

Conservation Statement

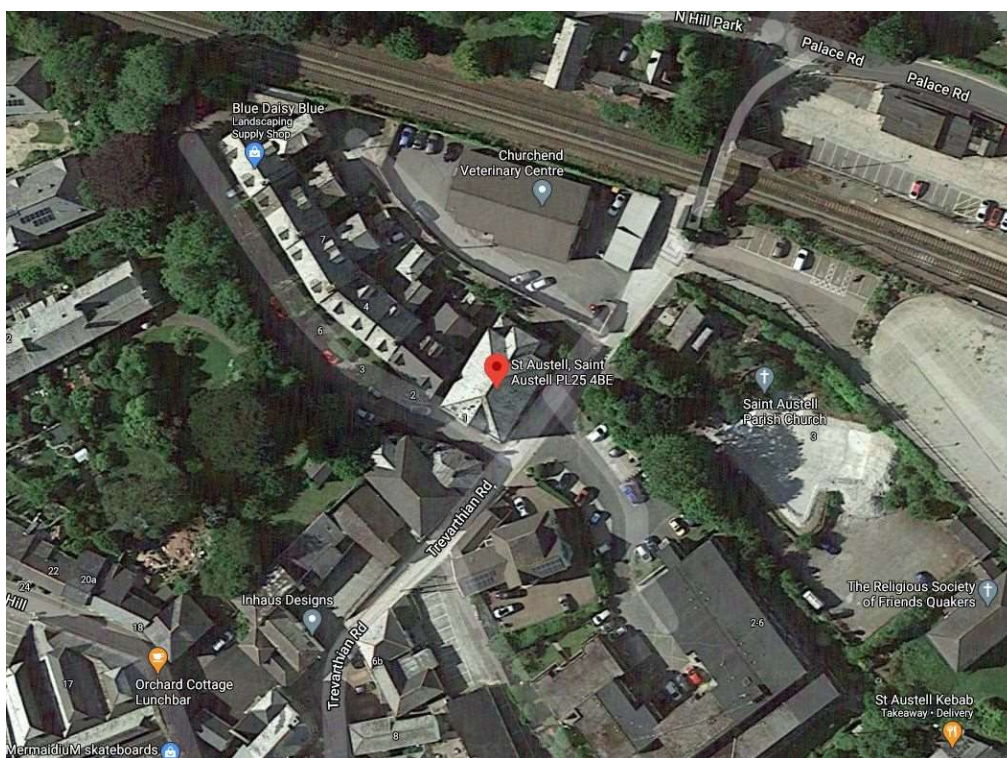
**Proposed conversion to form 4No dwellings,
Tregarne Chapel, Tregarne Terrace, St Austell, PL25 4BE**

The Site and Surrounding Area

The application site is located to the North East of St Austell town centre on Trevarthian Road and is to the West and within close walking distance to St Austell Train Station.

The Site is located with the St Austell Conservation Area and was built, in 1891 and also known as the former Zion Chapel. There is a mixture of architectural styles along Trevarthian Road and the surrounding areas which have developed over time. Adjacent the Application site are modern commercial buildings of predominantly rendered walls and slate or concrete roof tiles.

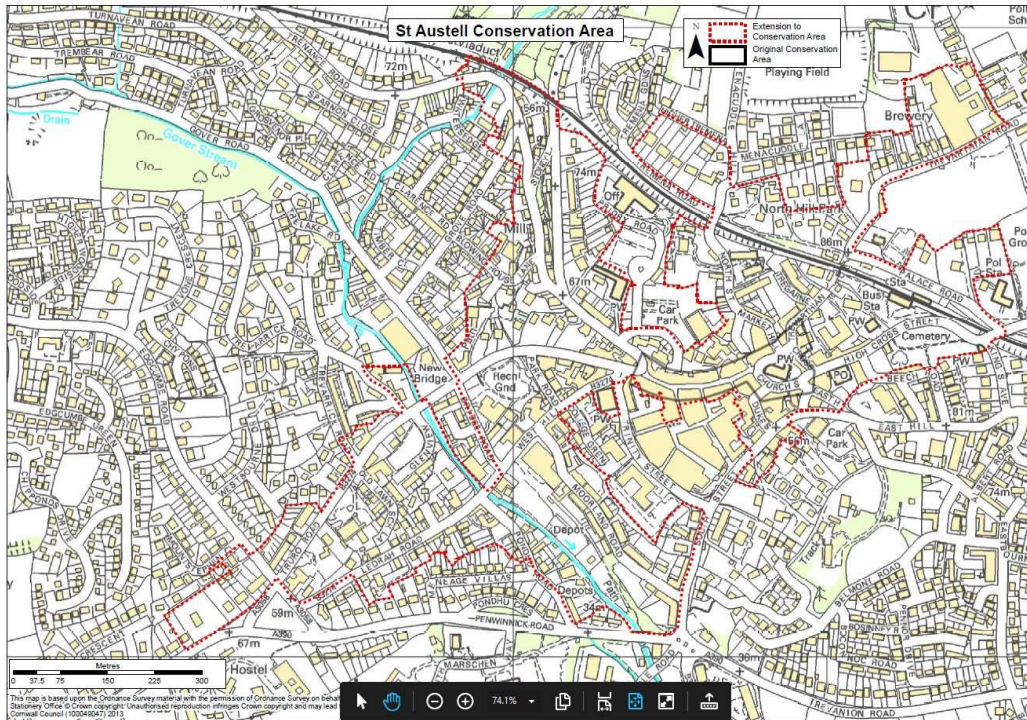
The adjacent houses on Tregarne Terrace are all large period stone faced dwellings with natural slate roofs.



Aerial View

Overview

The objective of this Application is to provide a more modest conversion of the main building to provide 4 modest 3 bed dwellings each over two storeys. The former Sunday school will be subtly modified to provide covered parking for 5 No vehicles and cycle storage. The end-terrace / care-takers cottage will be modified to provide a full staircase and a small existing hipped lean-to roof will be raised slightly to provide the necessary head-room. A small verandah is also proposed to provide a small area of outside space largely obscured from view and with 1.7m high obscure glazed screening to prevent overlooking.



Conservation area map

St Austell Conservation Area

The original St Austell Conservation Area was designated in 1967 then extended in 1976 before being significantly enlarged in 2013 following more significant Historical studies.

The proposals have been designed to align with the principles of the Conservation Area Policy where relevant and as such;

1. Preserve or enhance the special character within the Conservation Area
2. Respects the scale, character and architectural style of the original building and other buildings in the area.
3. Constructed in materials to match existing.

Character and Appearance

The former Chapel and Sunday School have retained their original form but have been un-used since 1994 and so fallen into a state of dis-repair and dereliction.

The external facades require significant repair and improvement to prevent water ingress and the internal spaces require clearing and gutting with significant investment required to bring back in to viable use.

The former Chapel walls appear to be structurally sound although significant roof works are required. The former Sunday School appears to have declined much more seriously with external walls requiring significant structural and aesthetic improvement and major works also required to the roof.

The proposals intent to make minimal alterations to the external walls other than several new opening to suit and a programme of significant repair, maintenance and improvement to bring back into use.



Interior of former Sunday School

The following materials have been selected to complement and enhance the proposals and not introduce erosive factors;

- Reclaimed granite stonework to infills to match existing
- Slate roof tiles to match existing
- Black rainwater goods
- Repaired or new windows style similar to existing
- Conservation rooflights to former Sunday School

Schedule of works – Former Chapel

The following is a summary of proposed alterations;

1. Create new entrance door openings to suit Units 3 and 4
2. Create new rear window to suit Unit 4 Bed 3
3. Infill opening over front façade double entrance doors and make good with granite (recessed) to match existing
4. Replace all external doors and windows with new, style and details similar to existing.
5. Make good existing external roof and walls
6. Repair or replace all rainwater goods
7. Strip out internally and construct new floor and internal fit out as per the Plans
8. Modify former Caretakers Cottage as outlined in the plans and associated Design and Access statement



Former Sunday School from Trevarthian Road

Schedule of works – Former Sunday School

The Applicant has previously considered removing all roofs and wall heights to create an enclosed surface car parking such is the state of dereliction of the former Sunday School. However, further to an on-going dialogue and discussions with the Conservation Officer, the following is a summary of proposed alterations;

9. Remove derelict flat roof and wall as shown on plans
10. Create new opening and new vehicle access doors
11. Replace two areas of derelict flat roof incl removal of existing lantern rooflight.
12. Repair all external doors and windows incl insertion of new windows and doors to suit the layouts
13. Make good existing external roof and walls incl insertion of new Conservation rooflights to suit
14. Replace all rainwater goods with new
15. Strip out internally and construct new floor and internal fit out to suit the plans incl new Garage parking and access levels

Summary

It is considered that the proposals will preserve the existing buildings and historical setting whilst providing modest family accommodation to suit the site constraints.

The Applicant has a proven track record in restoring derelict heritage buildings and bringing back into viable use having recently converted the former Treverbyn old School into family dwellings.

Materials will be sourced to match existing and the proposed doors and windows will be of a style to match existing and all new materials will be discussed and agreed with the Conservation Officer prior to procurement.



Existing wall and flat roof to be removed and new Vehicle access door to be inserted