

**SECTION 3**

**SCHEDULE OF WORKS**

**3.1 ROOFING 21 and 23**

Apply for and secure licenses necessary to erect scaffold on the public highway and comply with the requirements of the statutory authorities.

Scaffold to be double boarded and incorporate dust and debris protection. Provide double height toe boards at work level. Enclose vertical sides with debris netting. All tubes at ground level to be protected and fitted with marker tape. Ladders to be removed and secured at the end of each working day. On removal of the scaffolding include to wash down all painted joinery and glazing and leave clean. Sweep up and clear away debris remaining on the ground or adjacent roofs at lower levels.

Remove existing eaves gutters and set aside for inspection and reuse,.

Remove existing pantiles to all slopes and set aside for reuse those suitable.

Remove tiling battens and any under felt and clear away.

Allow for temporary weather protection during repairs to roof structures set out below.

Denail and clean down rafters.

Report any concerns relating to condition of roof structures exposed to allow for inspection and subsequent confirmation of acceptable remedial works.

Roof structure 23

With reference to Structural Engineers details.

Provide temporary support to existing first floor ceilings, insert new ceiling joists adjacent to existing bolted to existing rafters and spliced together as noted.

*Note:* Existing ceilings to remain below. Provide and fix hangers from ridge every third pair of rafters and make bolted connections shown. Provide and insert new binder bolted to hangers and fixed to new ceiling joints as detail.

Provide and lay over all roof slopes 'Roofshield' roofing membrane.

Provide 25 x 38 treated softwood battens.

Relay existing tiles previously set aside. Black tiles to be retained to front and side roof slopes on public view as present. Any tiles required to make up deficiencies to be laid on the rear roof slope over 23. Every tile every fourth course to be nailed.

At verges provide plain tile under cloak bedded on brickwork below and pointed using 1:1:6 cement:lime:sand mortar.

Provide and fix matching clay half round ridge and hip tiles, edge bedded with solid bedding at joints on 1:1:6 cement:lime:mortar. Include provision of galvanised hip irons to support tiles at bottom of hips.

Provide leadwork as follows: all as details published by the Lead Development Association:-

Valleys code 4 lead 450 girth turned up under adjacent tiles, no length to exceed 1800, minimum 100 head lap.

At junction at tops of valleys provide code 4 lead saddle flashing. Dress lower end to discharge into gutter.

To sloping abutments to wall and chimneys provide code 4 lead stepped flashings turned and lead wedged into brick joints and dressed down over tiles.

To horizontal abutments to walls and chimneys provide code 4 lead apron flashing dressed and lead wedged into brick joints and dressed down over tiles.

To back gutters to chimneys provide code 4 lead 450 girth dressed and lead wedged into brick joints and turned up under adjacent tiles.

In conjunction with reroofing provide separation between roof voids 21 and 23 comprising 50 x 100 studwork faced both sides two layers 6mm masterboard joints staggered.

Refix eaves gutters.

### **3.2 ROOF REPAIRS**

To single storey slate roof to the side of 21, remove broken slates and replace with new, size to match existing. Allow total 10no.

Lead work over shop front 21 redress upstand and lead wedge into brick joint.

### **3.3 STRUCTURAL REPAIRS**

Main gable to rear of 25 (where temporary prop at present)

With reference to Structural Engineers design temporarily relocate prop to provide adequate space for remedial works. Remove rain water down pipe and set aside for re- fixing on completion.

Provide and fix 10 x 100 stainless steel grade 340 L straps internally and externally to external angle of gable wall having

first removed external render and internal plaster to allow straps to bear directly onto the brickwork.

To be bolted together through the wall thickness using M12 stainless steel bolts and A2 Nyloc nuts at 300 centres.

Externally provide sealant between the strap and adjacent render remaining.

Remove prop and make good brickwork to external corner of rear projection to 23.

Re-fix rainwater to down pipe.

Note – care to be taken to ensure dirt and debris does not enter the adjacent air conditioning unit.

Lower level gable to rear of 25 (face brickwork)

With reference to Structural Engineers design gable to be rebuilt above ground floor window head.

Provide props and temporary support to roof structure internally. Remove two rows of tiles to the roof verge and set aside for reuse.

Carefully remove existing brickwork setting aside those bricks suitable for reuse, retaining two brick lengths adjacent to the external angle to the left and adjacent to the roof slope of the single storey to the right. Existing first floor window to be carted away.

Replace lintel to ground floor opening Catnic CN71C or similar box lintel with bottom plate.

Rebuild gable using salvaged bricks previously set aside. Make up deficiencies using approved second-hand bricks. Include tooth and bond to adjacent retained brick.

Mortar to be 1: 1: 6 cement: lime: sand flush pointing.  
Include to reform window opening at first floor level, size as existing to accommodate replacement window specified elsewhere. Provide Catnic CN71C or similar box lintel with bottom plate.

At verge level provide and build in stainless steel straps fixed to first three rafters, Provide noggins between rafters and rafter and brickwork on line of straps. Provide two straps to each roof slope.

Replace roof tiles to verge to include plain tile undercoat bedded on brickwork below and painted with 1: 1: 6 cement: lime: sand mortar.

Include to replace sand and cement fillet between roof tiles of single storey roof and gable with code 4 lead flashing turned and lead wedged into brick joints and dressed down over tiles.

Remove plant growth and moss from single storey roof.

Include to release electric supply fixed to the gable serving existing air conditioning unit over adjacent flat roof, maintain supply to the unit during the works and permanently fixing on completion.

Include to remove and re-fix security grille to ground floor window. Include to prepare and treat rusty areas with rust inhibitor, spot prime and one undercoat and one coat gloss all round before re-fixing.

### **3.4 BRICKWORK REPAIRS**

To east elevations to the rear cut out isolated eroded bricks and replace with sound second hand bricks to match. Face point with mortar to match adjacent, allow total 30.no.

Chimney 21 cut out isolated eroded bricks and replace with sound second hand bricks to match. Face point with mortar to match adjacent. Allow total 20 no.

Boundary wall enclosing yard to rear 21. Remove top three courses and vegetation. Rebuild using sound second hand bricks to match. Face point mortar to match adjacent. Weather top of wall with slate as existing detail.

Projecting brickwork to rear 23 over flat roof. Remove damaged plain tiles bedded on top of wall with plain tiles to match existing.

### 3.5 JOINERY REPLACEMENT

In locations indicated provide and fix replacement softwood single glazed windows. Generally timber section sizes and pattern to match those to be replaced.

W3 – direct glazed window in gable at attic level. Number 25

W4 – horizontal sliding window in gable to be rebuilt as specified elsewhere. Number 25

W5 – Storm-proof pattern with opening fanlight to rear number 23. Glazed obscure laminated glass for security.

W6 – Storm proof pattern with opening casement to rear number 23, glazed obscure laminated glass for security.

W7 – Softwood casement window to cold store number 21.

W8 – Roof light over stairwell to flat 21.

In locations indicated provide and fix replacement softwood doors and frames. Generally timber sections sizes and pattern to match those to be replaced.

D2 – 2XX pattern door with 9mm WBP ply panels hung on 1 ½ pr 100 rust proofed butt hinges and fitted with panic latch. Access to flat roof near number 25.

D4 – ledged and braced door hung on pair 300 galvanised tee hinges and fitted with galvanised Suffolk latch. Store to rear number 23.

D8 (door only) – 4 panel door hung on 1 ½ pair 100 rust proofed butt hinges and fitted with cylinder right latch. (brass cylinder) and letter plate (brass) side door ground floor number 21.

Generally, all replacement joinery to be knot and primed one coat all round before fixing.

### **3.6 EXTERNAL JOINERY REPAIRS**

D1 (rear number 25)

Splice repair legs of door frame. To bottom edge of door, remove previous repair and replace.

D3 (rear number 23)

Splice repairs to bottom of boards to door.

D5 (rear number 23)

Ease and adjust existing door.

D7 (access to flat 21)

Ease and adjust existing door.

D6 (first floor fire escape rear number 23)

Replace hardwood cill to door frame and splice repair frame legs as required.

Number 23 fascia to end of flat roof extension to rear. Replace rotten fascia, reform drip to flat roof as required.



W1 and W2 rear number 25.

Splice repairs to cills, jambs and mullions. Section sizes and mouldings to match existing.

**3.7 NUMBER 21 PARTITION BETWEEN GROUND FLOOR OFFICE AND ACCESS TO FIRST FLOOR FLAT**

Existing light weight partition to be replaced to provide adequate fire protection to means of escape from first floor flat.

Remove surface mounted electrical wiring and equipment in the office. Remove existing partition and replace with 50 x 100 softwood studworks faced both sides two layers 12.5 fire line plasterboard fitted joints staggered and finished with skim coat plaster. Note – no borrowed light/glazing to be incorporated into the new partition. Provide skirting to match existing both sides.

Re- fix surface mounted electrical wiring and equipment in the office. Decorate new plaster, wash cost and two full coats emulsion.

Decorate new skirting knot prime stop one undercoat and one gloss.

**3.8 EXTERNAL DECORATIONS AND FINISHES**

To replacement doors, frames and windows knot and prime before fixing. After fixing one undercoat and two coats gloss all round.

To existing metal rainwater goods, to all premises wire brush to remove rust and flaking finishes, treat rust with inhibitor, prime bare spots with oxide primer and decorate one undercoat and two coats gloss.

To existing metal external security grilles to all premises wire brush to remove rust and flaking finishes, treat rust with inhibitor, prime bare spots red oxide primer and decorate one undercoat and two coats gloss.

**3.9 NUMBER 21 - EXTERIOR CLADDING TO COLD STORE**

Remove existing rainwater goods and set aside for re-fixing.

Remove existing corrugated metal sheeting from existing softwood framework.

Report any concerns relating to the condition of the structure exposed to allow for inspection and subsequent confirmation of acceptable remedial works.

Replacement of existing softwood window specified elsewhere.

Prepare framework and supply and fit 75mm corrugated steel sheets as manufactured by Accord Steel Cladding LTD 0.7mm gauge with polyester paint finish, Goosewing Grey (BS 10A 05 /RAL 7038). To include colour matched washers and caps to all fixings.

Provide sealant between top of sheets and underside of flat roof deck over.

Re-fix rainwater goods.

**3.10 NUMBER 21- FENCING TO REAR**

Replace existing softwood fence between rear yard and access to first floor flat. 100x 100 treated softwood posts set minimum 600 in the ground and surrounded with concrete 3no. ex 75x75 treated softwood arris rails 25 x 200 treated softwood gravel board ex 25 x 150 feather edged boarding. Provide ledged and

braced gate.

Hung on pair galvanised 300 tee hinges and fitted with galvanised Suffolk latch and 2no.150 galvanised pad bolts.

**3.11 BELOW GROUND DRAINAGE**

Arrange CCTV survey of all below ground drainage serving the three properties up to point of discharge to main sewers. Provide three copies of report and videos.

Note – internal access may be required to some of the properties to access inspection chambers. Where necessary allow to carry out survey outside trading hours.

## **SECTION 4**

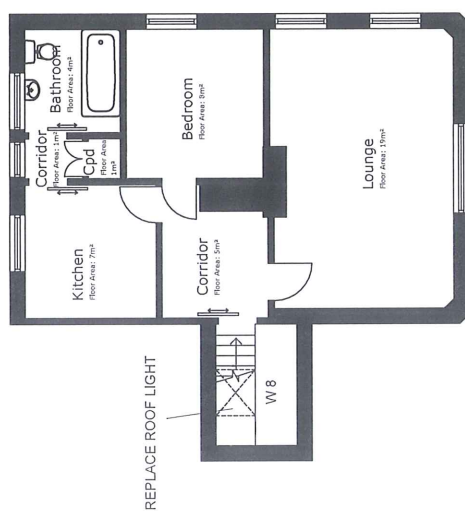
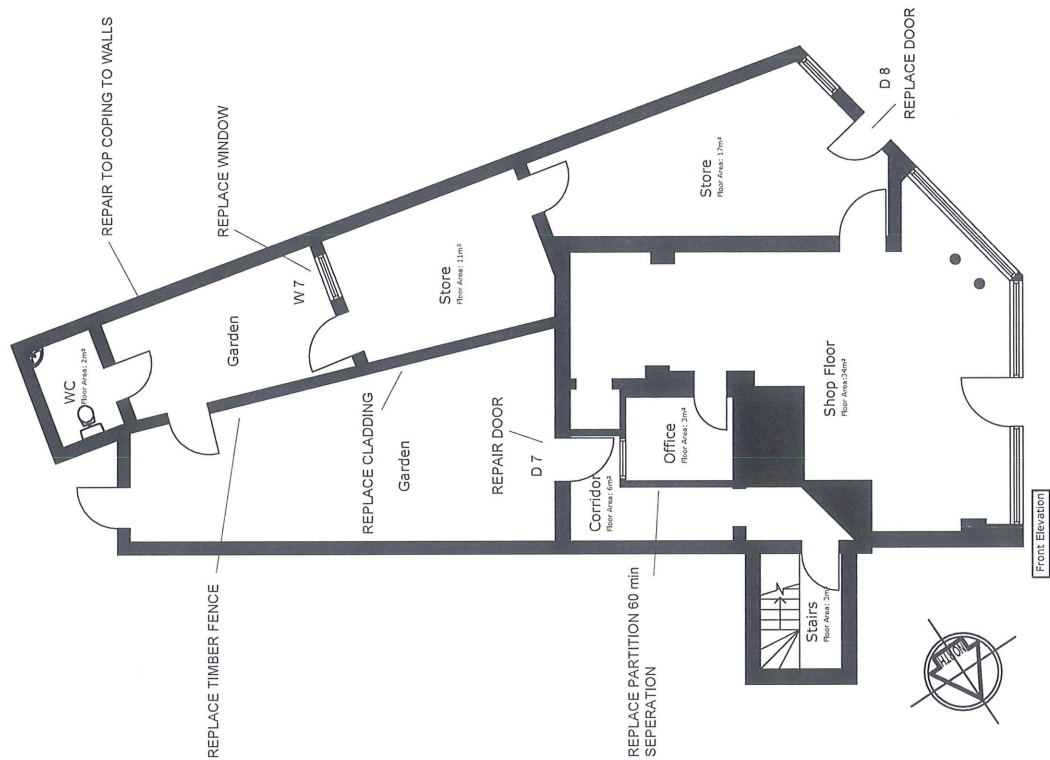
### **PC & PROVISIONAL SUMS**

## SECTION 4: PC & PROVISIONAL SUMS

### **Provisional Sums**

Include sums for the following works that cannot be fully identified or defined.

Repair roof structure number 21	2,500.00
Repair to cold room structure number 21	2,500.00
General Contingency	7,500.00



A vertical number line with tick marks at every integer from 0 to 10. The word "Mètres" is written vertically to the right of the line.

No.	Date	Revisions
		<i>Revisions</i>

**HOLLINS**  
Architects, Surveyors &  
Planning Consultants

4A Market Hill  
Framlingham  
Suffolk  
IP13 9BA

Telephone 01728 723959  
Fax 01728 723947  
E-mail [all@hollins.co.uk](mailto:all@hollins.co.uk)  
Website [www.hollins.co.uk](http://www.hollins.co.uk)

*Client*  
SUFFOLK COASTAL NORSE LTD

Site  
21 MARKET PLACE,  
SOUTHWOLD  
SUFFOLK  
IP 18 6 ED

Project  
REPAIRS

### Details

PROPOSED PLANS SHOWING REPAIRS  
GROUND AND FIRST FLOOR

Scale  
1:100 @ A3

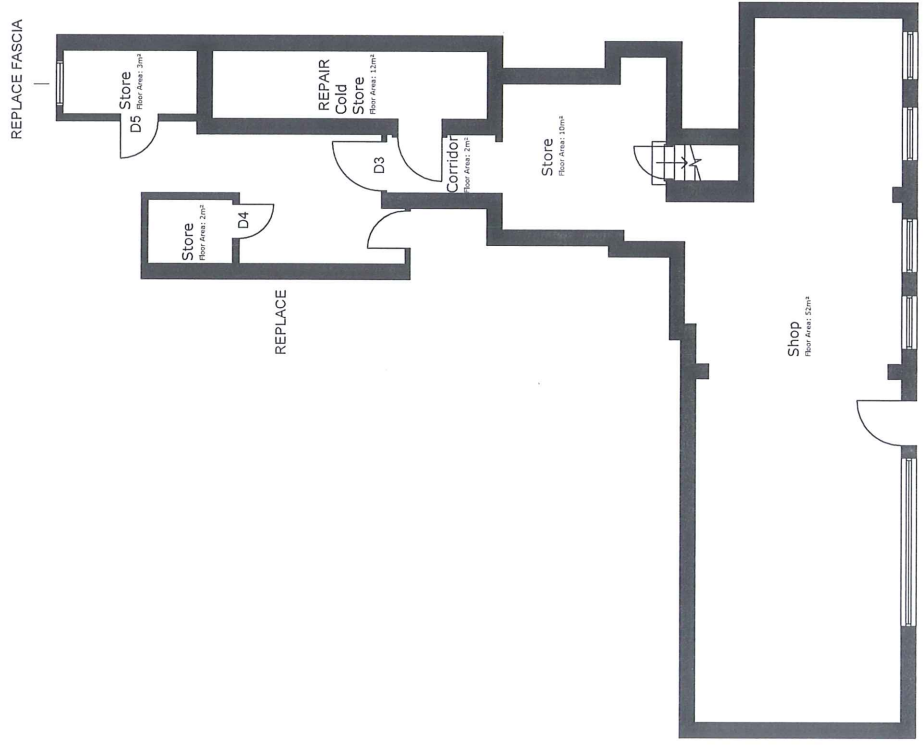
Date APRIL 2018

Drawn by  
RJB

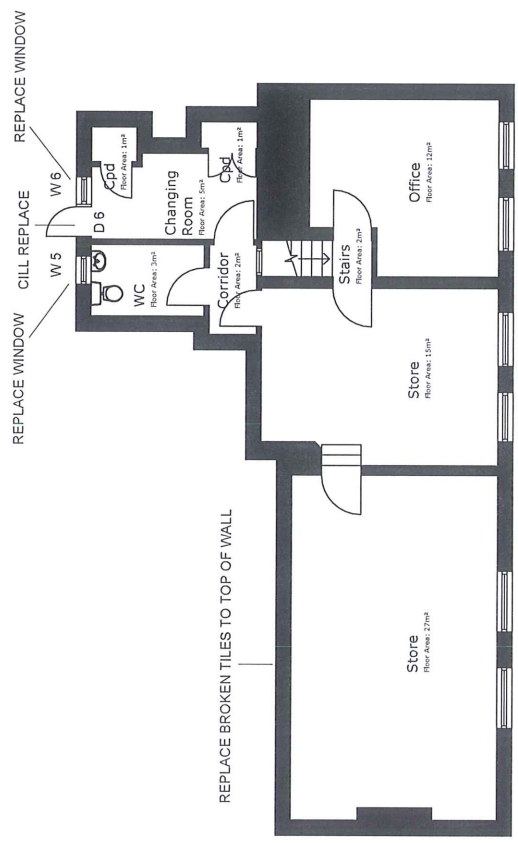
Drawing number

17225 101

*This drawing is copyright. This drawing must not be scaled. Before commencing any work the contractor must set out and check all dimensions on site. This drawing to be read in conjunction with any consultants details. Any discrepancies must be reported to Hollins Architects & Surveyors.*



Front Elevation  
**23 Market Place**  
Ground Floor Plan  
1:100



Front Elevation  
**23 Market Place**  
First Floor Plan  
1:100

No. Date Revisions  
Revisions

**HOLLINS**  
Architects, Surveyors &  
Planning Consultants  
44, Market Hill  
Framlingham  
Suffolk  
IP13 9BA

Telephone: 01728 723959  
Fax: 01728 723947  
E-mail: info@hollins.co.uk  
Website: www.hollins.co.uk

Client  
SUFFOLK COASTAL NORSE LTD

Site  
23 MARKET PLACE,  
SOUTHWOLD  
SUFFOLK  
IP 18 6 ED

Project  
REPAIRS

Details  
PROPOSED PLANS SHOWING REPA  
GROUND AND FIRST FLOOR

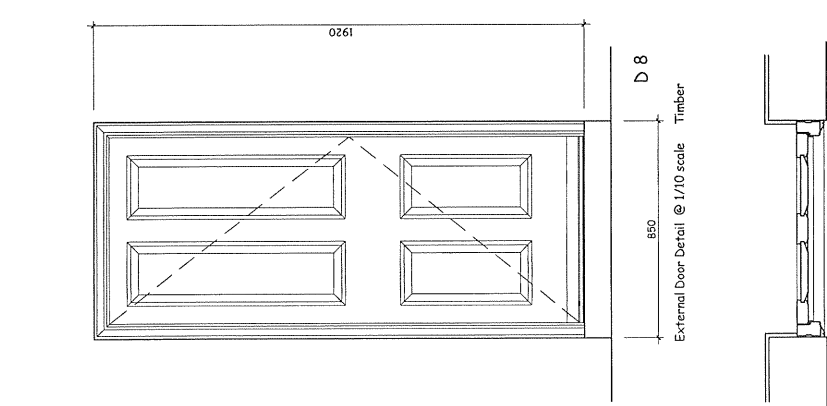
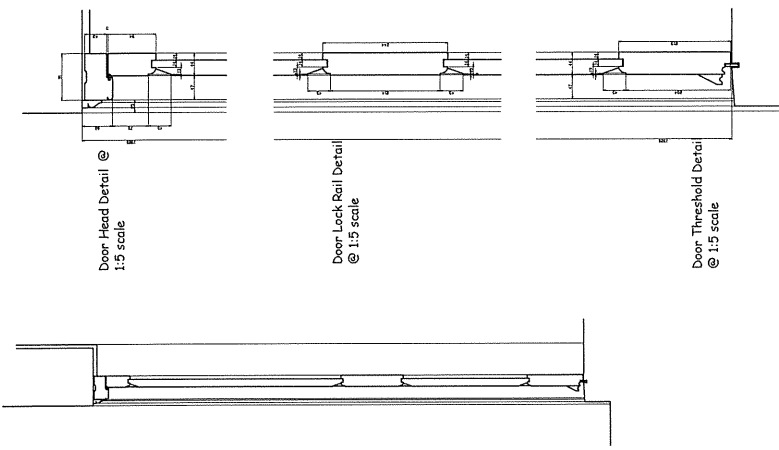
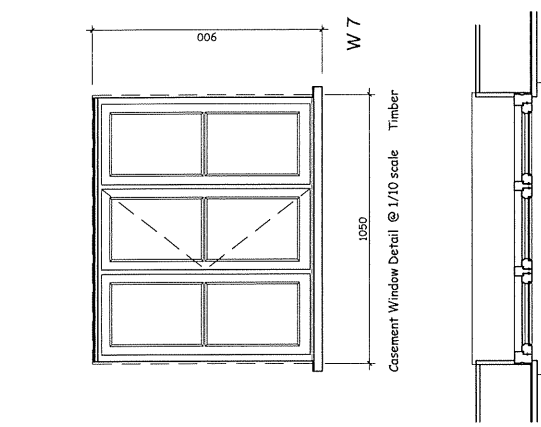
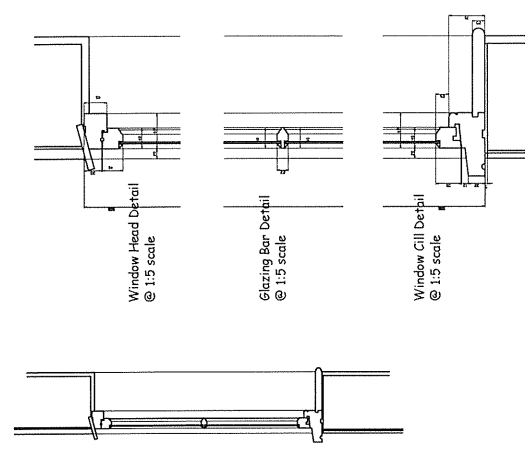
Scale  
1:100 @ A3  
Date  
APRIL 2018  
Drawn by  
RJB

Drawing number  
**17225 201**

This drawing is copyright. This drawing must not be copied, altered, or  
reproduced in any way without the written consent of the author. The author  
accepts no responsibility for any loss or damage caused by the use of this  
drawing. Any discrepancies must be reported to the author immediately.







No. Draw. Revisions

**HOLLINS**

Architects, Surveyors & Planning Consultants  
44 Market Hall  
Framlingham  
IP13 9BA  
Telephone 01729 729519  
Fax 01729 729427  
Email [info@hollins.co.uk](mailto:info@hollins.co.uk)  
Website [www.hollins.co.uk](http://www.hollins.co.uk)

Client

SUFFOLK COASTAL NOISE LTD

Site

21 MARKET PLACE  
SOUTHWOLD  
SUFFOLK  
IP18 6 ED

Project

REPAIRS

Details

REPLACEMENT DOORS AND WINDOWS  
ELEVATIONS, PLANS AND SECTIONS

Scale

1/10 & 1/5 scale @ A1 sheet size

Date

APRIL 2018

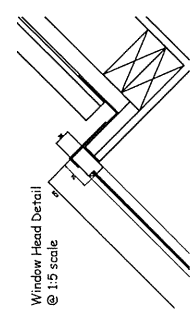
Drawn by

JR

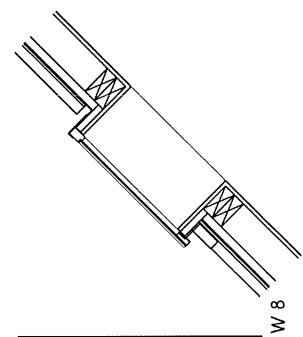
Drawing number

17225 102

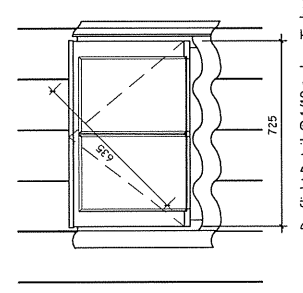
This drawing is a copyright. Any unauthorised use or copying without the written permission of the author is prohibited.



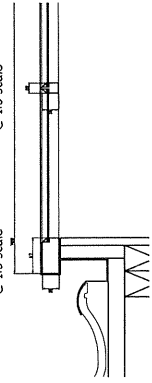
Window Head Detail  
@ 1:5 scale



Window Cill Detail  
@ 1:5 scale

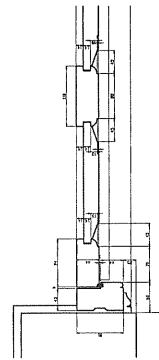


Rooflight Detail @ 1/10 scale  
Timber



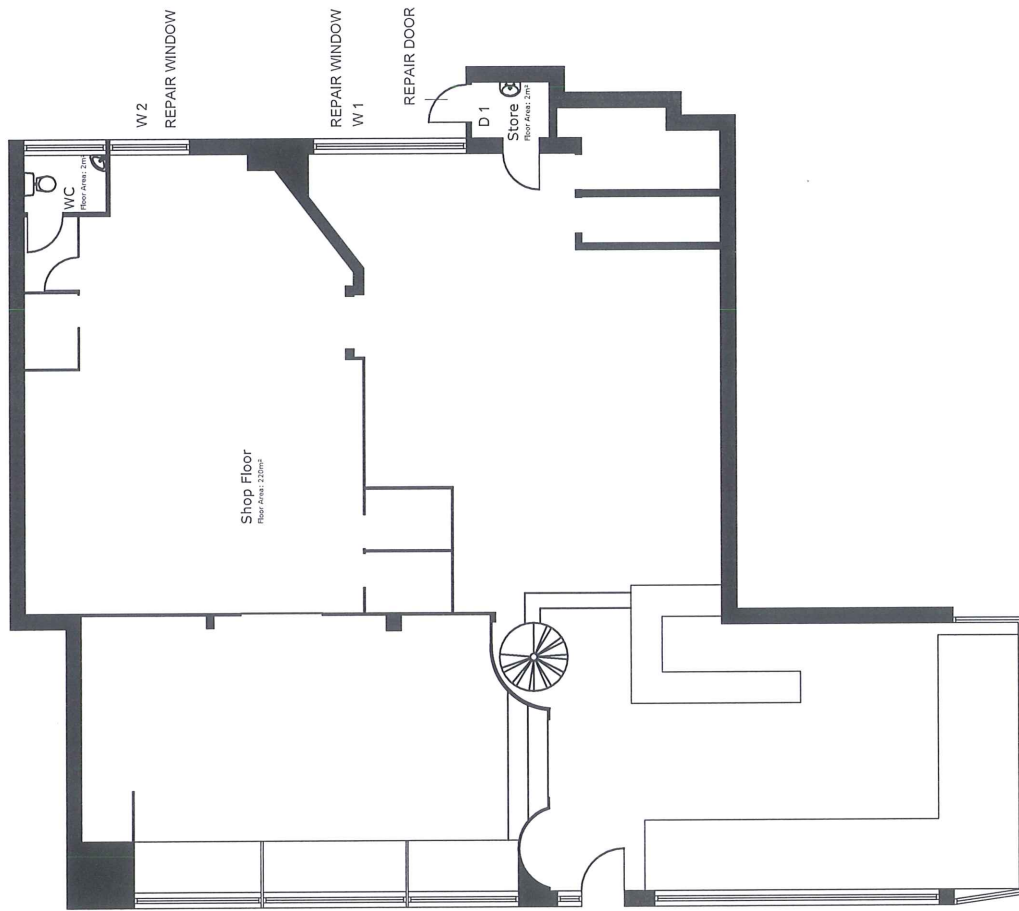
Window Jamb Detail  
@ 1:5 scale

Glazing Bar Detail  
@ 1:5 scale



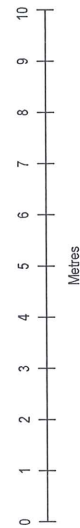
Door Jamb Detail  
@ 1:5 scale

Door Muntin Detail  
@ 1:5 scale



Front Elevation

**25 Market Place**  
Ground Floor Plan  
1:100



No.	Date	Revisions

**HOLLINS**  
Architects, Surveyors &  
Planning Consultants

43 Market Hill  
Framlingham  
Suffolk  
IP13 9BA  
Telephone 01728 723959  
Fax 01728 723947  
E mail ad@hollins.co.uk  
Website www.hollins.co.uk

**Client**  
SUFFOLK COASTAL NORSE LTD

**Site**  
25 MARKET PLACE & 1 AND 3 EAST STREET  
SOUTHWOLD  
SUFFOLK  
IP 18 6 EG

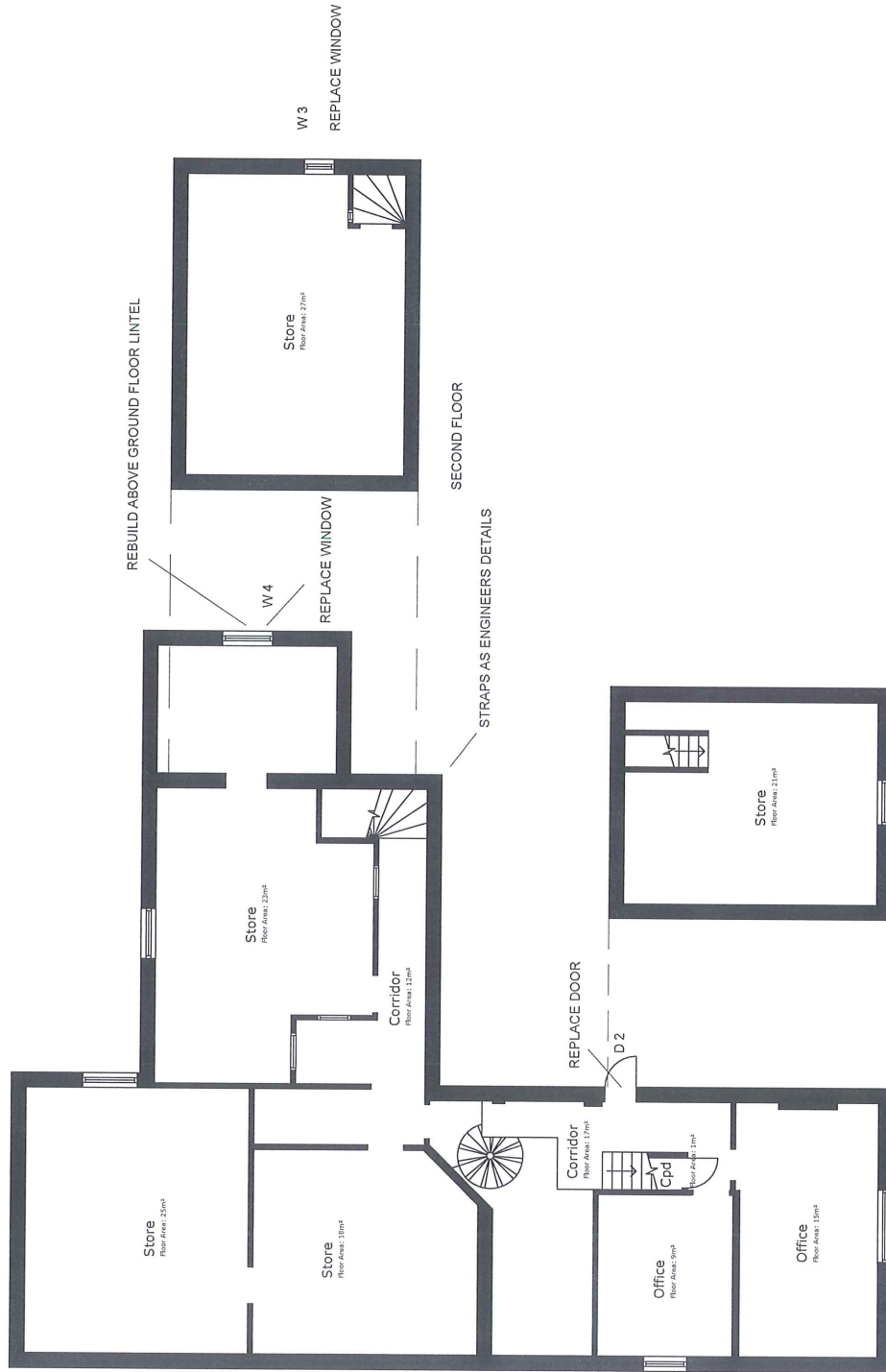
**Project**  
REPAIRS

**Details**  
PROPOSED PLAN SHOWING REPAIRS  
GROUND FLOOR PLAN

**Scale**  
1:100 @ A3  
**Date**  
APRIL 2018  
**Drawn by**  
RJB

**Drawing number**  
17225 301

This drawing is copyright. This drawing must not be scaled. Before using this drawing, please check the scale and the date of the drawing. This drawing is to be read in conjunction with any consultants' details. Any discrepancies must be reported to Hollins Architects & Surveyors.



Front Elevation

# **25 Market Place** First & Second Floor Plan 1:100



No. Date Revisions  
REVISIONS

**HOLLINS**  
Architects, Surveyors &  
Planning Consultants  
44 Market Hill  
Framlingham  
Suffolk  
IP13 9BA  
Telephone 01728 723959  
Fax 01728 723947  
E-mail [all@hollins.co.uk](mailto:all@hollins.co.uk)  
Website [www.hollins.co.uk](http://www.hollins.co.uk)

Client  
SUFFOLK COASTAL NORSE LTD

Site  
25 MARKET PLACE, 1 AND 3 EAST STRE  
SOUTHWOLD  
SUFFOLK  
IP18 6 EG  
Project  
REPAIRS

Details  
PROPOSED PLANS SHOWING REPAIRS  
FIRST AND SECOND FLOOR PLANS

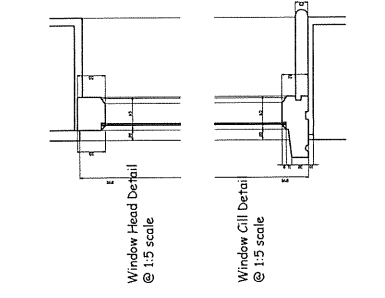
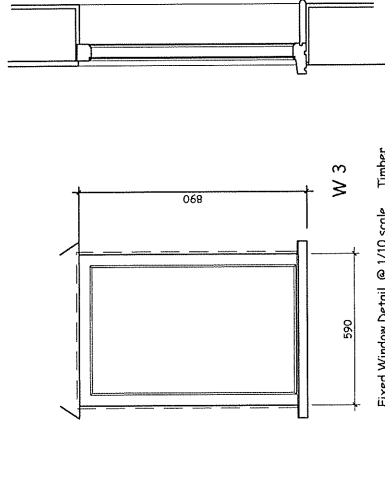
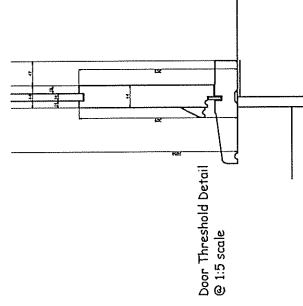
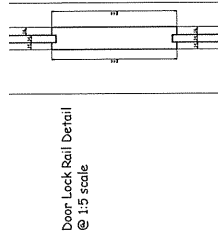
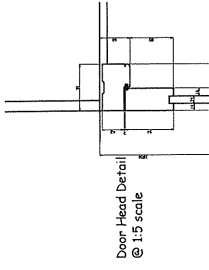
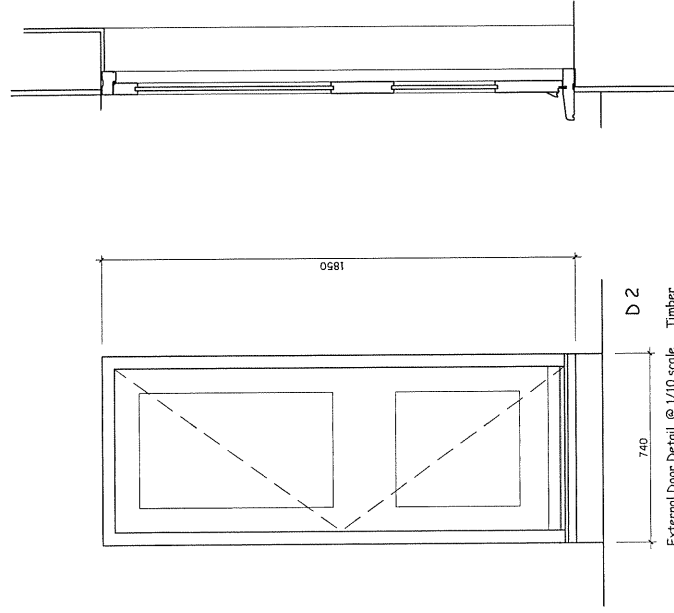
Scale  
1:100 @ A3

Date  
APRIL 2018

Drawn by  
RJB

Drawing number  
**17225 302**

This drawing is copyright. This drawing must not be copied, altered, or used in any way without the written permission of Hollins Architects & Surveyors. Any discrepancies must be reported to Hollins Architects & Surveyors.



No. Door Revisions

**HOLLINS**

Architects, Surveyors & Planning Consultants

44 Market Hill

Princes Risborough

HP15 9BA

Telephone 01295 724919

Fax 01295 723947

www.hollins.co.uk

Princes Risborough

Client

SUFFOLK COASTAL NOSE L14

Site

25 MARKET PLACE, 1 AND 3 EAST STREET,  
SOUTHWOLD  
SUFFOLK  
IP18 6 EG

Project

REPAIRS

Drawn

REPLACEMENT DOORS AND WINDOWS  
ELEVATIONS, PLANS AND SECTIONS

Scale

1/10 & 1/5 scale @ A1 sheet size

Date

APRIL 2018

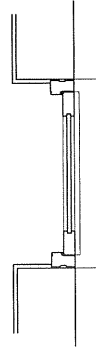
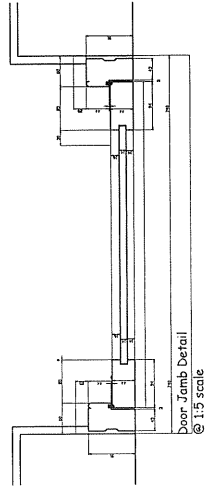
Drawn by

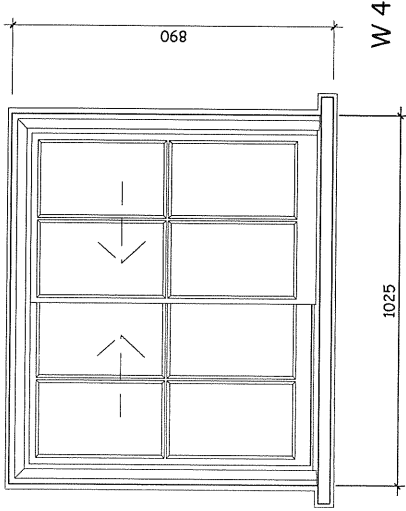
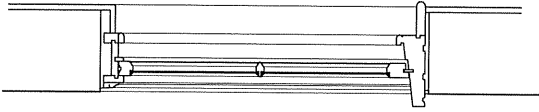
JR

Drawing number

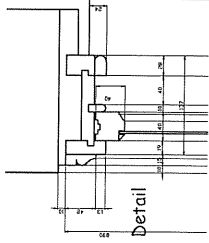
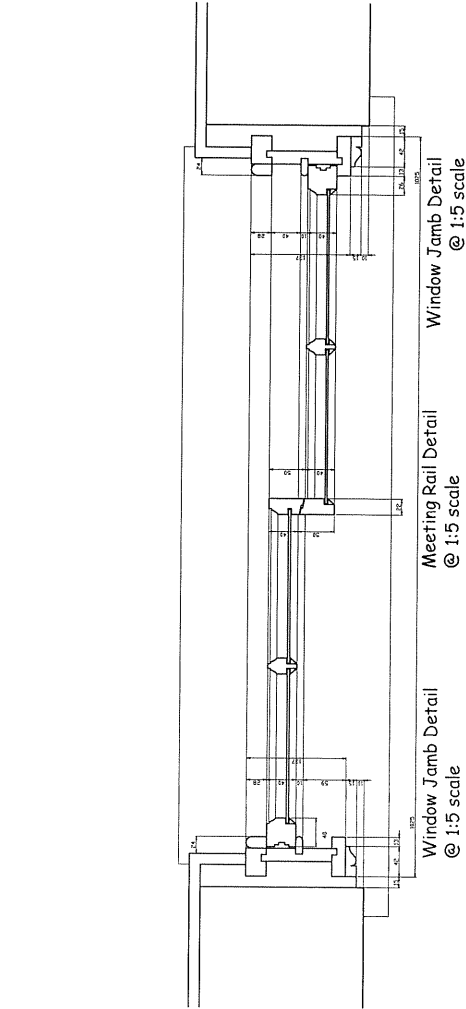
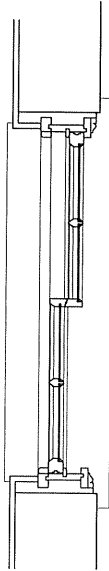
17225 303

This drawing is a preliminary drawing and is not to be used for construction purposes without the written consent of the architect.

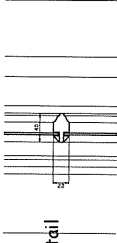




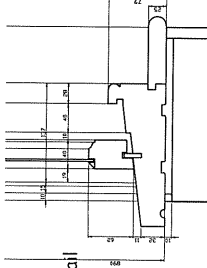
Horizontal Sash Window Detail @ 1/10 scale Timber



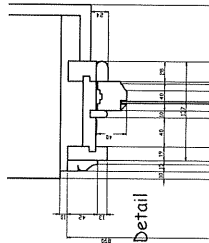
Window Head Detail @ 1:5 scale



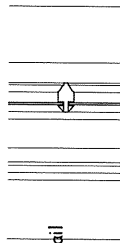
Glazing Bar Detail @ 1:5 scale



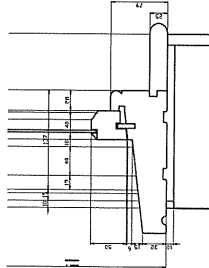
Window Cill Detail @ 1:5 scale



Window Head Detail @ 1:5 scale



Glazing Bar Detail @ 1:5 scale



Window Cill Detail @ 1:5 scale

No. Date Revisions  
Revisions

## HOLLINS

Architects, Surveyors &  
Planning Consultants

44 Market Hill  
Framlingham  
Suffolk  
IP13 9BA

Telephone 01728 723959  
Fax 01728 723947  
E mail [ad@hollins.co.uk](mailto:ad@hollins.co.uk)  
Website [www.hollins.co.uk](http://www.hollins.co.uk)

Client

SUFFOLK COASTAL NORSE LTD

Site

25 MARKET PLACE, 1 AND 3 EAST STREET,  
SOUTHWOLD  
SUFFOLK  
IP18 6EG

Project

REPAIRS

Details

REPLACEMENT WINDOWS  
ELEVATIONS, PLANS AND SECTIONS

Scale

1/10 & 1/5 scale @ A2 sheet size

Date

APRIL 2018

Drawn by

JR

Drawing number

17225 304

This drawing is copyright. This drawing must not be copied, altered, or used in any way without the written consent of Hollins. All dimensions are in millimetres unless otherwise stated.