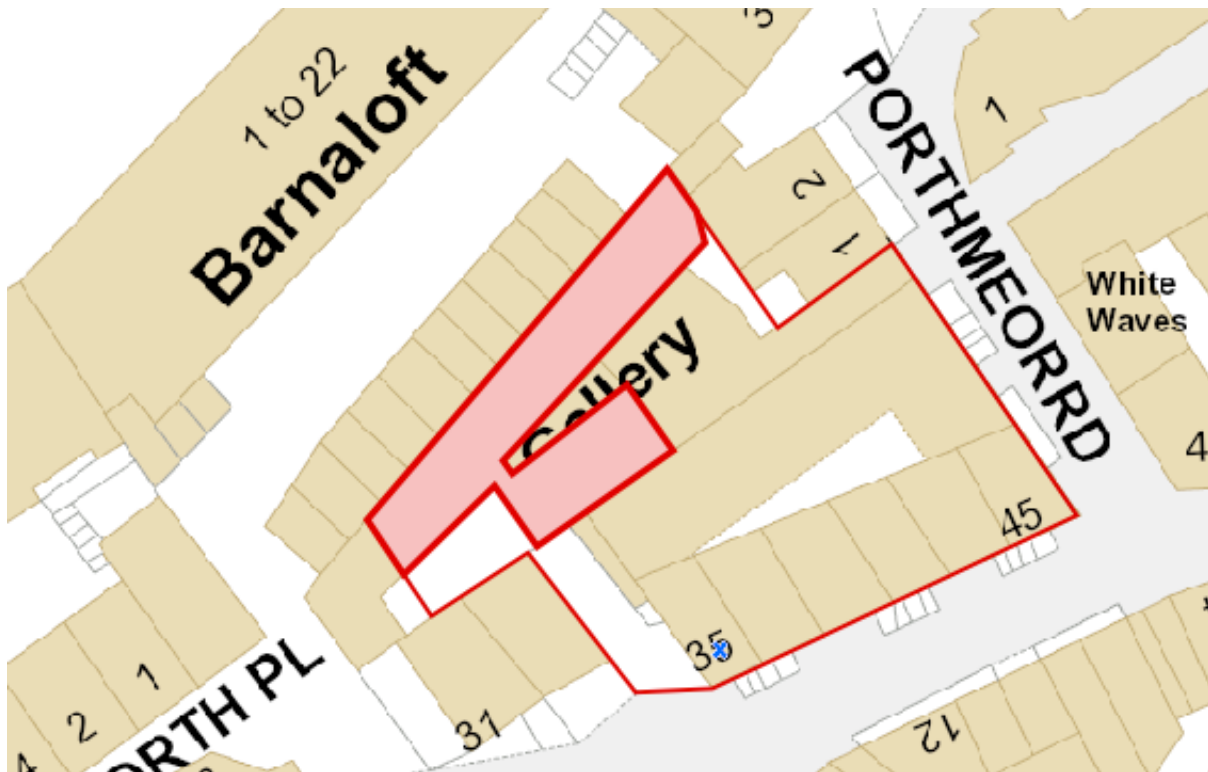


**Refurbishing of Print Workshops and Studios  
The Penwith Gallery  
Back Road West  
St.Ives  
TR26 1NL**

**OUTLINE SCHEDULE OF WORK**

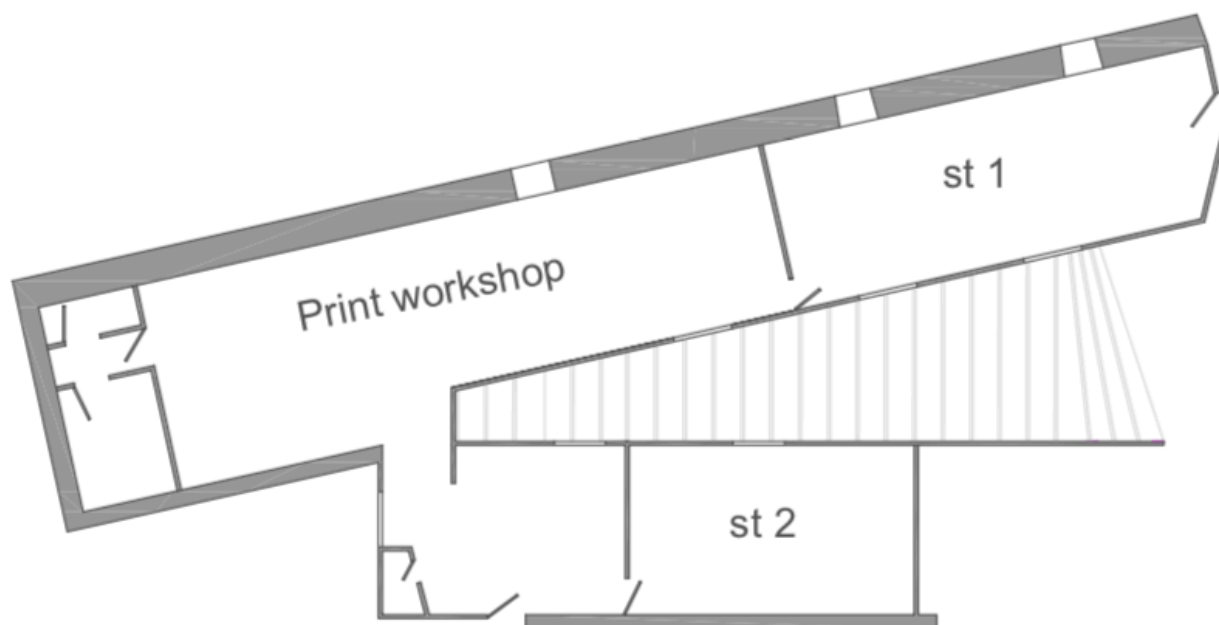
October 2023

This schedule describes the works required to carry out essential upgrading, repair and refurbishment in the first floor Print Workshops and adjacent studios at The Penwith Gallery in St.Ives. The improvements planned will address concerns raised by a fire consultant engaged by The Gallery to advise on issues such as means of escape.



**Preliminaries:**

The print workshop and adjoining studios will be vacated for the duration of the works, but neighbouring studios and the main gallery below will be in use. Contractors will therefore have to respect existing building users and liaise with the gallery regarding storage of materials, use of noisy power tools, etc. An asbestos survey will be carried out by the Penwith Society of Arts (PSA), the owners of the workshops and studios in question, before works commence. All artwork and loose items will be removed or stored away and the works areas made clear prior to commencement. Note that existing electrical fittings are to be retained where possible. No heating is currently provided in the studios – heaters are supplied by tenants on agreement with PSA.



Above: Existing First Floor Plan. Entrance is at the bottom of the plan to the left of Studio 2

1. Asbestos Removal: Before building works commence carry out the safe removal of any asbestos products identified in the survey by a specialist licenced company.
2. Stripping Out: Inspect electrical installation and isolate any electrical fittings that are likely to be affected by the works. In Studio 1 (photos below) remove all existing plasterboard ceilings on both roof slopes exposing rafters above. Take care not to disturb existing purlins and 'A' frame trusses as these are to be retained. Remove the non-structural timber framed partition separating Studio 1 from the print workshops.



Above: Studio 1 looking North towards the original first floor fire exit





Studio 1

In the Print Workshop, dismantle the non-structural timber partitions between the workshop and the inner office complete with the part-glazed fire door and frame. Retain the fire door and frame for later re-use (see below). Throughout the workshops and the small Studio 2 remove the fibre-board ceilings. Note that any fire or smoke alarms on the ceilings are to be removed beforehand and retained for re-use.



Above: Looking down the main print workshop towards the back office

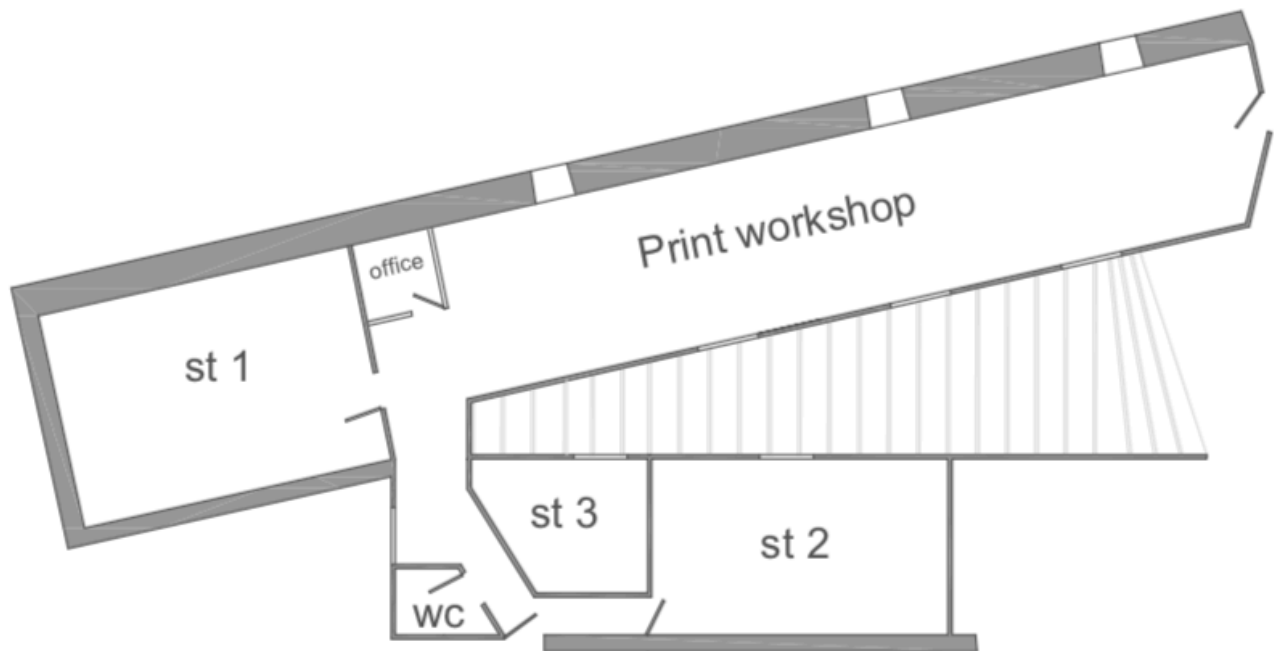




At the entrance to Studio 2, remove the entrance door and frame. Remove the wash basin and WC in the toilet adjacent to the entrance. Dismantle the toilet partitions and remove the sliding door. Retain waste pipe connections and water supply pipes for adapting and re-use in the new toilet layout



### 3. New Ceilings and Roof Repairs:



Above: Proposed concept plan showing new studio and workshop arrangement. Note that a partition and fire door will be required between the circulation area and the print workshop. Studio 3 requires an entrance door

4. Re-Location of Studio 1: Construct a new timber stud partition between the circulation area and new Studio 1 from 50x75mm CLC studwork @ 400mm c/c's. Partition to be located to coincide with the line of an 'A' frame truss. Incorporate a door lining and fire door re-using the salvaged fire door from the 'inner office'. Insulate the partition with 75mm 'Rockwool SoundBloc' mineral fibre batts and clad both sides with 12.5mm Gypsum FireLine plasterboard. Tape joints and plaster skim. Following removal of fibreboard ceiling, clad the entire ceiling area with 12.5mm foil backed plasterboard. Tape joints with scrim tape and plaster skim
5. New Office to Studio 1: Construct new small office from sound-insulated timber stud partitioning as detailed clause (4) above using existing roof structure for setting out points. Partition to incorporate new separating wall between circulation space and print workshop. Construct 2no. doorways into office and workshop using door linings suitable for 838mm FD30S flush paint-ply fire door. Supply and fit fire doors with vertical glazed panels matching existing office fire door. Construct new plasterboard ceilings as detailed above following removal of fibre-board panels
6. Print Workshop: Re-position acid bath at end of print workshop as directed on site. Following removal of defective plasterboard, clad ceilings with new foil backed plasterboard and skim throughout as detailed above
7. Protected Escape Corridor: Create protected escape corridor from entrance door to each studio / workshop with new timber framed fire and sound-proofed partitions either side. Note that the existing single step between the change in levels is to be retained. Remove the contrasting marking strip and replace with a more permanent contrasting nosing
8. Studio 2 Upgrade: The timber stud partition between Studio 2 and new Studio 3 (existing workshop space) to have fibre-board panels removed from either side. Partition to be strengthened / repaired if required, insulated with 'Rockwool SoundBloc' to full depth of studs and clad both sides with FireLine board and skim. Door lining to be replaced with lining compatible with fire door. Supply and fit new 838mm 30-minute fire door as detailed in (5) above. Following the removal of the fibre-board ceilings, fit new foil backed plasterboard ceiling and skim as detailed above

9. New Studio 3: The section of the former print studio is to be converted into Studio 3 by constructing new timber framed insulated partitions as detailed above. Replace the former fibre-board ceilings with new plaster-board as detailed above. Clad the ceiling with new plasterboard and skim as detailed above
10. New Toilet: Following the stripping out of the old toilet and clearing of this area, raise the timber first floor with new s/w joists to suit existing floor finish. Clean down and repair the blockwork wall. Insulate between joists with full depth Rockwool. Clad joists with 18mm T&G Weyroc / chipboard sheeting. Construct new insulated timber framed partition (as detailed above) incorporating door lining and 838mm solid core paint-ply door. Clad inside with Knauf 'Aquapanel' / outside with 12.5mm standard gypsum plasterboard. Partition to extend up to u/s ceiling. Clad the ceiling with new plasterboard and skim as detailed above. Supply and fit new close-coupled toilet with soft-close toilet seat and wash basin in cabinet for storage of toilet goods. All fittings to be in white and to be supplied with taps, wastes, overflows, fittings, etc. Connect sanitary fittings to existing wastes and water supply pipes. Supply and fit toilet roll holder and coathook for back of door
11. Joinery: All new partitions / doorways to be fitted with Howdens Burford primed MDF 120mm skirting boards and 70mm architraves. Doors to be supplied with all ironmongery as agreed with PSA
12. Decoration: All newly plastered partitions and ceilings are to be painted with 1 coat mist and 2 coats Dulux Trade white emulsion. Joinery including doors to be primed and painted with 2 coats white Satin Dulux Trade water-based paint
13. Fire Alarm: Following discussion with M&E sub-contractors, include a realistic provisional sum for the installation of a new fire alarm system including emergency lighting and signage
14. Completion: On completion of work remove all materials, tools, debris etc and carry out a building clean. Leave the site in a clean and tidy condition suitable for occupation.

Michael R Bradbury RIBA  
Mike Bradbury Design  
Studio St.Ives  
4 Gabriel Street  
St.Ives  
TR26 2LU

09 October 2023