

RPA

architects

Strathfield House  
Chilton Road  
Upton  
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OX11 9JL



60 MINUTE FIRE COMPARTMENT

**Pitched Warm Roof**

- 80mm composite steel cladding system AS35 by Steadmans to achieve min. 0.25 u-value. Installed to manufacturer specification and details.
- Roof structure per S.E. drawings

**External Wall Construction**

- 60mm composite steel cladding system AS35 by Steadmans to achieve min. 0.35 u-value. Installed to manufacturer specification and details.
- Sheet piling rails per manufacturer specification and details.
- Steel portal frame per S.E. drawings
- 100mm blockwork to S.E. specification
- 12.5mm plasterboard with tape and fill to staff areas ONLY.

**External Wall Construction - Sports Store**

- Profiled steel cladding to match main cladding system. Installed to manufacturer specification and details.
- Fixings through top hat or C-section to suit alignment with adjacent main building to manufacturer details
- 100mm blockwork to S.E. specification

**Ground Floor Construction - Staff Areas**

- Floor finish: Polyflor vinyl sheet
- 75mm sand cement screed containing underfloor heating pipes
- 500g separation layer
- 70mm Kingspan Kooltherm K103 Floor Board to achieve min. 0.25 u-value, with 20mm upstand at perimeter
- RC slab and substrates per SE drawings
- 1200 polythene DPM fully lapped under DPC

**Ground Floor Construction - Store Areas**

- RC slab and substrates per SE drawings
- 1200 polythene DPM fully lapped under DPC

**Mezzanine Floor Construction**

- Flooring grade chipboard to SE specification.
- Joists & steels per SE drawings
- Mineral fibre insulation to achieve min. 0.25 u-value.
- 2no. layers of 12.5mm plasterboard ceiling with skim finish to achieve 60 minutes fire resistance

NOTE: contractor to verify all drainage notes and falls on site prior to commencement.

**PLUMBING NOTES**

**FOUL DRAINAGE**

All pipework and fittings in uPVC with patent joint/seals. Where indicated SVP taken through the roof slope and fitted with appropriate flashing installed per manu. instructions and details, and leaf grating. SVP to terminate min 900mm above any openings within 3m horizontally. Stub stacks to terminate above level of highest waste trap connected to it.

Waste pipe sizes:  
SVP and stub stack - 110mm dia.  
WC branch pipes - 110mm dia.  
Showers, kitchen sinks, baths - 40mm dia.  
Washbasin - 32mm dia.

All sanitaryware to have min. 75mm deep seal traps. All sanitary pipework and building drainage to comply with Building Reg. Approved Doc. H, current BS and good building practice. Rodding points should be provided in discharge stacks as necessary to give access to all lengths of pipe. Rodding points in stacks to be positioned above the spillover level of appliances. Where stack pipe passes through a habitable room wrap pipe with 25mm mineral wool sound insulation and box in. All pipe boxings to incorporate removable panels for access to rodding points.

**RAINWATER GOODS**

Steel guttering and downpipes by Steadmans. Finish to match cladding system with min. falls 1:200. Box gutter fixed in accordance with Steadmans' specifications. Sizes to provide the following:

RWP size A: min. flow capacity 0.38 l/s,  
min. outlet Ø 50mm.

RWP size B: min. flow capacity 1.11 l/s,  
min. outlet Ø 63mm.

**DRAINAGE FLEXIBLE PIPES BELOW GROUND**

110mm Osmadrain or similar flexible uPVC pipework and fittings and bedded in suitable material depending on subsoil conditions. All joints to be flexible. Drains laid to a minimum 1:40 fall (can reduce to 1:80 providing the drain run serves a WC). Pipes bridged through walls with RC lintels or sleeved with min. 50mm clearance all round the pipe and masked with rigid sheet material to prevent the ingress of vermin or fill. Drains within 600mm of ground level in garden areas to be protected by 75mm thick paving slab. Manholes formed in uPVC for inverts up to 1000mm or engineering brickwork or concrete rings as indicated on the drawings. All underground drainage to comply with Building Reg. Approved Doc. H, current BS and good building practice.

**SOAKAWAYS**

Contractor to undertake percolation tests and propose adequately sized concrete ring soakaway installation.

**ELECTRICAL INSTALLATION**

For electrical services installation see Electrical consultant's design and specification.

**MECHANICAL INSTALLATION**

For mechanical services installation see Mechanical consultant's design and specification.

**ENERGY PERFORMANCE**

The fabric of the building must meet requirements in Part L2A, including the minimum u-values:

Roofs: 0.25W/m².K.

Walls: 0.35W/m².K.

Floors: 0.25W/m².K.

Windows (including rooflights): 2.2W/m².K.

Personnel doors: 2.2W/m².K.

Vehicle sectional overhead doors: 1.5W/m².K.

A min. air permeability rating of 10 must be achieved.

**CONTRACTOR PLEASE NOTE:**

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**CONSTRUCTION NOTES**

**GENERAL NOTE ON MATERIALS**

Materials to comply with appropriate British Standards or Agre and relevant numbers should be provided. Alternatively, materials must be marked, stamped and independently certified or otherwise to show their suitability. Materials should be in accordance with BS8000 series of documents and other accepted good practice (e.g. Quality assured to ISO9000).

**WALL CONSTRUCTION KEY**

100mm internal blockwork wall per SE drawings

60 minute compartment wall:  
300mm insulated cavity wall comprising  
100mm blockwork and full fill cavity insulation  
per SE drawings

Steel portal per SE drawings with 100mm internal  
blockwork and insulated steel cladding panels  
fixed to sheeting rails

**FIRE PROTECTION**

All steel beams and portal frames to be protected to provide minimum 60 minutes fire resistance using fireline plasterboard where boxed in and intumescent paint for exposed steel applied per manufacturer's specification.

Cavity walls to be sealed at heads with fire barriers.

**FIRE ESCAPE DOOR FASTENINGS**

All fire escape door fastenings to comply with Approved Document B2 paragraphs 5.11 and 5.12 - to be fitted with panic fastenings in accordance with BS EN 1125:1997.

**VENTILATION REQUIREMENTS**

Mechanical and background ventilation shall be provided per the M&E specialist drawings.

**WINDOWS AND EXTERNAL DOORS**

Built-in security shutters provided to all windows - contractors supplier to approval.  
See Energy Performance note for min. required u-values.

**ESCAPE WINDOWS**

Emergency egress windows - to have unobstructed area of 0.33m² (750mm x 450mm), with a minimum opening of 450mm.

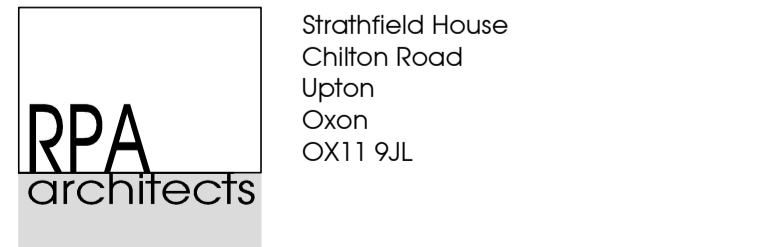
**SAFETY GLAZING & MANIFESTATION**

All glazing in critical locations to be provided to comply with Building Regs part K and part M including manifestation where applicable. Glazing within 800mm of ground floor level, glazing in doors within 1500mm of floor level, and any glazing within 300mm of a door within 1500mm of floor level, is to be safety glazing complying with BS EN 6206 and BS EN 12600.

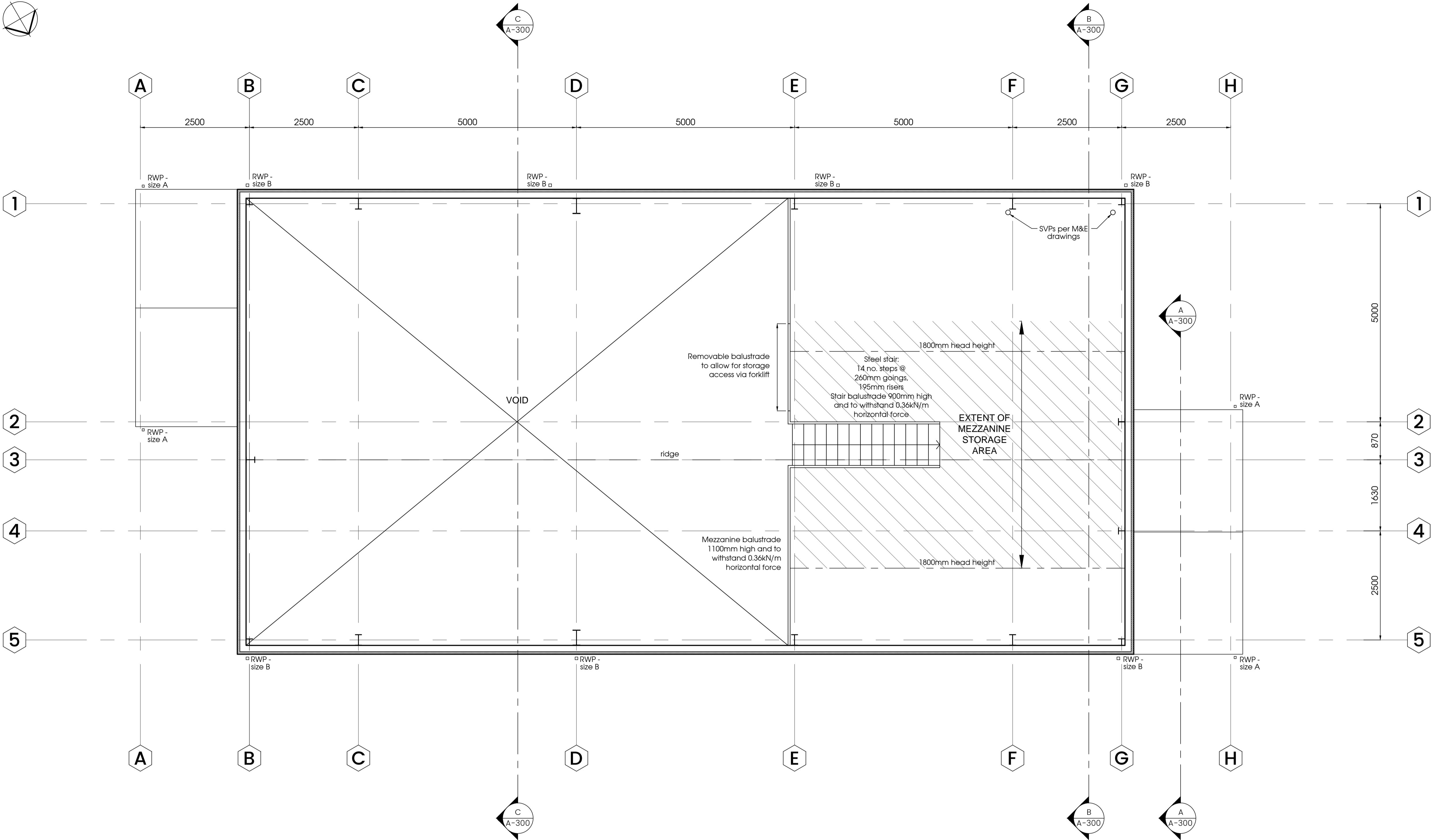
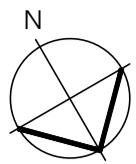
**DAMP PROOFING & WALL TIES**

Allow for all cavity trays/barriers, damp proof courses and wall ties as required in accordance with Building Regulations and good building practice, and as indicated on the drawings.

revision	amendments	date
C	TENDER ISSUE	24-05-18
B	updated notes	24-05-18
A	BUILDING REGS ISSUE	08-05-18
/	-	27-04-18
drawing title	scale	
PROPOSED GROUND FLOOR PLAN	1:50 @ A1	
project title	DIDCOT TOWN COUNCIL EDMONDS PARK OUTDOOR SERVICES DEPOT PARK ROAD, DIDCOT	



project no.	drawing no.	rev.
1765	A-102	C



CONTRACTOR PLEASE NOTE:

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• IF IN DOUBT ASK!

CONSTRUCTION NOTES

**GENERAL NOTE ON MATERIALS**  
Materials to comply with appropriate British Standards or Agre and relevant numbers should be provided. Alternatively, materials must be marked, stamped and independently certified or otherwise to show their suitability. Materials should be in accordance with BS8000 series of documents and other accepted good practice (e.g. Quality assured to ISO9000).

- WALL CONSTRUCTION KEY**
- 100mm internal blockwork wall per SE drawings
  - 60 minute compartment wall:  
300mm insulated cavity wall comprising  
100mm blockwork and full fill cavity insulation  
per SE drawings
  - Steel portal per SE drawings with 100mm internal  
blockwork and insulated steel cladding panels  
fixed to sheeting rails

**FIRE PROTECTION**  
All steel beams and portal frames to be protected to provide minimum 60 minutes fire resistance using fireline plasterboard where boxed in and intumescent paint for exposed steel applied per manufacturer's specification.

Cavity walls to be sealed at heads with fire barriers.

**FIRE ESCAPE DOOR FASTENINGS**  
All fire escape door fastenings to comply with Approved Document B2 paragraphs 5.11 and 5.12 - to be fitted with panic fastenings in accordance with BS EN 1125:1997.

**VENTILATION REQUIREMENTS**  
Mechanical and background ventilation shall be provided per the M&E specialist drawings.

**WINDOWS AND EXTERNAL DOORS**  
Built-in security shutters provided to all windows - contractors supplier to approval.  
See Energy Performance note for min. required u-values.

**ESCAPE WINDOWS**  
Emergency egress windows - to have unobstructed area of 0.33m² (750mm x 450mm), with a minimum opening of 450mm.

**SAFETY GLAZING & MANIFESTATION**  
All glazing in critical locations to be provided to comply with Building Regs part K and part M including manifestation where applicable. Glazing within 800mm of ground floor level, glazing in doors within 1500mm of floor level, and any glazing within 300mm of a door within 1500mm of floor level, is to be safety glazing complying with BS EN 6206 and BS EN 12600.

**DAMP PROOFING & WALL TIES**  
Allow for all cavity trays/barriers, damp proof courses and wall ties as required in accordance with Building Regulations and good building practice, and as indicated on the drawings.

Pitched Warm Roof

- 80mm composite steel cladding system AS35 by Steadmans to achieve min. 0.25 u-value. Installed to manufacturer specification and details.
- Roof structure per S.E. drawings

External Wall Construction

- 60mm composite steel cladding system AS35 by Steadmans to achieve min. 0.35 u-value. Installed to manufacturer specification and details.
- Sheeting rails per manufacturer specification and details.
- Steel portal frame per S.E. drawings
- 100mm blockwork to S.E. specification
- 12.5mm plasterboard with tape and fill to staff areas ONLY.

External Wall Construction - Sports Store

- Profiled steel cladding to match main cladding system. Installed to manufacturer specification and details.
- Fixings through top hat or C-section to suit alignment with adjacent main building to manufacturer details
- 100mm blockwork to S.E. specification

Ground Floor Construction - Staff Areas

- Floor finish: Polyflor vinyl sheet
- 75mm sand cement screed containing underfloor heating pipes
- 500g separation layer
- 70mm Kingspan Kooltherm K103 Floor Board to achieve min. 0.25 u-value, with 20mm upstand at perimeter
- RC slab and substrates per SE drawings
- 1200 polythene DPM fully lapped under DPC

Ground Floor Construction - Store Areas

- RC slab and substrates per SE drawings
- 1200 polythene DPM fully lapped under DPC

Mezzanine Floor Construction

- Flooring grade chipboard to SE specification.
- Joists & steels per SE drawings
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- 2no. layers of 12.5mm plasterboard ceiling with skim finish to achieve 60 minutes fire resistance

NOTE: contractor to verify all drainage notes and falls on site prior to commencement.

PLUMBING NOTES

FOUL DRAINAGE

All pipework and fittings in uPVC with patent joint/seals. Where indicated SVP taken through the roof slope and fitted with appropriate flashing installed per manu. instructions and details, and leaf grating. SVP to terminate min 900mm above any openings within 3m horizontally. Stub stacks to terminate above level of highest waste trap connected to it.

Waste pipe sizes:  
SVP and stub stack - 110mm dia.  
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Washbasin - 32mm dia.

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RAINWATER GOODS

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- RWP size A: min. flow capacity 0.38 l/s,  
min. outlet Ø 50mm.  
RWP size B: min. flow capacity 1.11 l/s,  
min. outlet Ø 63mm.

DRAINAGE FLEXIBLE PIPES BELOW GROUND

110mm Osmadrain or similar flexible uPVC pipework and fittings and bedded in suitable material depending on subsoil conditions. All joints to be flexible. Drains laid to a minimum 1:40 fall (can reduce to 1:80 providing the drain run serves a WC). Pipes bridged through walls with RC lintels or sleeved with min. 50mm clearance all round the pipe and masked with rigid sheet material to prevent the ingress of vermin or fill. Drains within 600mm of ground level in garden areas to be protected by 75mm thick paving slab. Manholes formed in uPVC for inverts up to 1000mm or engineering brickwork or concrete rings as indicated on the drawings. All underground drainage to comply with Building Reg. Approved Doc. H, current BS and good building practice.

SOAKAWAYS

Contractor to undertake percolation tests and propose adequately sized concrete ring soakaway installation.

ELECTRICAL INSTALLATION

For electrical services installation see Electrical consultant's design and specification.

MECHANICAL INSTALLATION

For mechanical services installation see Mechanical consultant's design and specification.

ENERGY PERFORMANCE

The fabric of the building must meet requirements in Part L2A, including the minimum u-values:  
Roofs: 0.25W/m².K.  
Walls: 0.35W/m².K.  
Floors: 0.25W/m².K.  
Windows (including rooflights): 2.2W/m².K.  
Personnel doors: 2.2W/m².K.  
Vehicle sectional overhead doors: 1.5W/m².K.  
A min. air permeability rating of 10 must be achieved.

revision	amendments	date
C	TENDER ISSUE	24-05-18
B	updated notes	23-05-18
A	BUILDING REGS ISSUE	08-05-18
/	-	27-04-18

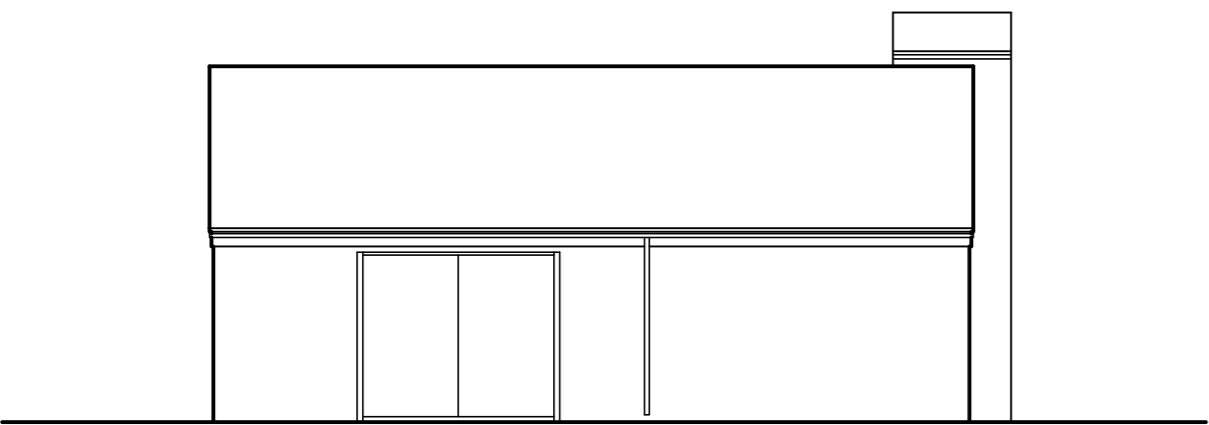
drawing title	scale
PROPOSED FIRST FLOOR PLAN	1:50 @ A1

project title	DIDCOT TOWN COUNCIL EDMONDS PARK OUTDOOR SERVICES DEPOT PARK ROAD, DIDCOT
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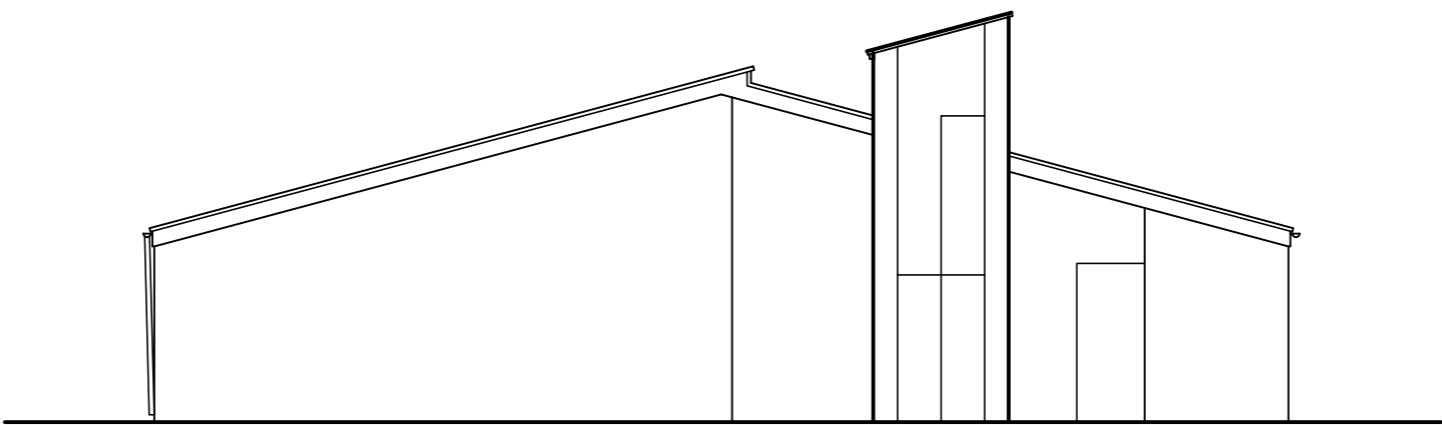
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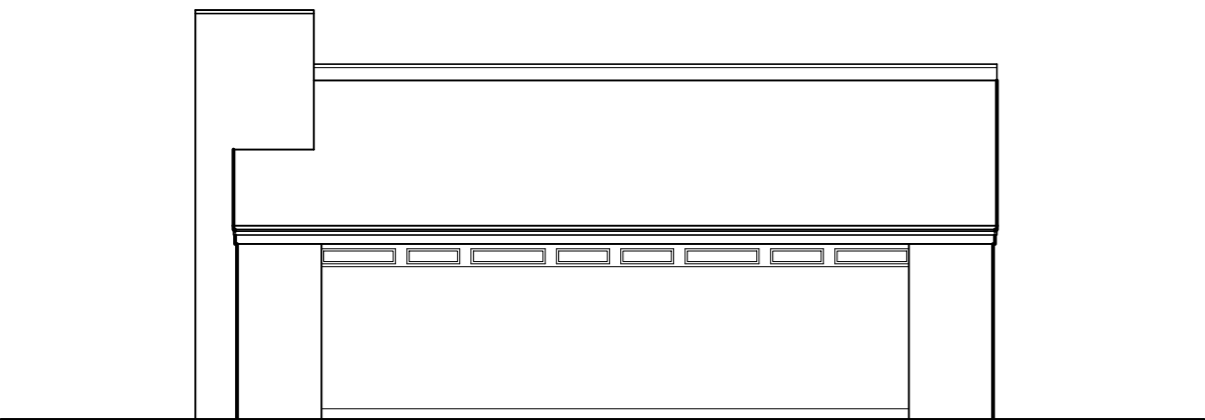
project no.	drawing no.	rev.
1765	A-103	C



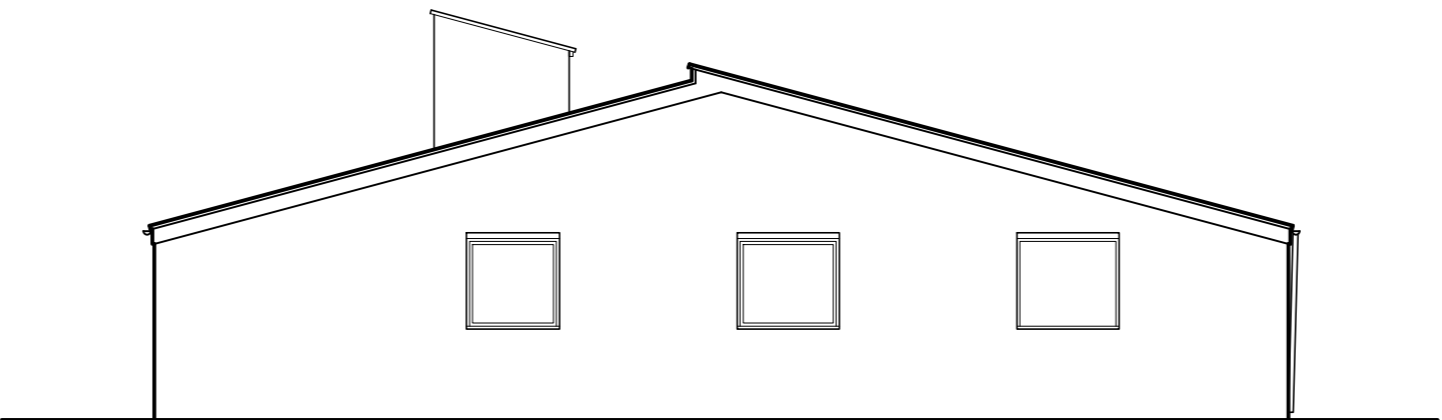
EAST ELEVATION



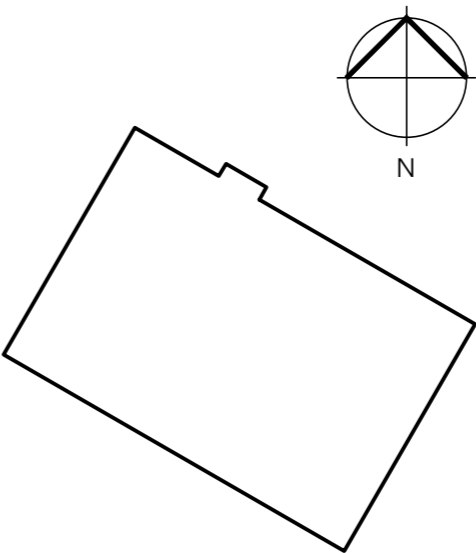
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



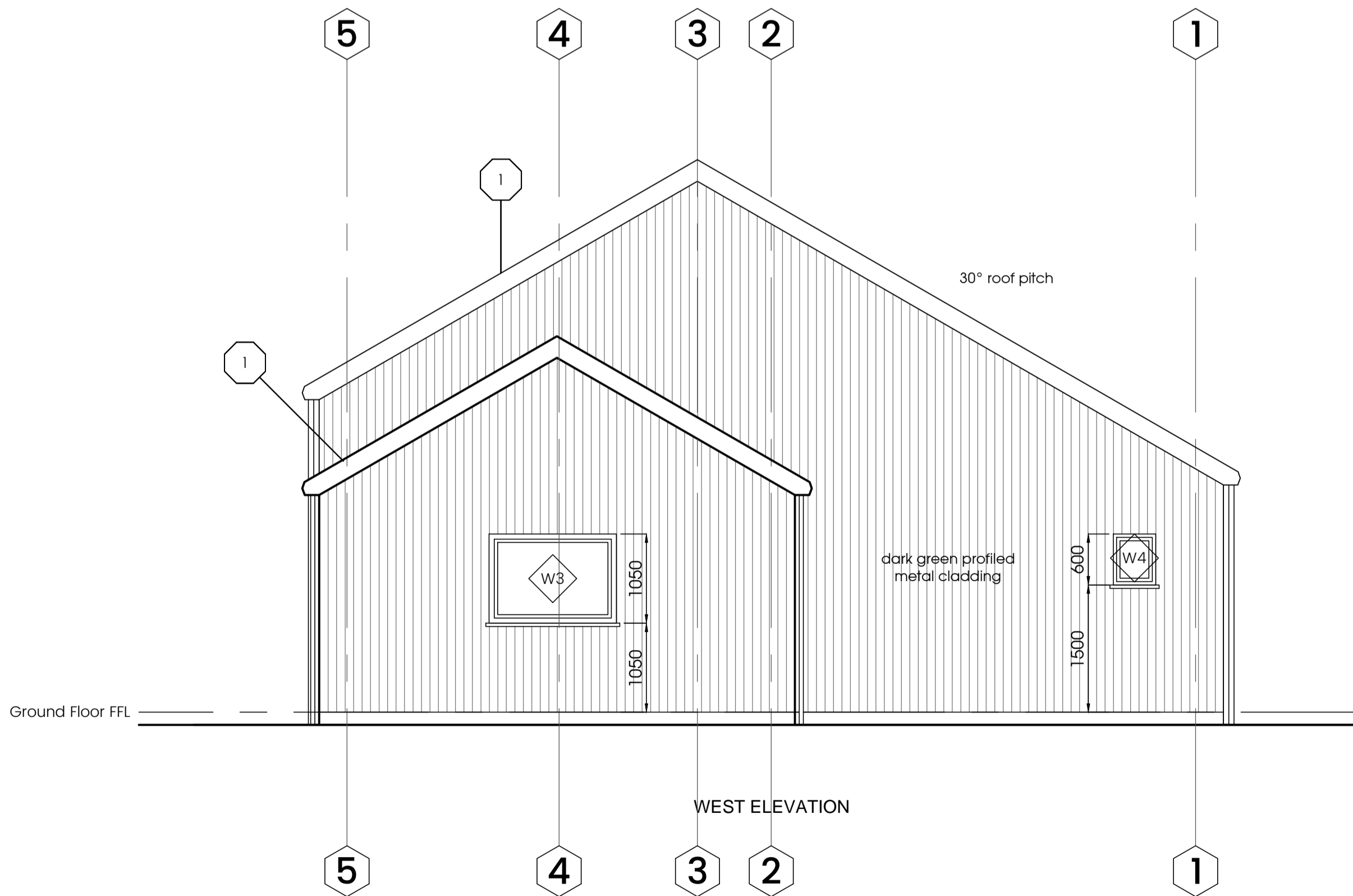
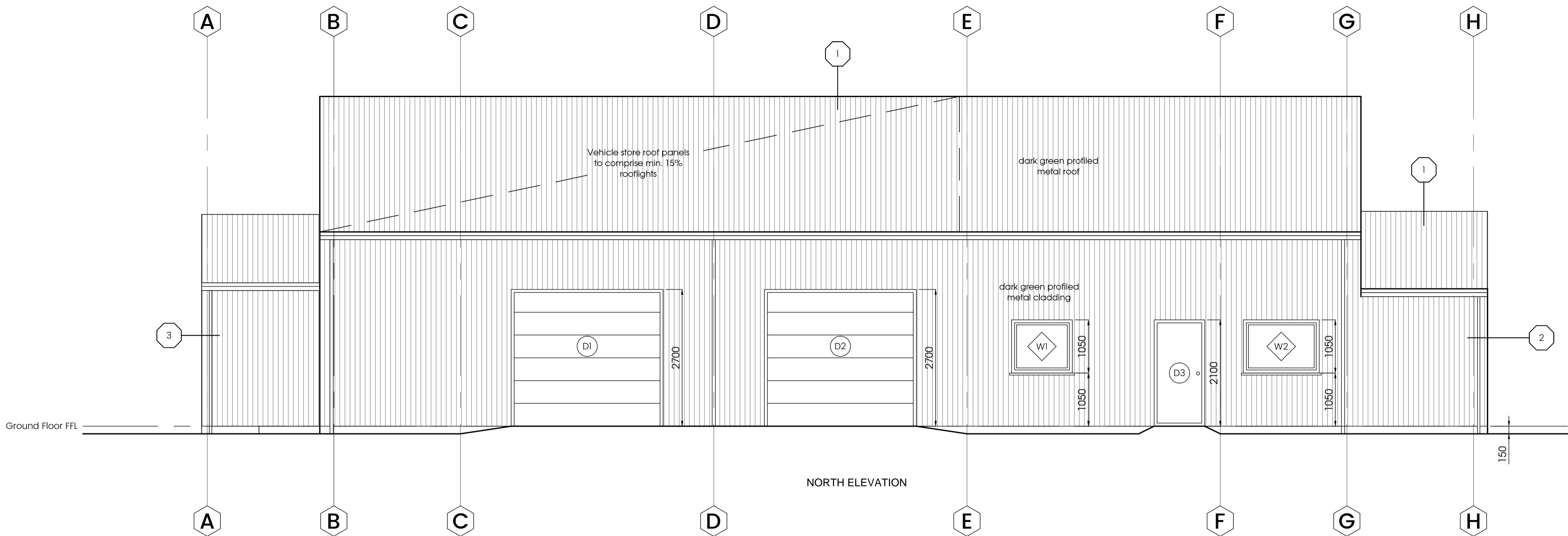
revision	amendments	date
/	-	21-09-17

drawing title	scale
EXISTING ELEVATIONS	1:100 @ A2

project title
DIDCOT TOWN COUNCIL EDMONDS PARK OUTDOOR SERVICES DEPOT PARK ROAD, DIDCOT

	Strathfield House Chilton Road Upton Oxon OX11 9JL
---	--

project no.	drawing no.	rev.
1765	A-200	/



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## CONSTRUCTION NOTES

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**WINDOWS AND EXTERNAL DOORS**  
Built-in security shutters provided to all windows – contractors supplier to approval.  
See Energy Performance note for min. required u-values.

**ESCAPE WINDOWS**  
Emergency egress windows – to have unobstructed area of 0.33m² (750mm x 450mm), with a minimum opening of 450mm.

**SAFETY GLAZING & MANIFESTATION**  
All glazing in critical locations to be provided to comply with Building Regs part K and part M including manifestation where applicable. Glazing within 800mm of ground floor level, glazing in doors within 1500mm of floor level, and any glazing within 300mm of a door within 1500mm of floor level, is to be safety glazing complying with BS EN 6206 and BS EN 12600.

**ENERGY PERFORMANCE**  
The fabric of the building must meet requirements in Part L2A, including the minimum u-values:  
Roofs: 0.25W/m².K.  
Walls: 0.35W/m².K.  
Floors: 0.25W/m².K.  
Windows (including rooflights): 2.2W/m².K.  
Personnel doors: 2.2W/m².K.  
Vehicle sectional overhead doors: 1.5W/m².K.  
A min. air permeability rating of 10 must be achieved.

- 1 Pitched Warm Roof**
- 80mm composite steel cladding system AS35 by Steadmans to achieve min. 0.25 u-value. Installed to manufacturer specification and details.
  - Roof structure per S.E. drawings

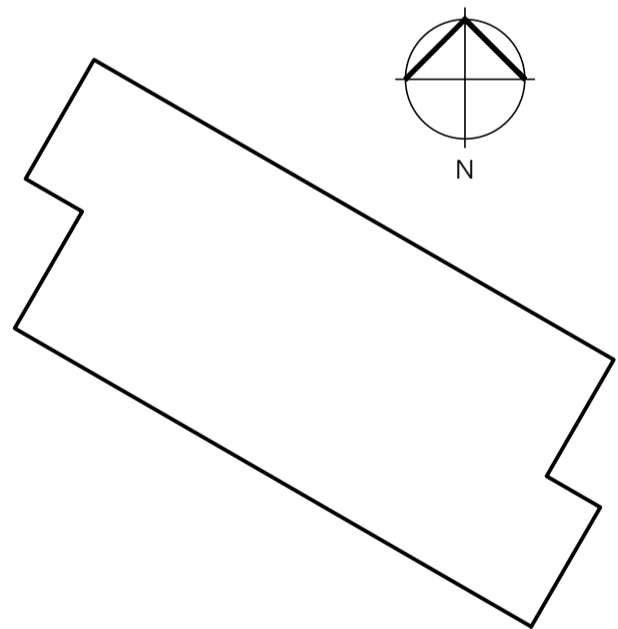
- 2 External Wall Construction**
- 60mm composite steel cladding system AS35 by Steadmans to achieve min. 0.35 u-value. Installed to manufacturer specification and details.
  - Sheetting rails per manufacturer specification and details.
  - Steel portal frame per S.E. drawings
  - 100mm blockwork to S.E. specification
  - 12.5mm plasterboard with tape and fill to staff areas ONLY.

- 3 External Wall Construction – Sports Store**
- Profiled steel cladding to match main cladding system. Installed to manufacturer specification and details.
  - Fixings through top hat or C-section to suit alignment with adjacent main building to manufacturer details
  - 100mm blockwork to S.E. specification

- 4 Ground Floor Construction – Staff Areas**
- Floor finish: Polyflor vinyl sheet
  - 75mm sand cement screed containing underfloor heating pipes
  - 500g separation layer
  - 70mm Kingspan Kooltherm K103 Floor Board to achieve min. 0.25 u-value, with 20mm upstand at perimeter
  - RC slab and substrates per SE drawings
  - 1200 polythene DPM fully lapped under DPC

- 5 Ground Floor Construction – Store Areas**
- RC slab and substrates per SE drawings
  - 1200 polythene DPM fully lapped under DPC

- 6 Mezzanine Floor Construction**
- Flooring grade chipboard to SE specification.
  - Joists & steels per SE drawings
  - Mineral fibre insulation to achieve min. 0.25 u-value.
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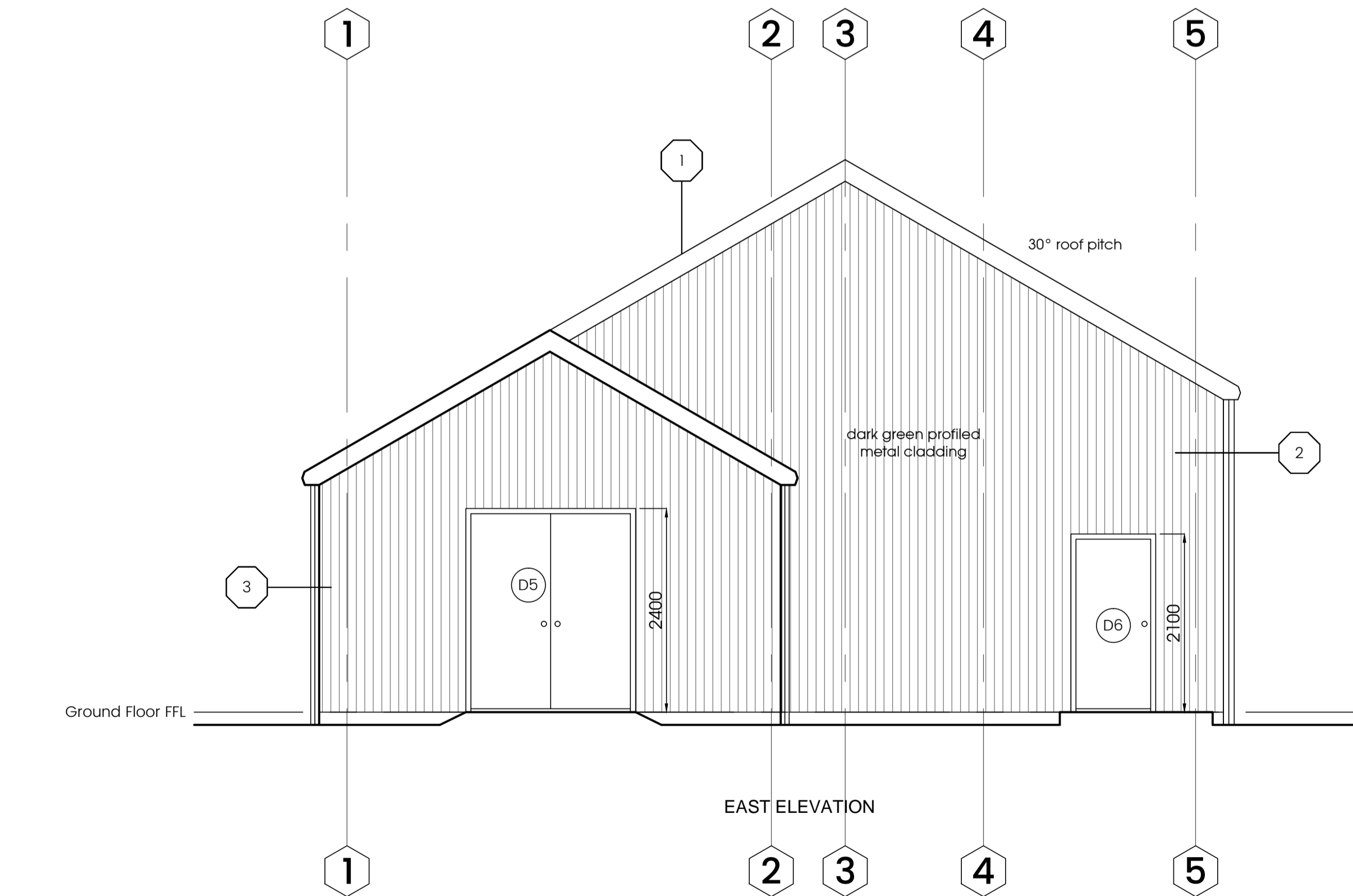
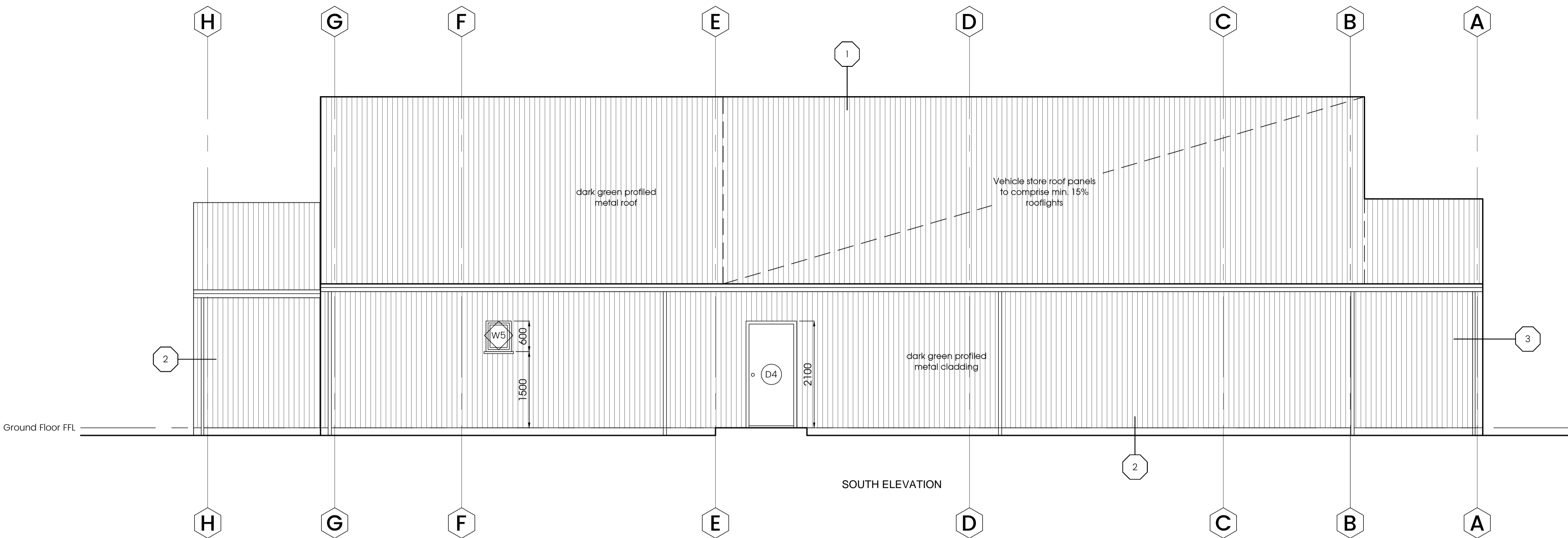


revision	amendments	date
C	TENDER ISSUE	24-05-18
B	updated notes	23-05-18
A	BUILDING REGS ISSUE	08-05-18
/	-	27-04-18
drawing title		scale
OUTDOOR SERVICES DEPOT ELEVATIONS SHEET 1 OF 2		1:50 @ A1
project title		
DIDCOT TOWN COUNCIL EDMONDS PARK OUTDOOR SERVICES DEPOT PARK ROAD, DIDCOT		

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architects

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Chilton Road  
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project no. 1765 drawing no. A-202 rev. C



CONTRACTOR PLEASE NOTE:

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## CONSTRUCTION NOTES

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See Energy Performance note for min. required u-values.

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Emergency egress windows - to have unobstructed area of 0.33m² (750mm x 450mm), with a minimum opening of 450mm.

**SAFETY GLAZING & MANIFESTATION**  
All glazing in critical locations to be provided to comply with Building Regs part K and part M including manifestation where applicable. Glazing within 800mm of ground floor level, glazing in doors within 1500mm of floor level, and any glazing within 300mm of a door within 1500mm of floor level, is to be safety glazing complying with BS EN 6206 and BS EN 12600.

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The fabric of the building must meet requirements in Part L2A, including the minimum u-values:  
Roofs: 0.25W/m².K.  
Walls: 0.35W/m².K.  
Floors: 0.25W/m².K.  
Windows (including rooflights): 2.2W/m².K.  
Personnel doors: 2.2W/m².K.  
Vehicle sectional overhead doors: 1.5W/m².K.  
A min. air permeability rating of 10 must be achieved.

- 1 Pitched Warm Roof**
- 80mm composite steel cladding system AS35 by Steadmans to achieve min. 0.25 u-value. Installed to manufacturer specification and details.
  - Roof structure per S.E. drawings

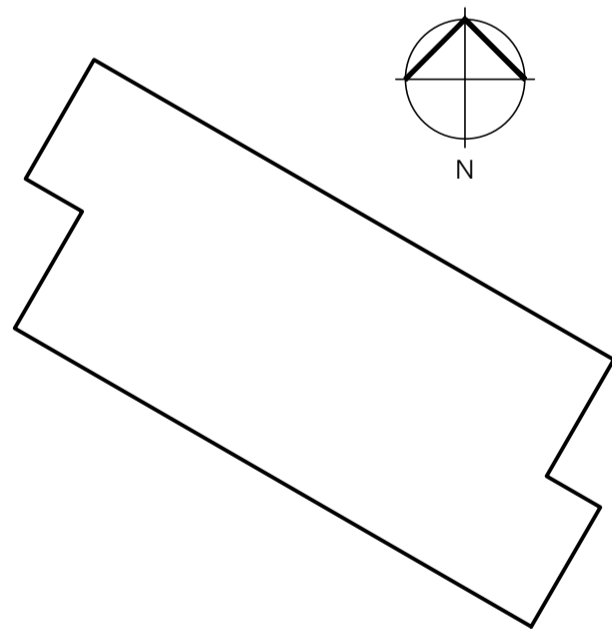
- 2 External Wall Construction**
- 60mm composite steel cladding system AS35 by Steadmans to achieve min. 0.35 u-value. Installed to manufacturer specification and details.
  - Sheet piling rails per manufacturer specification and details.
  - Steel portal frame per S.E. drawings
  - 100mm blockwork to S.E. specification
  - 12.5mm plasterboard with tape and fill to staff areas ONLY.

- 3 External Wall Construction - Sports Store**
- Profiled steel cladding to match main cladding system. Installed to manufacturer specification and details.
  - Fixings through top hat or C-section to suit alignment with adjacent main building to manufacturer details
  - 100mm blockwork to S.E. specification

- 4 Ground Floor Construction - Staff Areas**
- Floor finish: Polyflor vinyl sheet
  - 75mm sand cement screed containing underfloor heating pipes
  - 500g separation layer
  - 70mm Kingspan Kooltherm K103 Floor Board to achieve min. 0.25 u-value, with 20mm upstand at perimeter
  - RC slab and substrates per SE drawings
  - 1200 polythene DPM fully lapped under DPC

- 5 Ground Floor Construction - Store Areas**
- RC slab and substrates per SE drawings
  - 1200 polythene DPM fully lapped under DPC

- 6 Mezzanine Floor Construction**
- Flooring grade chipboard to SE specification.
  - Joists & steels per SE drawings
  - Mineral fibre insulation to achieve min. 0.25 u-value.
  - 2no. layers of 12.5mm plasterboard ceiling with skim finish to achieve 60 minutes fire resistance

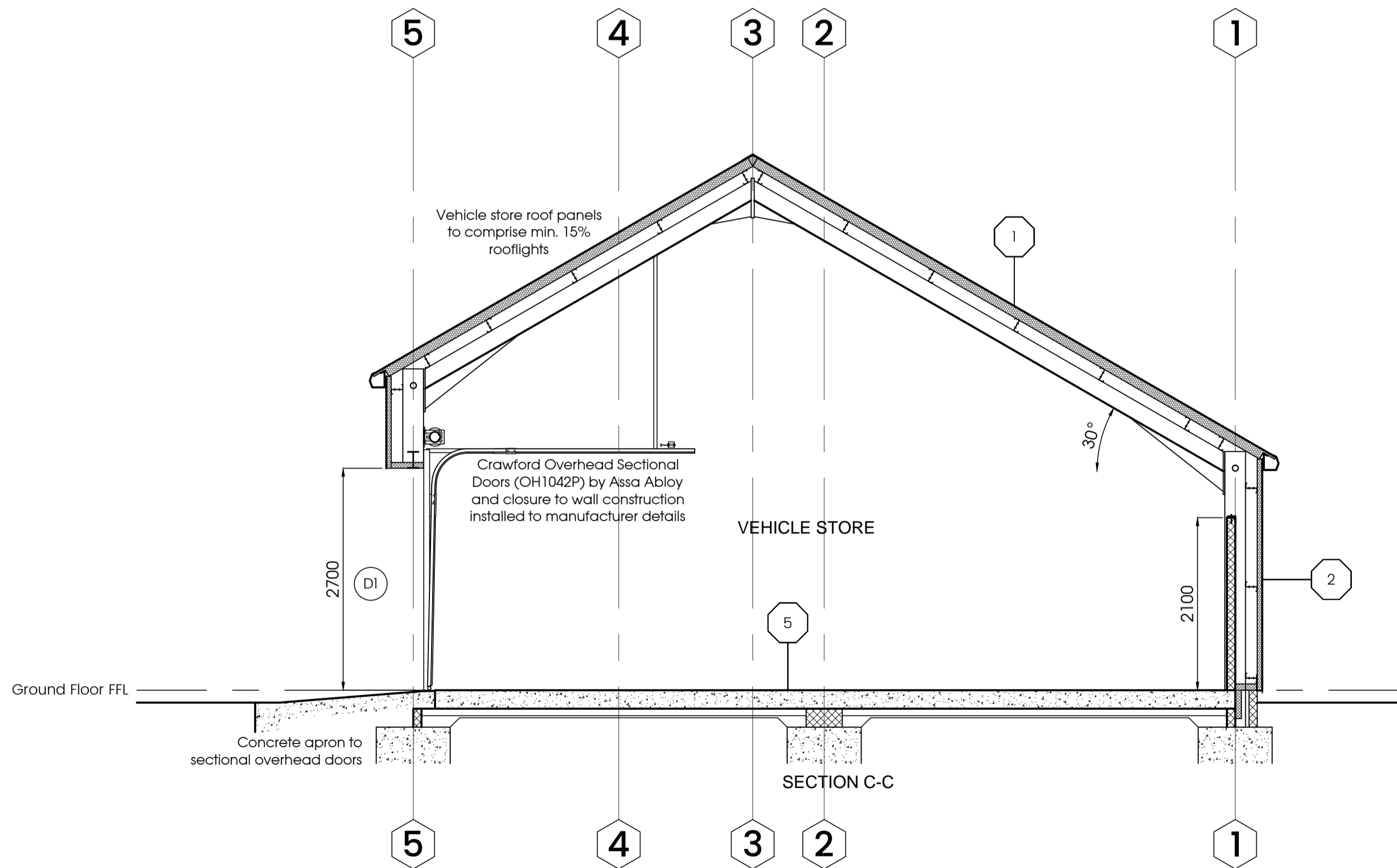
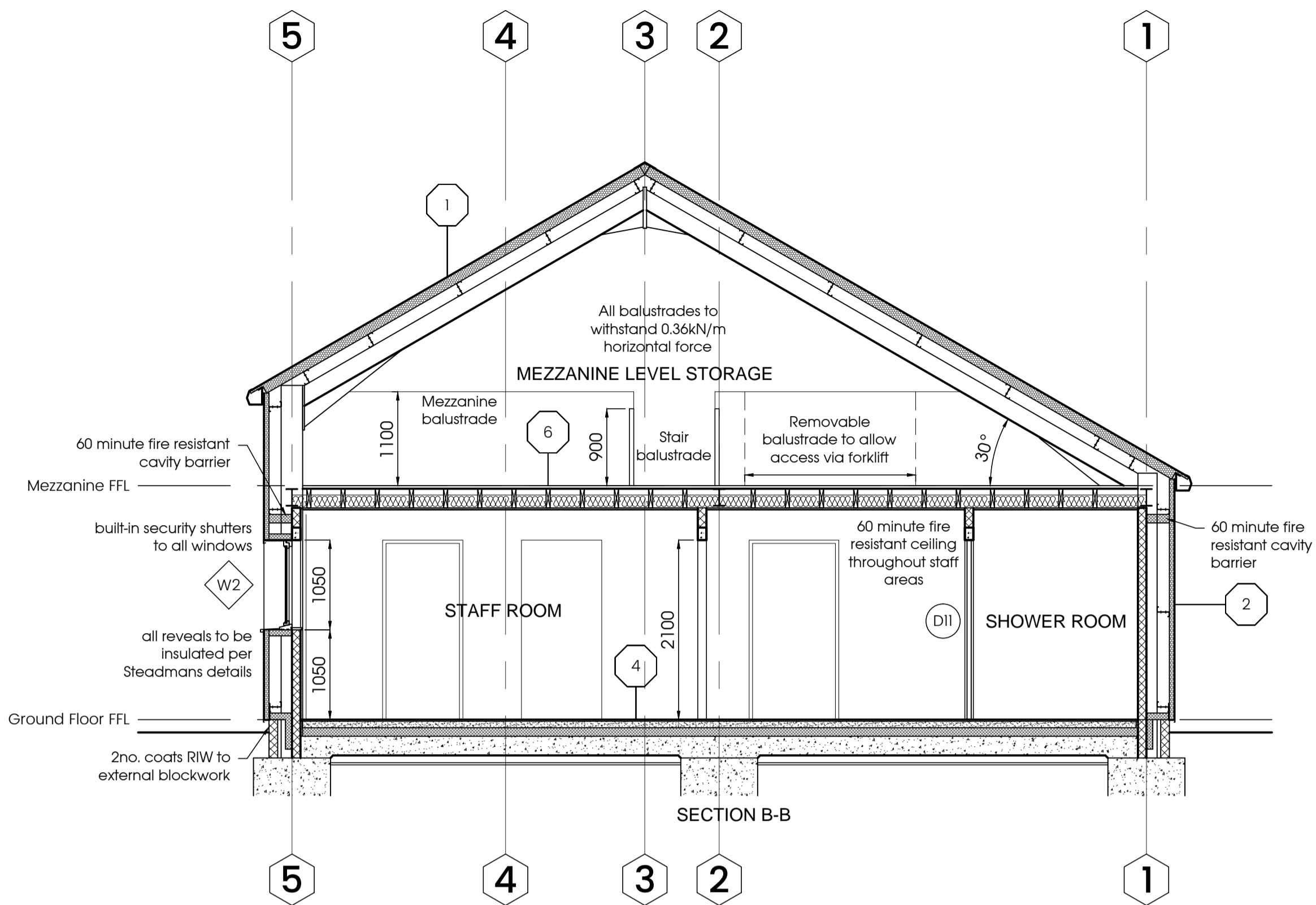
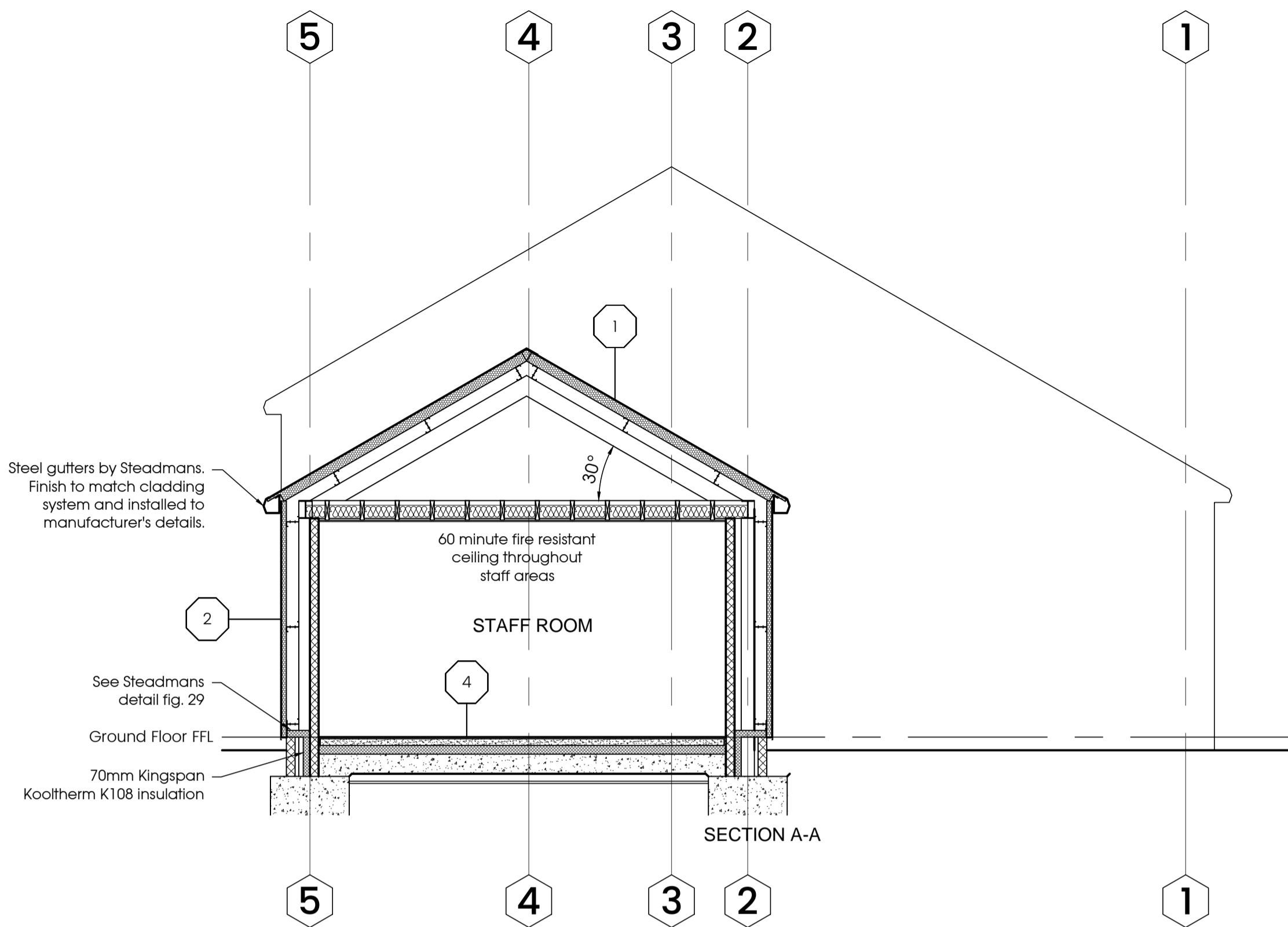


revision	amendments	date
C	TENDER ISSUE	24-05-18
B	updated notes	23-05-18
A	BUILDING REGS ISSUE	08-05-18
/	-	27-04-18
drawing title		scale
OUTDOOR SERVICES DEPOT ELEVATIONS SHEET 2 OF 2		1:50 @ A1
project title		
DIDCOT TOWN COUNCIL EDMONDS PARK OUTDOOR SERVICES DEPOT PARK ROAD, DIDCOT		

RPA  
architects

Strathfield House  
Chilton Road  
Upton  
Oxon  
OX11 9JL

project no. 1765 drawing no. A-203 rev. C



CONTRACTOR PLEASE NOTE:

- DO NOT SCALE FROM DRAWINGS
- ANY APPARENT DISCREPANCIES ARE TO BE NOTIFIED TO THE ARCHITECT AND DIMENSIONS ARE NOT TO BE ASSUMED
- IF IN DOUBT ASK!

## CONSTRUCTION NOTES

**GENERAL NOTE ON MATERIALS**  
Materials to comply with appropriate British Standards or Agre and relevant numbers should be provided. Alternatively, materials must be marked, stamped and independently certified or otherwise to show their suitability. Materials should be in accordance with BS8000 series of documents and other accepted good practice (e.g. Quality assured to ISO9000).

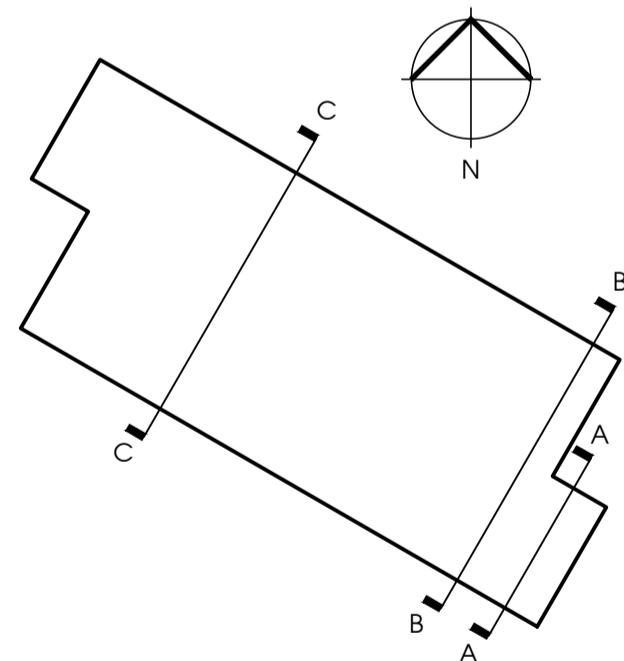
**WINDOWS AND EXTERNAL DOORS**  
Built-in security shutters provided to all windows - contractors supplier to approval.  
See Energy Performance note for min. required u-values.

**ESCAPE WINDOWS**  
Emergency egress windows - to have unobstructed area of 0.33m² (750mm x 450mm), with a minimum opening of 450mm.

**SAFETY GLAZING & MANIFESTATION**  
All glazing in critical locations to be provided to comply with Building Regs part K and part M including manifestation where applicable. Glazing within 800mm of ground floor level, glazing in doors within 1500mm of floor level, and any glazing within 300mm of a door within 1500mm of floor level, is to be safety glazing complying with BS EN 6206 and BS EN 12600.

**ENERGY PERFORMANCE**  
The fabric of the building must meet requirements in Part L2A, including the minimum u-values:  
Roofs: 0.25W/m².K.  
Walls: 0.35W/m².K.  
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OUTDOOR SERVICES DEPOT SECTIONS		1:50 @ A1
project title		
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