

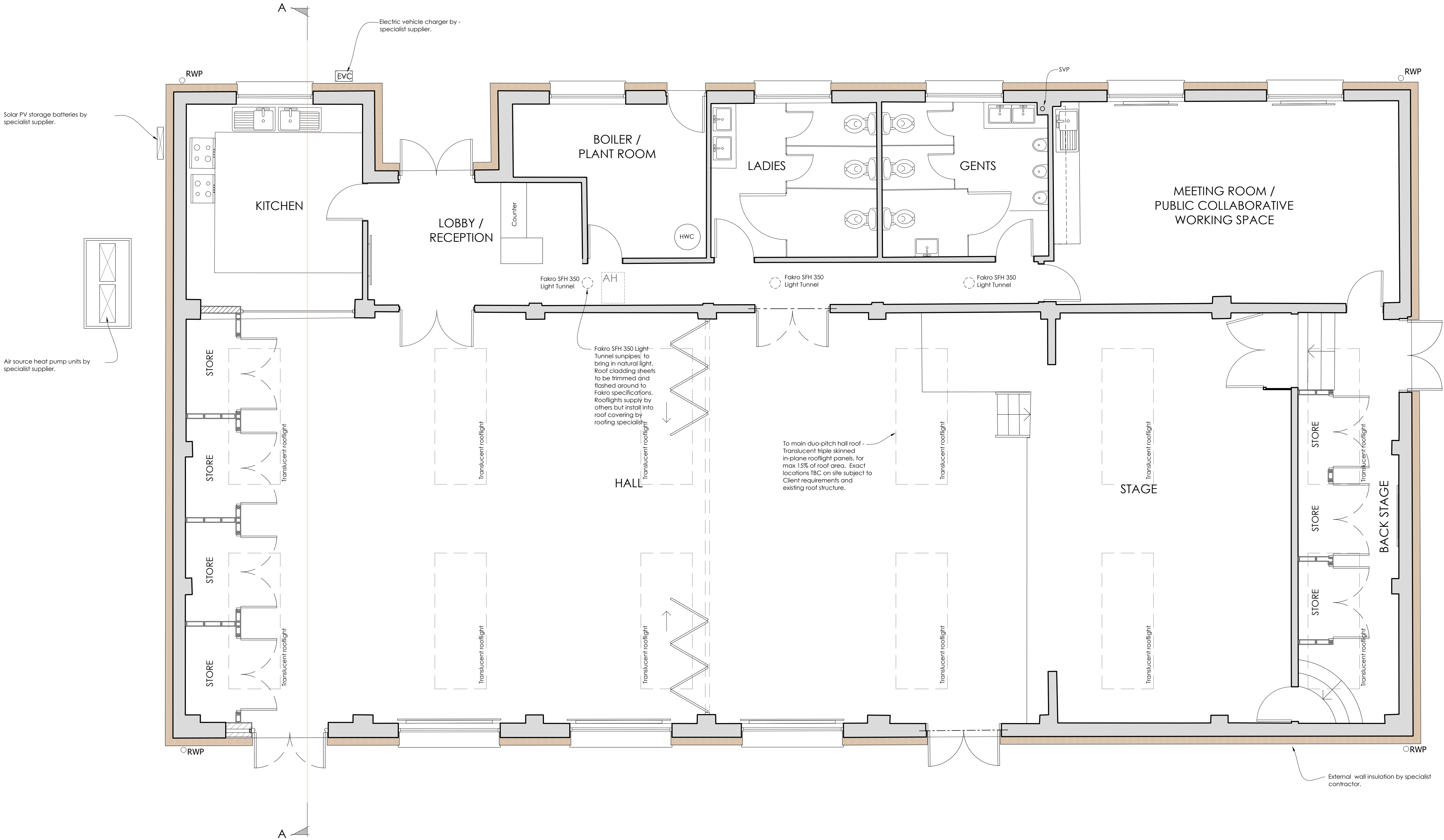
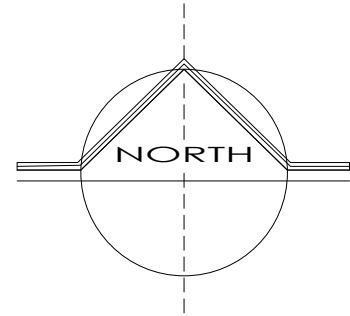




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**ASBESTOS.**  
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PROPOSED FLOOR PLAN 1 : 50

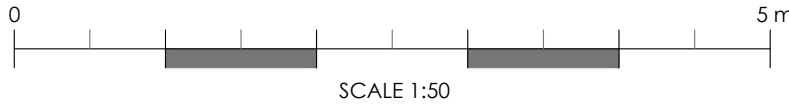
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REVISIONS

REV.	DATE	DESCRIPTION
00/00/00		

REV.	DATE	DESCRIPTION
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CLIENT  
**ST NEWLYN EAST VILLAGE HALL**

PROJECT DESCRIPTION  
**REFURBISHMENT WORKS**

DATE  
11.12.2023

DRAWN  
RC

LOCATION  
**NEEHAM ROAD,  
ST NEWLYN EAST, TR8 5LE.**

DRAWING TITLE  
**PROPOSED FLOOR PLAN  
(ROOFING WORKS)**

SCALE  
As Noted @A1

STAGE  
**TENDER**

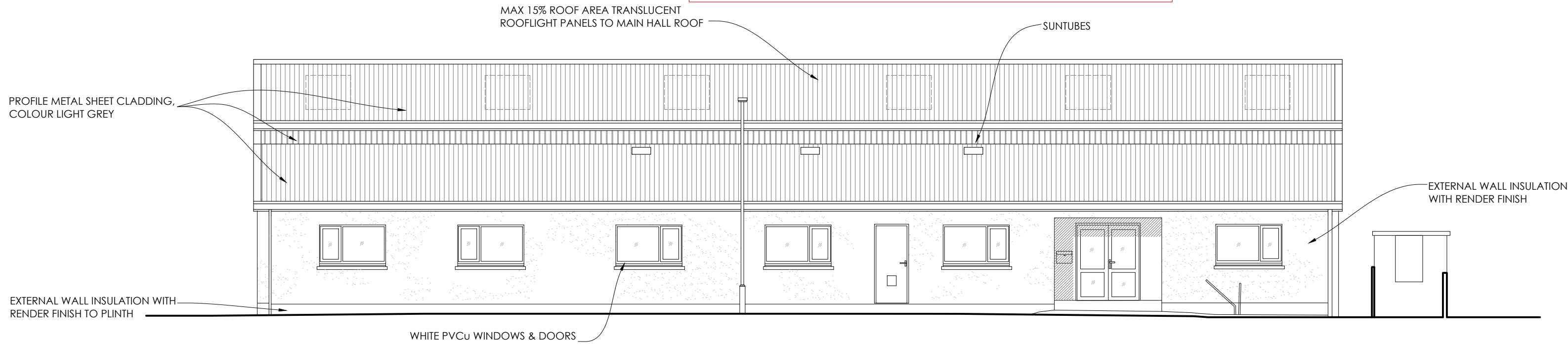
DRAWING NO. REV.  
**TR 02 -**



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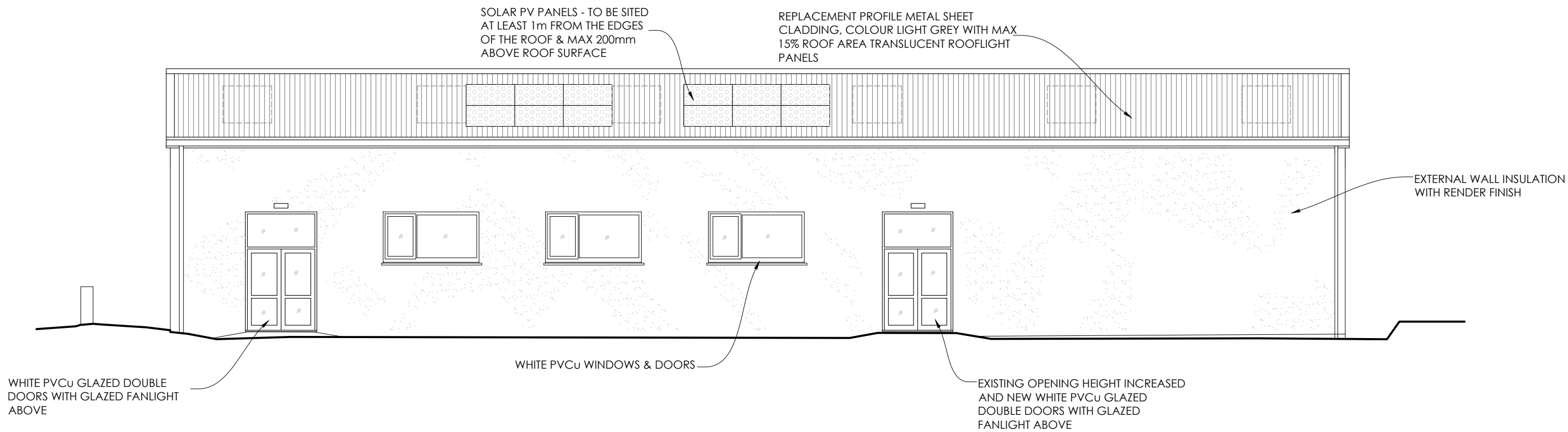
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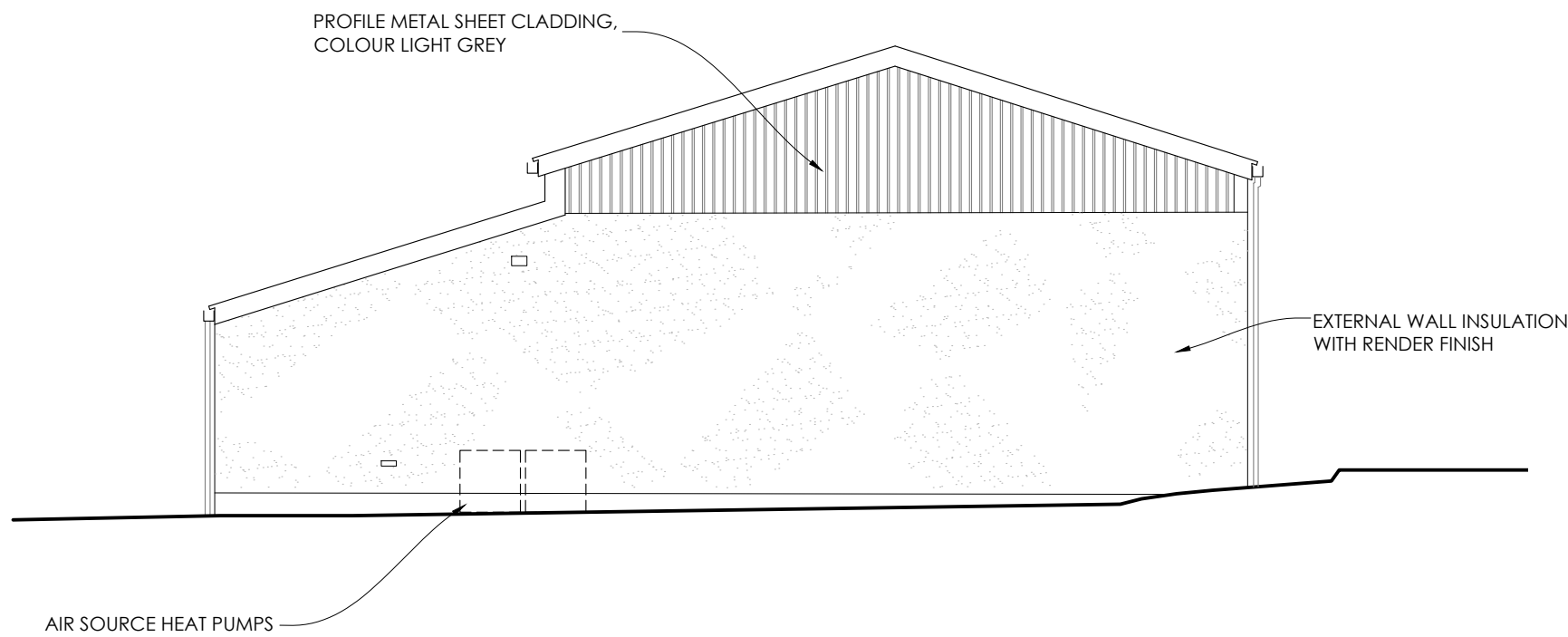
NORTH ELEVATION 1:100



EAST ELEVATION 1:100



SOUTH ELEVATION 1:100



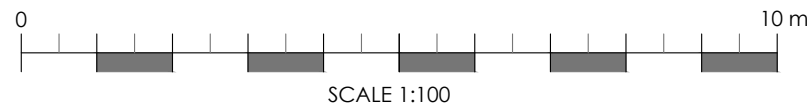
WEST ELEVATION 1:100

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## REVISIONS

REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION
1	00/00/00				



CLIENT  
**ST NEWLYN EAST VILLAGE HALL**

PROJECT DESCRIPTION  
**REFURBISHMENT WORKS**

DATE  
11.12.2023

DRAWN  
RC

LOCATION  
**NEEHAM ROAD,  
ST NEWLYN EAST, TR8 5LE.**

DRAWING TITLE  
**PROPOSED ELEVATIONS  
(ROOFING WORKS)**

SCALE  
As Noted @A1

STAGE  
**TENDER**

DRAWING NO. REV.  
**TR 03 -**





GENERAL NOTES:

**MATERIALS AND WORKMANSHIP:**  
Building work is to be carried out with adequate & proper materials which are appropriate for the circumstances in which they are used; are adequately mixed or prepared; and which are applied, used or fixed so as adequately to perform the functions for which they are designed; and all in a workmanlike manner. For interpretation of the above refer to the Approved Document Reg 7 Building Regulations 2000.

**LIMITING THERMAL BRIDGING & AIR LEAKAGE:**  
The construction should be carried out to ensure that there are no reasonably avoidable thermal bridges in the insulation layers caused by gaps within the various elements, at the joints between elements, and at the edges of elements.

The Contractor is to obtain a copy of the Accredited Construction Details for Part I published on the planning portal which have been developed to assist the contractor to achieve the performance standards required to demonstrate compliance with the energy efficiency requirements of the Building Regulations.

Additional details are also provided by the Energy Savings Trust known as Enhanced Construction Details which give improved performance beyond the basic requirements.  
It is recommended that the Contractor obtains copies of these details and familiarises himself with the techniques to improve construction.

EXISTING EXTERNAL WALLS:

The existing external masonry walls are assumed to be of cavity construction.  
The existing walls are to be clad with a proprietary external wall insulation cladding to all masonry walls, with the insulation manufacturer's recommended thin coat render finish. Masonry external walls to achieve a U-value of 0.18W/mK.

The wall areas formed by the new vertical metal claddings are also to achieve a U-value of 0.18W/mK.

STEEL ROOF CLADDING - INCLUDING GABLE WALL PANELS:

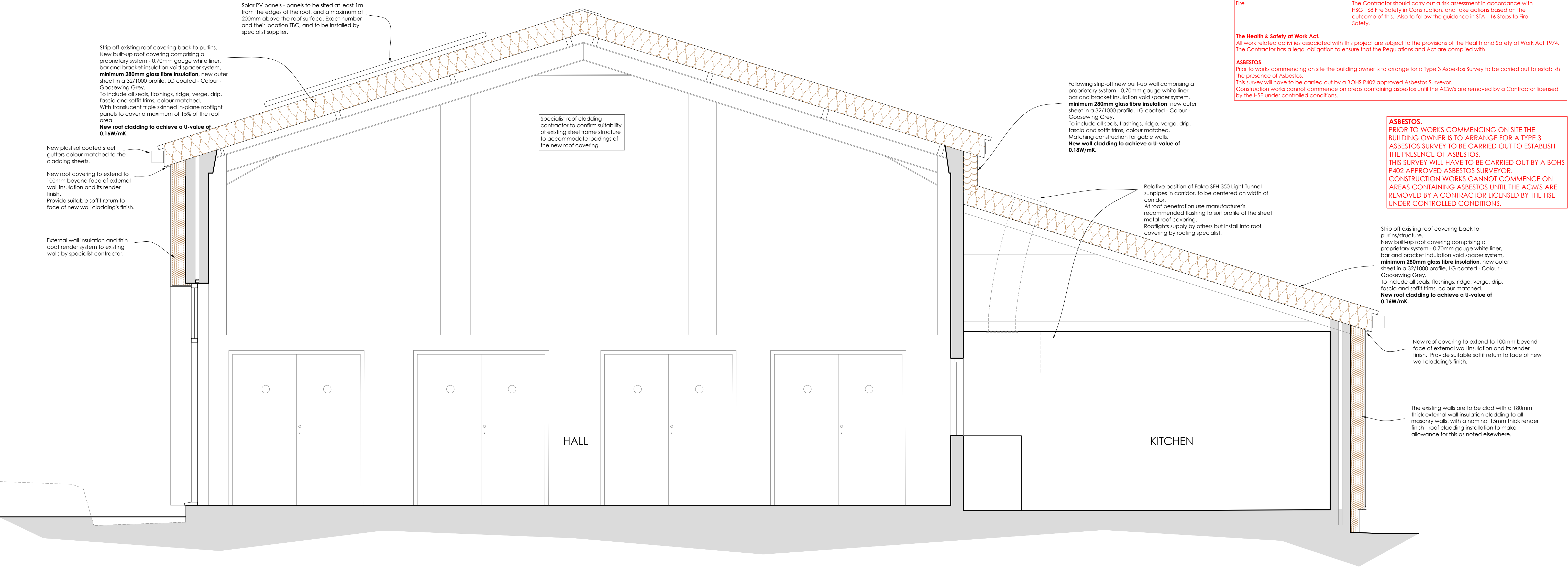
**Pitched roofs:**  
Strip off the existing profiled metal roofing sheets, soffit & fascia trims, etc., insulation (if any). Including cladding to gable ends and wall above lean-to roof, and dispose to a suitable licenced recycling/disposal facility.

New built-up roof covering comprising a proprietary system - 0.70mm gauge white liner, bar and bracket insulation void spacer system, **mineral wool/glass fibre insulation as per cladding manufacturers specification to achieve 0.16 U-value**, new outer sheet in a 32/1000 profile, LG coated - Colour - Goosewing Grey.  
To include all seals, flashings, ridge, verge, drip, fascia and soffit trims, colour matched.  
**Roof to achieve U-value of 0.16W/m²K or better.**

**Gable walls & wall above lean-to:**  
Following strip-off new built-up wall comprising a proprietary system - 0.70mm gauge white liner, bar and bracket insulation void spacer system, **mineral wool/glass fibre insulation as per cladding manufacturers specification to achieve 0.18 U-value**, new outer sheet in a 32/1000 profile, LG coated - Colour - Goosewing Grey.  
To include all seals, flashings, ridge, verge, drip, fascia and soffit trims, colour matched.  
**Wall to achieve U-value of 0.18W/m²K or better.**

**GUTTERS:**  
New plastisol coated steel gutter system including brackets and outlets, colour matched to the cladding sheets, with nominal 100mm dia down pipes to discharge into the existing surface water gullies/disposal system.

**SUNPIPES:**  
Fakro SFH 350 Light Tunnels with either rigid or flexible ductwork sited where indicated on plan. Installed in accordance with manufacturer's instructions. To have a flashing kit to suit the profile of the metal roof cladding sheets, and internal ceiling mounted diffuser.



SECTION A - A 1 : 2 5

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**CDM 2015 (COMMERCIAL - NOTIFIABLE):**  
This project involves works where the Client is a Commercial Client and is **notifiable** to the HSE as the construction phase is expected to exceed 500 person days.

**Summary of clients role/ duties:**

- make suitable arrangements for managing a project, including making sure other Dutyholders are appointed as appropriate, and that sufficient time and resources are allocated to the project.
- make sure that relevant information is prepared and provided to other Dutyholders.
- make sure that the Principal Designer and Principal Contractor carry out their duties.
- make sure that welfare facilities are provided.

On this project our role as Designer is to secure Building Regulation approval and, accordingly, we have fulfilled our duties under the CDM 2015 Regulations up to that point. At this stage our role as Principal Designer will cease.  
All relevant Health and Safety information will be passed to the Client for distribution to the Principal Contractor.

For the construction stage of this project all Designers will have Designer Duties under the CDM Regulations 2015. Designers include any person who as part of their business:

- prepares or modifies a design,
- arranges for, or instructs, any person under their control to do so, relating to a structure, or to a product or mechanical or electrical system.

**Design hazard elimination & risk reduction:**  
The scope of the works are clearly illustrated on our drawings and described in our specification.  
In the design of this project, we have eliminated as far as reasonably practicable any foreseeable risks.  
It is considered that there are no significant risks remaining that will not be obvious to a competent Contractor or Designer.  
Installations involving / requiring hot processes will increase the fire risk and should be avoided.

The works on this project include an internal fit out of an existing building. The landlord/building owner is to provide the building's existing Health and Safety File to the Principal Contractor. This is to include details of all services, any hazards not previously eliminated and any hazardous materials.

<b>Risk</b> Structural collapse	<b>Action</b> The superstructure design should be carried out in accordance with the relevant temporary works design guidance to ensure stability is maintained during the construction phase.
<b>Fire</b>	The Contractor should carry out a risk assessment in accordance with HSG 168 Fire Safety in Construction, and take actions based on the outcome of this. Also to follow the guidance in STA - 16 Steps to Fire Safety.

**The Health & Safety at Work Act.**  
All work related activities associated with this project are subject to the provisions of the Health and Safety at Work Act 1974. The Contractor has a legal obligation to ensure that the Regulations and Act are complied with.

**ASBESTOS.**  
Prior to works commencing on site the building owner is to arrange for a Type 3 Asbestos Survey to be carried out to establish the presence of Asbestos.  
This survey will have to be carried out by a BOHS P402 approved Asbestos Surveyor.  
Construction works cannot commence on areas containing asbestos until the ACM's are removed by a Contractor licensed by the HSE under controlled conditions.

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Strip off existing roof covering back to purlins/structure.  
New built-up roof covering comprising a proprietary system - 0.70mm gauge white liner, bar and bracket insulation void spacer system, **minimum 280mm glass fibre insulation**, new outer sheet in a 32/1000 profile, LG coated - Colour - Goosewing Grey.  
To include all seals, flashings, ridge, verge, drip, fascia and soffit trims, colour matched.  
**New roof cladding to achieve a U-value of 0.16W/mK.**

New roof covering to extend to 100mm beyond face of external wall insulation and its render finish. Provide suitable soffit return to face of new wall cladding's finish.

The existing walls are to be clad with a 180mm thick external wall insulation cladding to all masonry walls, with a nominal 15mm thick render finish - roof cladding installation to make allowance for this as noted elsewhere.

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CLIENT  
**ST NEWLYN EAST VILLAGE HALL**

PROJECT DESCRIPTION  
**REFURBISHMENT WORKS**

DATE  
11.12.2023

DRAWN  
RC

LOCATION  
**NEEHAM ROAD,**  
ST NEWLYN EAST, TR8 5LE.  
DRAWING TITLE  
**SECTION A-A**  
**(ROOFING WORKS)**

SCALE  
As Noted @A1

STAGE  
**TENDER**

DRAWING NO.  
**TR 04**

REV.  
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